

Martin O'Malley
Governor

Anthony G. Brown
Lt. Governor



Margaret G. McHale
Chair

Ren Serey
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

February 26, 2013

Ms. Kelly Krinetz
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road
Annapolis, Maryland 21401

Re: Bob Bell Ford
Modification #12710; SDP #C07-0123-00-PP

Dear Ms. Krinetz:

Thank you for submitting the above referenced requests for review and comment. The applicant is seeking to redevelop an existing commercial site located in the Intense Development Area (IDA). The site was previously granted SDP approval, which expired last fall. The revised plan reduces the proposed development area and complied with current stormwater management requirements. Based on the information submitted I have no comments on either the modification request or the proposed preliminary plan as it complies with all necessary IDA standards.

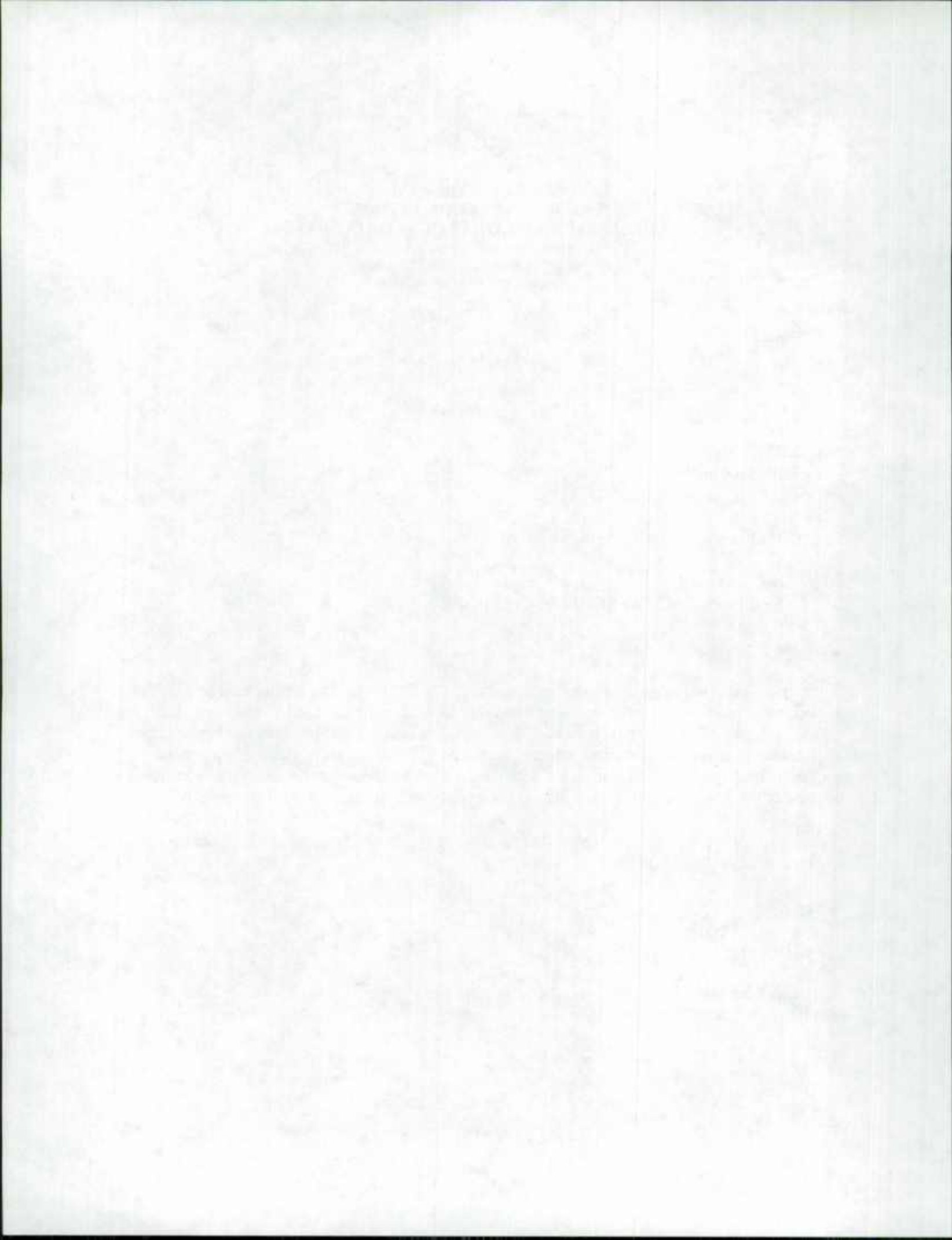
Thank you for the opportunity to provide comment. If you have any questions or concerns please contact me at (410) 260-3475.

Sincerely,

A handwritten signature in cursive script that reads "Kate Charbonneau".

Kate Charbonneau
Regional Program Chief

File: AA14-08



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January 15, 2008

Ms. Kelly Krinetz
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6301
Annapolis, MD 21401

Re: Bob Bell Ford
C 07-0123, G 02013259

Dear Ms. Krinetz:

Thank you for forwarding the above referenced site plan submittal. The project consists of expanding an existing vehicle sales and servicing business by constructing a new building and a building addition on an existing body shop. The 3.45 acre property is within the Critical Area and is classified as an Intensely Developed Area (IDA). I have provided my comments below.

- 1) Because the property is designated IDA, the applicant must show how the 10% pollutant removal requirement will be addressed for this project. Please have the applicant complete and submit the 10% pollutant reduction calculations using the worksheet which can be found on our website under the guidance documents link, or by going directly to the web address below.
http://www.dnr.state.md.us/criticalarea/10percent_rule_manual/worksheet_a.pdf
- 2) The applicant should show that plantings in permeable areas will be done to the extent feasible.
- 3) Please have the applicant provide a revised site plan which includes the 10% calculations described above, and demonstrates any stormwater best management practices (BMPs) required the pollutant removal requirement.

Thank you for the opportunity to comment. Please telephone me if you have any questions at (410) 260-3481.

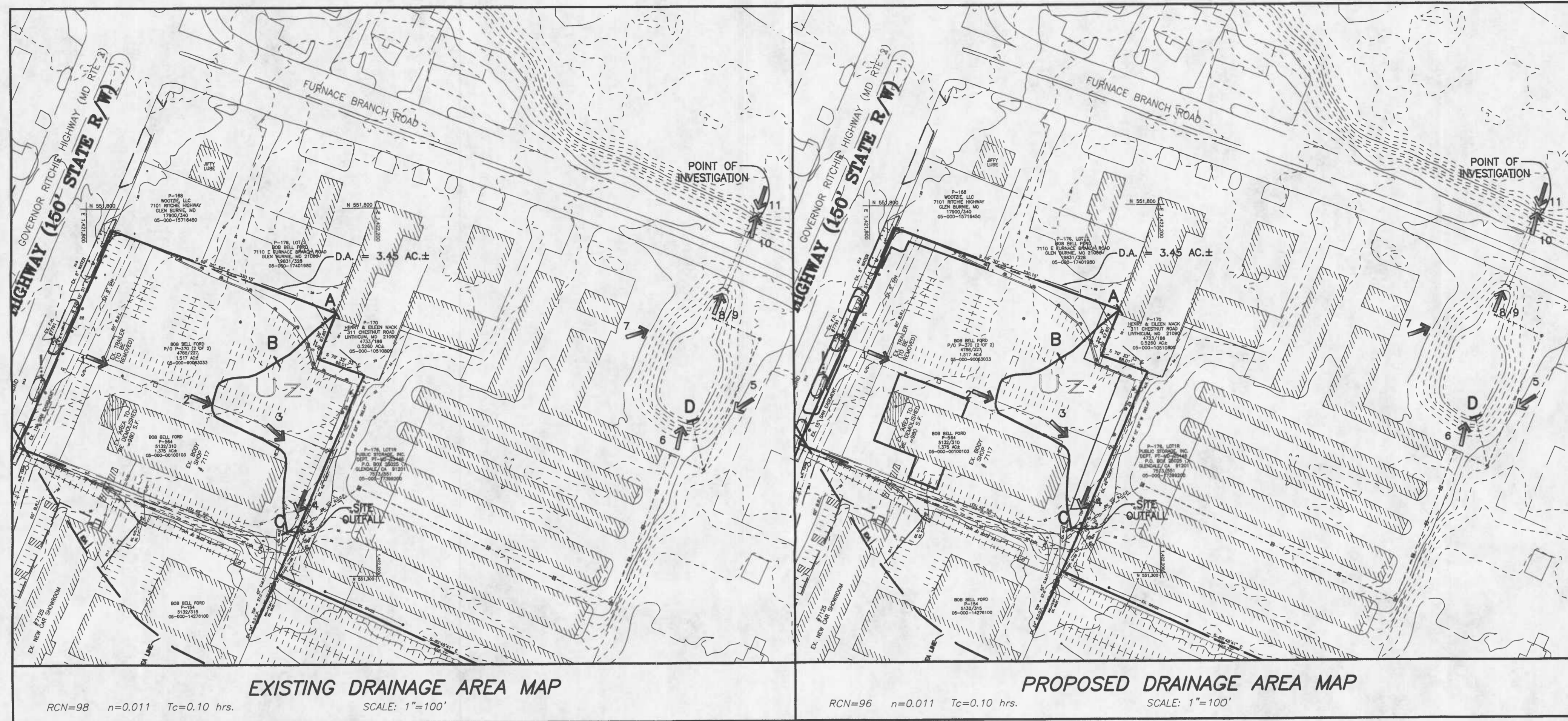
Ms. Krinetz
January 15, 2008
Page Two

Sincerely,

A handwritten signature in dark ink, appearing to read 'Amber Widmayer', written in a cursive style.

Amber Widmayer
Natural Resources Planner
cc: AA 14-08

ANNE ARUNDEL COUNTY GRID NORTH (MAD 83)



EXISTING DRAINAGE AREA MAP

RCN=98 n=0.011 Tc=0.10 hrs.

SCALE: 1"=100'

PROPOSED DRAINAGE AREA MAP

RCN=96 n=0.011 Tc=0.10 hrs.

SCALE: 1"=100'

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 CRITICAL AREA COMMISSION
 Chesapeake & Atlantic Coastal Bays

C. D. MEEKINS & ASSOCIATES, INC.
 CONSULTING ENGINEERS AND SURVEYORS
 159 MAIN ST., SECOND FLOOR
 ANNAPOLIS, MD.
 ANNAPOLIS: (410) 267-0744
 VISIT: WWW.CDMEEKINS.COM

MAILING ADDRESS: P.O. BOX 2151
 ANNAPOLIS, MD. 21404-2151
 FACSIMILE: (410) 267-0338
 EMAIL: INFO@CDMEEKINS.COM

NO.	REVISIONS	BY	DATE

PREPARED UNDER THE SUPERVISION OF:

C. DOUGLAS MEEKINS

6708	9153	1-15-13
P.E. NO.	L.S. NO.	DATE
DESIGNED: KMB	CHECKED: CDM	SCALE: AS SHOWN
DRAWN: MDM	DATE:	REF.:

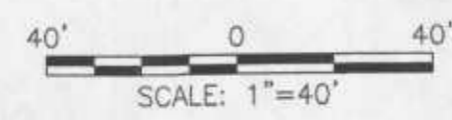
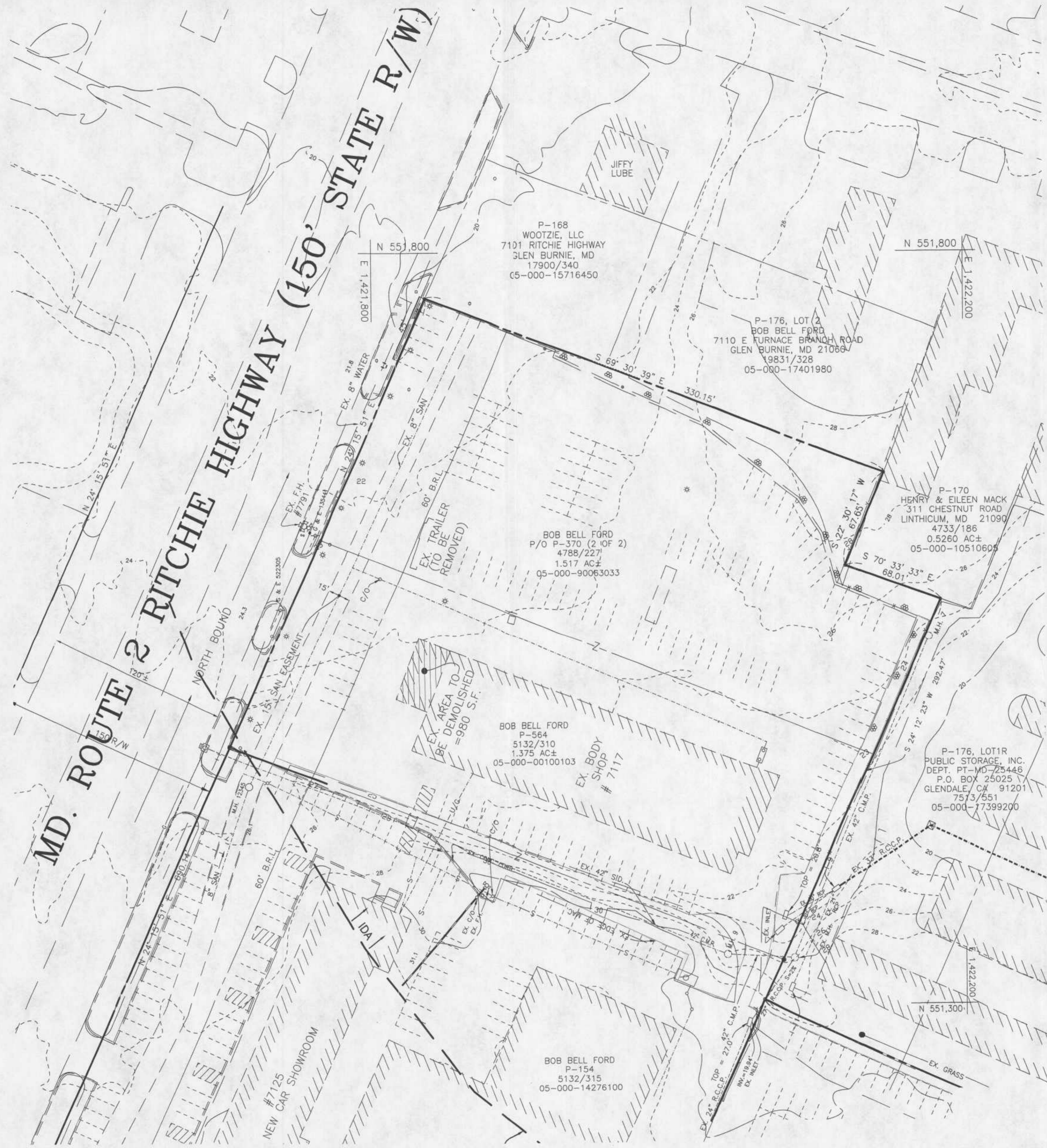
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 6708, EXPIRATION DATE: 11-26-2013.

PREPARED FOR
 BOB BELL FORD
 7125 RITCHIE HWY.
 GLEN BURNIE, MD. 21061
 PHONE: 410-863-1805

DRAINAGE AREA MAPS
 BOB BELL FORD - PRELIMINARY PLAN
 7117 RITCHIE HIGHWAY, GLEN BURNIE
 TAX MAP 10, GRID 1, PARCEL 564 & P/O 370
 5TH ASSESSMENT DISTRICT
 5TH ASSESSMENT DIST., ANNE ARUNDEL CO., MARYLAND 21061

DATE: 1-15-13 | JOB NUMBER: 06-6936
 SHEET NO. 2
 OF 4 SHEETS

ANNE ARUNDEL COUNTY GRID NORTH (NAD 83)



SOIL UNIT LEGEND	
MAP UNIT SYMBOL	MAP UNIT NAME
Uz	URBAN LAND

- NOTE:**
1. ALL SOILS ON SITE ARE HYDROLOGIC GROUP "D".
 2. ENTIRE SITE IS ZONED: C3.
 3. FEATURES SHOWN HEREON HAVE BEEN FIELD VARIFIED.
 4. THIS SITE IS LOCATED WITHIN THE CRITICAL AREA (IDA).

RECEIVED
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 CRITICAL AREA (IDA) MAP

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 ANNAPOLIS: (410) 267-0744
 VISIT: WWW.CDMEEKINS.COM

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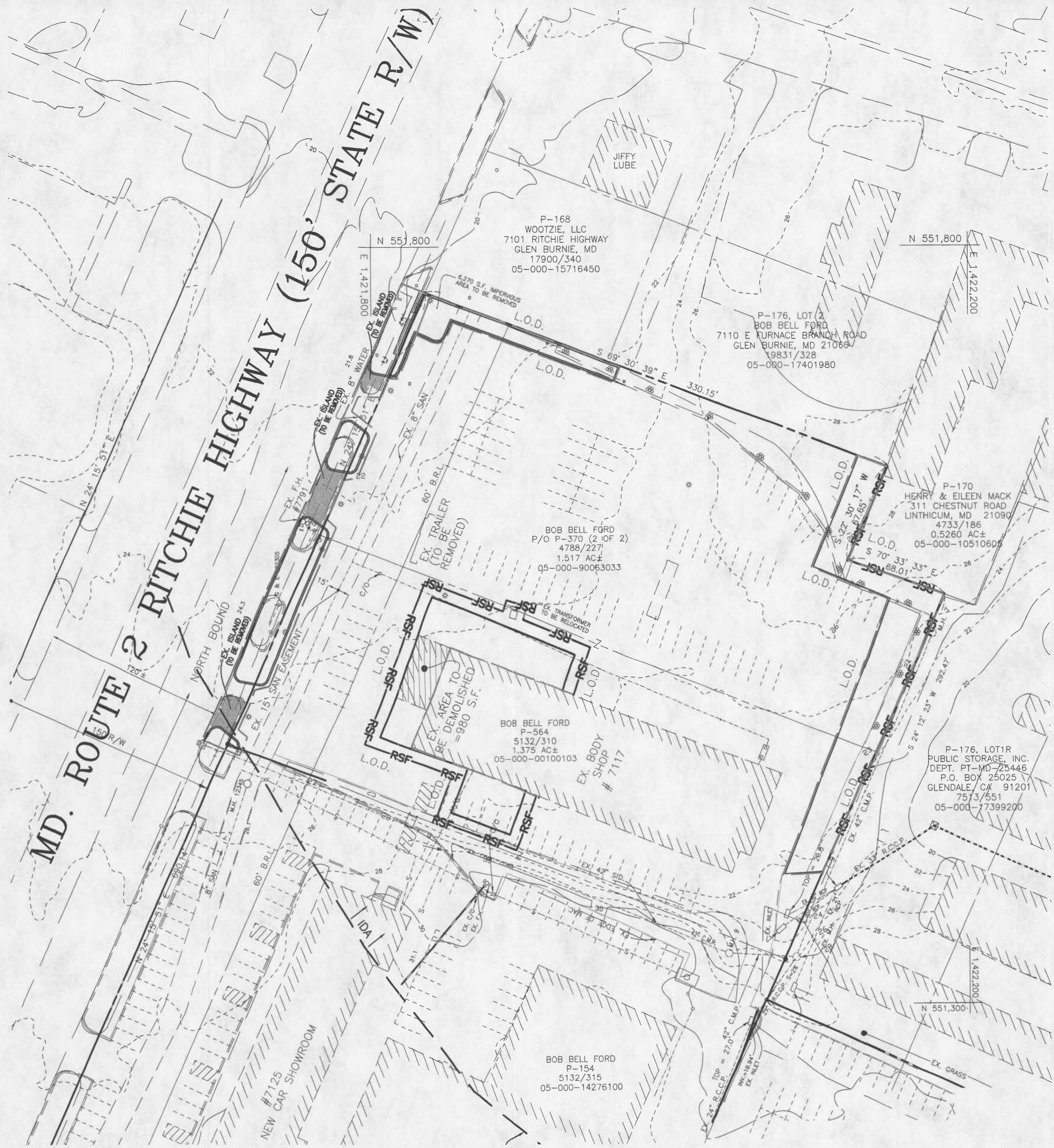
PREPARED FOR

BOB BELL FORD
 7125 RITCHIE HWY.
 GLEN BURNIE, MD. 21061
 PHONE: 410-863-1805

RESOURCE MAPPING PLAN
 BOB BELL FORD - PRELIMINARY PLAN
 7117 RITCHIE HIGHWAY, GLEN BURNIE
 TAX MAP 10, GRID 1, PARCEL 564 & P/O 370
 5TH ASSESSMENT DISTRICT
 5TH ASSESSMENT DIST., ANNE ARUNDEL CO., MARYLAND 21061

06-6936
 SHEET NO.
 3
 OF 4 SHEETS

ANNE ARUNDEL COUNTY GRID NORTH (MD 83)



SEDIMENT CONTROL NOTE
 CONTRACTOR SHALL INSTALL SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE, AND/OR OTHER SEDIMENT CONTROL DEVICE AT DIRECTION OF ANNE ARUNDEL COUNTY. CONTRACTOR SHALL SAWCUT EXISTING ASPHALT AND REMOVE ASPHALT AND SUB-BASE AS NECESSARY. ANY EXPOSED SOIL WILL BE BELOW THE EXISTING ASPHALT GRADE AND THEREFOR ANY SEDIMENT RUNOFF WILL BE TRAPPED. DEWATER EXCAVATED AREA USING A SUMP PIT IF THE WATER IS SEDIMENT LADEN. THE WATER IS TO BE PUMPED TO A STABILIZED GRASS AREA OR AS DIRECTED BY INSPECTOR.

- General Stormwater Management Notes:**
- Coordinates are based on the Maryland State Coordinate System NAD27 (or 83) DATUM projected by the Department of Public Works of Anne Arundel County, Maryland.
 - Elevations are based on the U.S.C. and G.S. 1929 DATUM projected by the Anne Arundel County Department of Planning and Zoning.
 - All construction shall be in accordance with the Anne Arundel County Department of Public Works standard details, as currently accepted.
 - Necessary precautions shall be taken by the Contractor to protect existing services and mains, and any damage to them due to their negligence shall be repaired immediately at the contractor's expense.
 - Existing utilities and obstructions shown are from the best available records and shall be verified by the contractor to his own satisfaction before starting construction. Neither the Owner nor Anne Arundel County Department of Public Works warrant or guarantee the completeness of the correctness of the information given.
 - It shall be distinctly understood that failure to specifically mention any work, which would normally be required to complete the project shall not relieve the contractor of his responsibility to perform such work.
 - The contractor shall notify BGE (410)234-5691, five (5) working days before starting work shown on these drawings.
 - The contractor shall notify the Verizon Telephone Company, 1-800-954-6200, five (5) working days before starting work shown on these drawings.
 - The contractor shall notify the Anne Arundel County Department of Inspections and Permits, (410)222-7970, five (5) working days before starting work shown on the drawings.
 - The contractor shall notify Miss Utility @ 1-800-257-7777, five (5) working days before starting work shown on these drawings.
 - All utility poles shall be braced as necessary at the contractor's expense. Utility poles shall be relocated at the owner's expense in cases where they will interfere with construction.
 - Pipe elevations refer to inverts unless otherwise noted.
 - All stormdrain pipes are reinforced concrete pipe (RCP) unless otherwise noted.

Summary of Stormwater Management Design
 The stormwater management is being met by reducing the impervious area within the limit of disturbance by a minimum of 50%. The impervious area to be removed is being planted as part of the landscaping requirements.

LIMIT OF DISTURBANCE:	16,105 S.F.
50% LIMIT OF DISTURBANCE:	8,053 S.F.
AMOUNT OF IMPERVIOUS REMOVED:	9,811 S.F.

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 JAN 23 2013

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 ANNAPOLIS, MD.
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 VISIT: WWW.CDMEEKINS.COM

MAILING ADDRESS: P.O. BOX 2151
 ANNAPOLIS, MD. 21404-2151
 FACSIMILE: (410) 267-0338
 EMAIL: INFO@CDMEEKINS.COM

NO.	REVISIONS	BY	DATE

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STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 1/15/2013

PREPARED FOR

BOB BELL FORD
 7125 RITCHIE HWY.
 GLEN BURNIE, MD. 21061
 PHONE: 410-863-1805

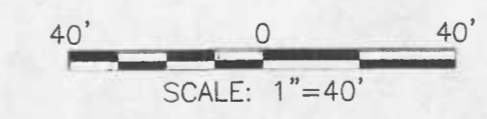
PROPOSED PLAN
BOB BELL FORD - PRELIMINARY PLAN
 7117 RITCHIE HIGHWAY, GLEN BURNIE
 TAX MAP 10, GRID 1, PARCEL 564 & P/O 370
 5TH ASSESSMENT DISTRICT
 5TH ASSESSMENT DIST., ANNE ARUNDEL CO., MARYLAND 21061

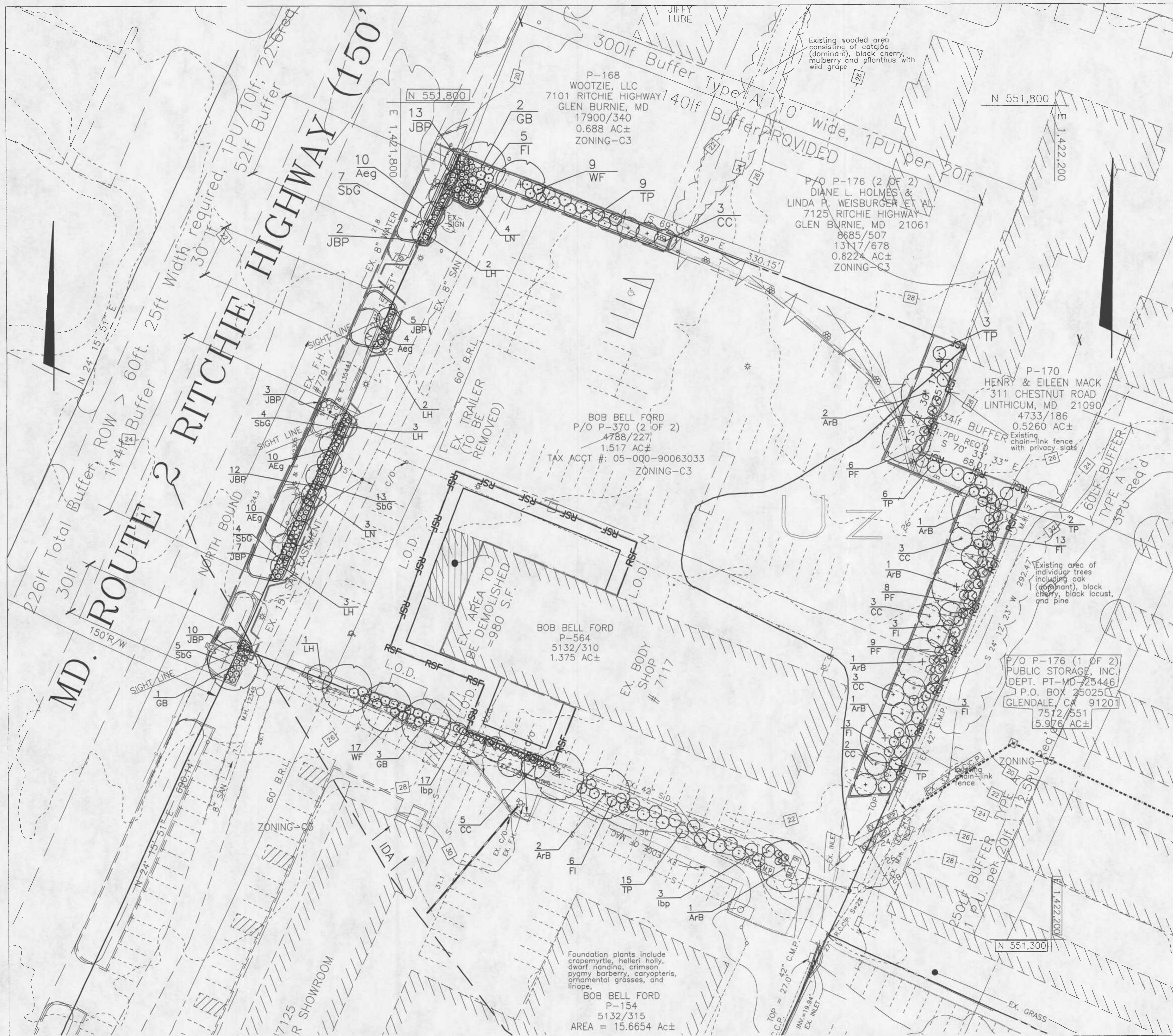
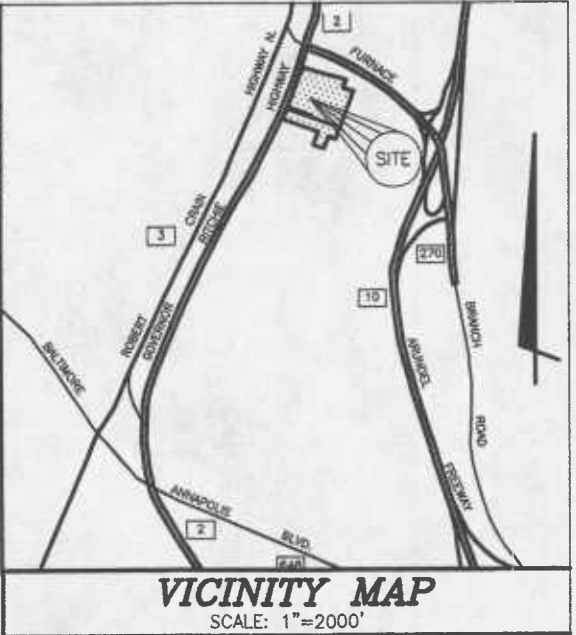
CRITICAL AREA COMMISSION
 Chesapeake & Atlantic Coastal

NUMBER
 06-6936

SHEET NO.
 4

OF 4 SHEETS





LANDSCAPE TABULATION:

ADDITION TO AUTOMOTIVE SERVICE AND OFFICE B'LD'G
 LESS THAN 50% FLOOR SPACE INCREASE
 PERIMETER BUFFER PLANTINGS PROPOSED

NORTH BUFFER
 Length of buffer 334 lf
 Buffer width required 10 ft
 Buffer width provided 10 ft
 Buffer Length to be planted 174 lf
 Planting units required 1/20lf 9
 TOTAL P.U. PROVIDED 9

EAST BUFFER
 Length of buffer 250 lf
 Buffer width required 23 - 32 ft
 Buffer width provided 5 - 20ft
 Planting Units required 1/20lf 12.5

TOTAL P.U. PROVIDED 12.5

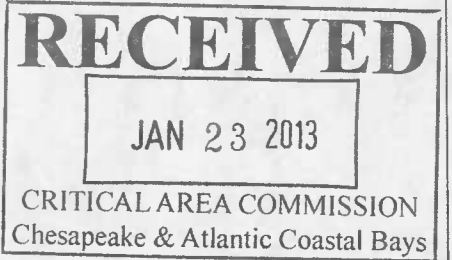
SOUTH BUFFER - BETWEEN SERVICE AND SALES BLDGS
 No buffer to area adjacent property which is
 Part of same business and ownership
 Area used for P.U. to satisfy portion of R.O.W.
 buffer requirements

WEST (RT 2, RITCHIE HIGHWAY) BUFFER
 Length of buffer 226 lf
 Buffer width required 25 ft
 Buffer width provided 6 ft
 Planting Units required 1/10lf 22.6
 Planting Units provided in ROW buffer 9

AS A MODIFICATION REQUEST:
 Planting Units provided south of prop. addition 12
 TOTAL PROVIDED 21

NOTES:

1. This plan is to be used for landscape purposes only.
2. All known utilities have been shown.
3. See Sheet L2 of 2 for Landscape Notes & Details.
4. There are no known historic features on site.
5. For further site information, see plans by C. D. Meekins & Associates, Inc.
6. This site is located within the MAA Flight zone.



LANDSCAPE PLAN

SCALE: 1" = 30'

A. A. CO. LANDSCAPE REVIEW

APPROVED BY: _____ Reviewer DATE: _____

C. D. MEEKINS & ASSOCIATES, INC.
 CONSULTING ENGINEERS AND SURVEYORS

159 MAIN ST., SECOND FLOOR ANNAPOLIS, MD. 21404-2151
 MAILING ADDRESS: P.O. BOX 2151 ANNAPOLIS, MD. 21404-2151
 ANNAPOLIS: (410) 267-0744 BALTIMORE: (410) 289-7807 FACSIMILE: (410) 267-0338
 VISIT: WWW.CDMEEKINS.COM EMAIL: MEEKINS@IX.NET.COM

NO.	REVISIONS	BY	DATE

DEBORAH M. SCHWAB
 Landscape Architecture

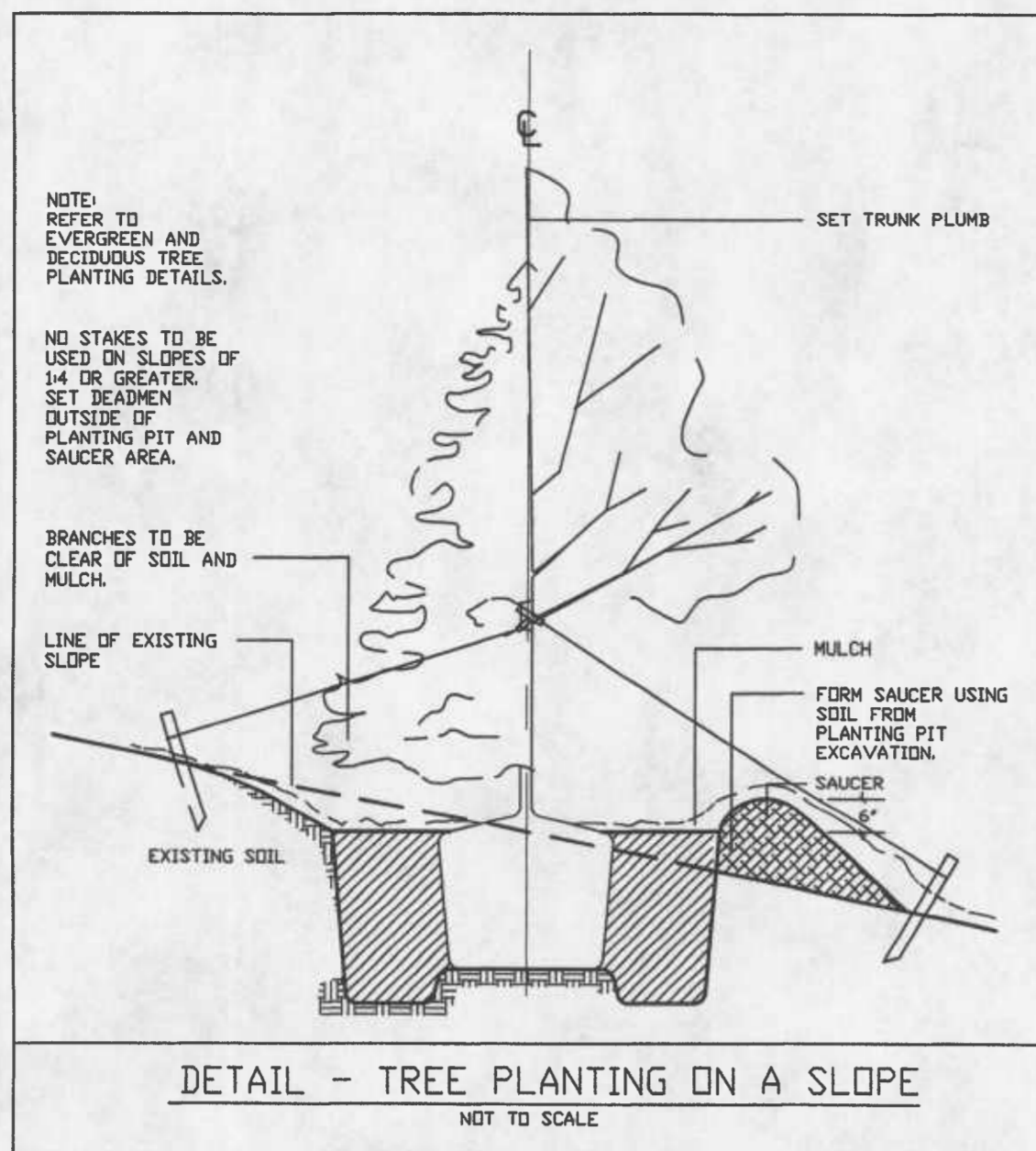
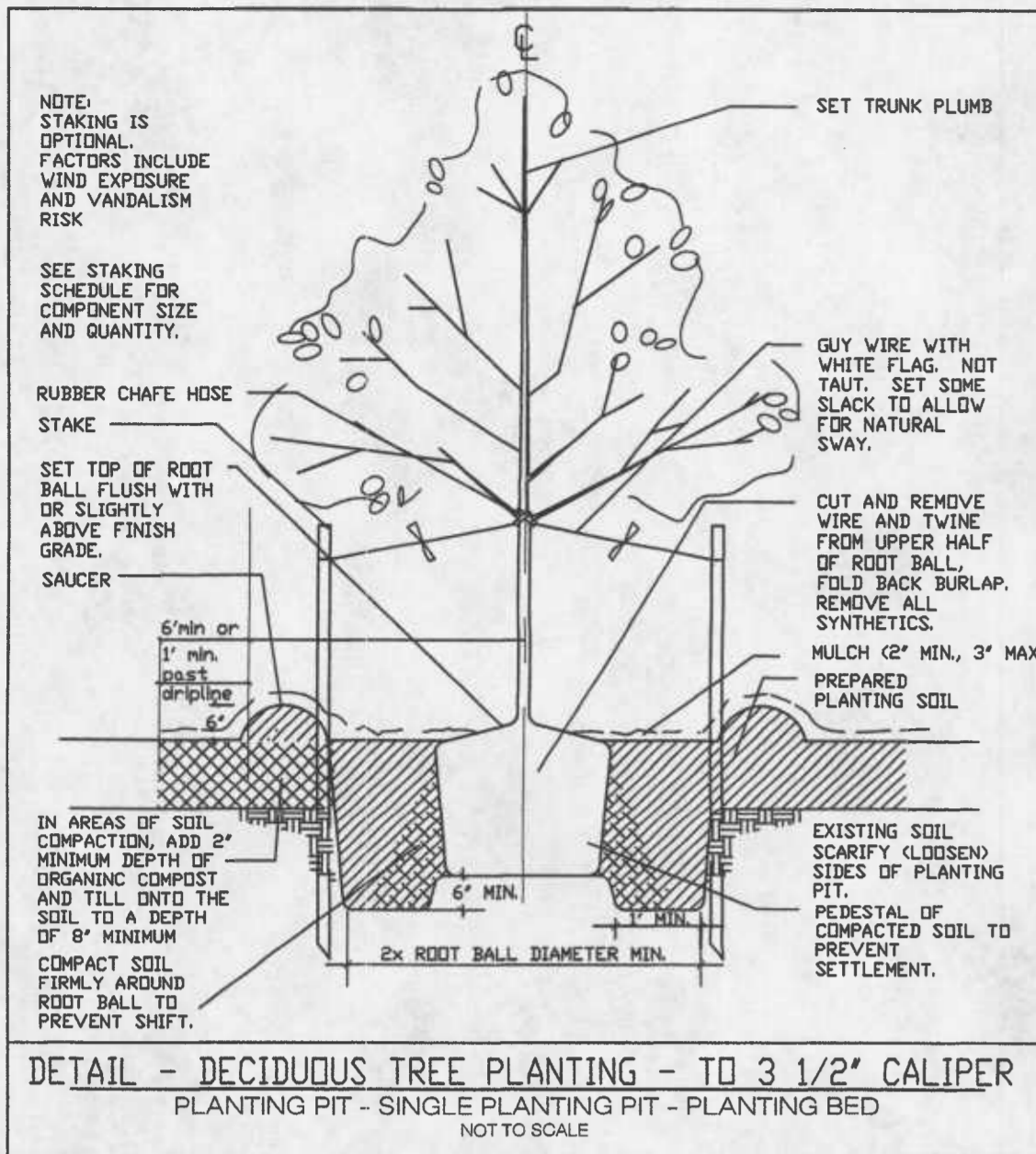
409 Washington Street Annapolis, MD 21403
 Phone: 410-268-5291 Email: dschwab@comcast.net Fax: 410-267-7809
 DRAWN BY: ds DATE: January, 2013
 CHECKED BY: dms SCALE: As Shown



PREPARED FOR
 BOB BELL FORD
 7125 RITCHIE HWY.
 GLEN BURNIE, MD. 21061
 PHONE: 410-863-1805

LANDSCAPE SCREENING & BUFFER PLAN
 BOB BELL FORD
 TAX MAP 10, BLOCK 1, PARCEL 564 & P/O 370
 7117 RITCHIE HIGHWAY
 5TH ASSESSMENT DISTRICT
 ANNE ARUNDEL COUNTY, MARYLAND 21061

JOB NUMBER
06-6936
 SHEET NO.
L1
 OF 2 SHEET



BUFFER PLANT LIST

SYM	Q'TY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SP'C'G
Aeg	34	Abelia 'Edward Goucher'	Edward Goucher Abelia	18 - 24"	cont	3'o.c.
ArB	9	Acer rubrum 'Brandywine'	Brandywine Red Maple	2-2 1/2" cal (12-14' ht)	cont	Shown
CC	19	Cercis canadensis	Eastern Redbud	1 1/2-1 3/4"	cont	15'o.c.
FI	33	Forsythia x intermedia	Showy Border Forsythia	3 - 4'		
GB	6	Ginkgo biloba***	Male Ginkgo ***	2-2 1/2" cal (12-14' ht)	b & b	Shown
lbp	20	Ilex xmeserveae 'Blue Prince'	Blue Prince Holly	24-30"	cont	3.5'o.c.
JBP	52	Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	18 - 24" sprd	cont	4'o.c.
LH	11	Lagerstroemia 'Hopi'	Hopi Crape Myrtle	1 1/2-1 3/4"	cont	12'o.c.
LN	7	Lagerstroemia 'Natchez'	Natchez Crape Myrtle	1 1/2-1 3/4"	cont	12'o.c.
PF	23	Photinia x fraseri	Fraser's Photinia	3 - 4'	cont	6'o.c.
SbG	33	Spiraea bumalda 'Goldflame'	Goldflame Spirea	18 - 24"	cont	3'o.c.
TP	42	Thuja plicata 'Green Giant'	Green Giant Arborvitae	6 - 8'	cont	15'o.c.
WF	26	Weigela florida 'Fine Wine'	Fine Wine Weigela	24-30"	cont	3.5'o.c.

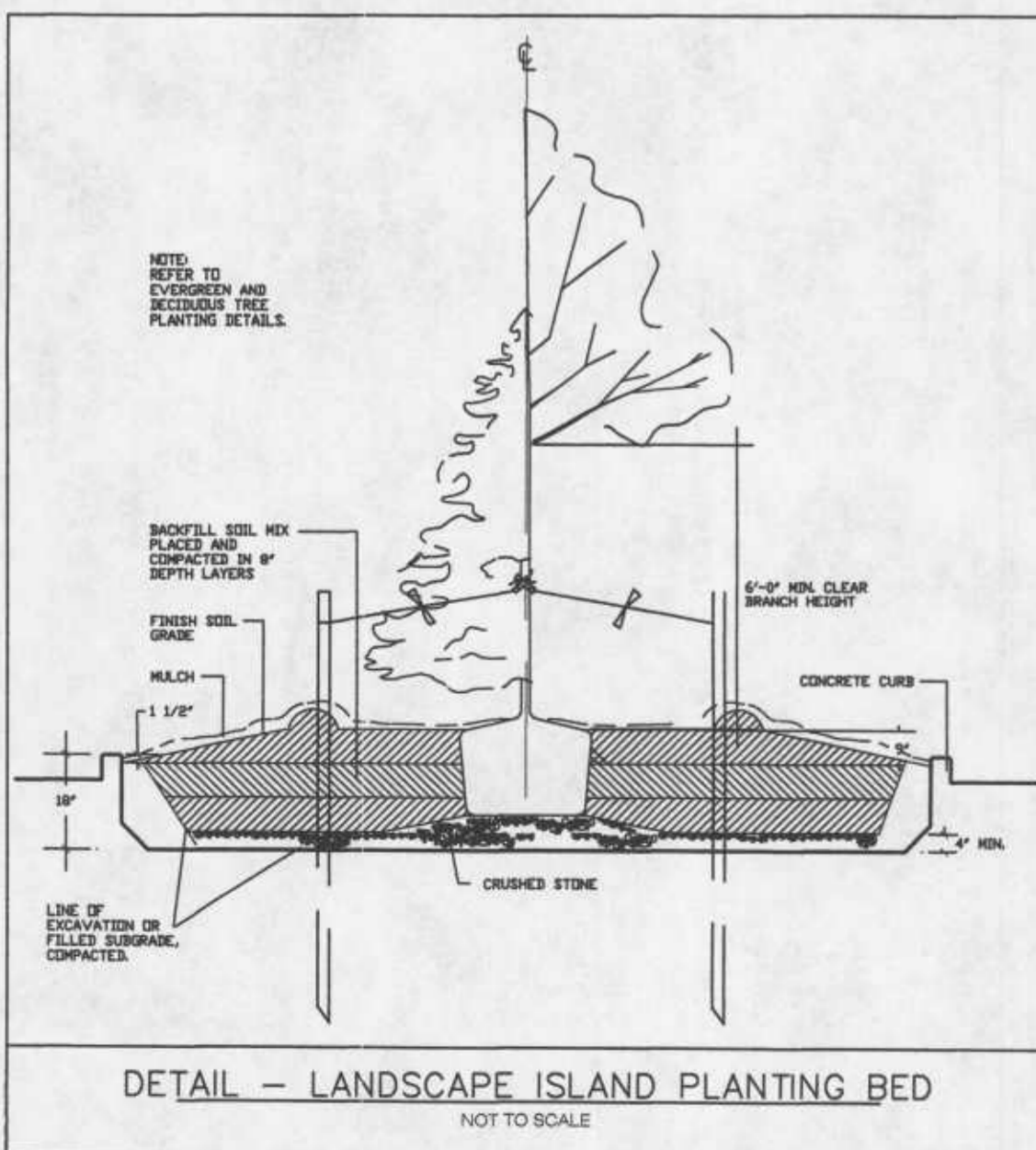
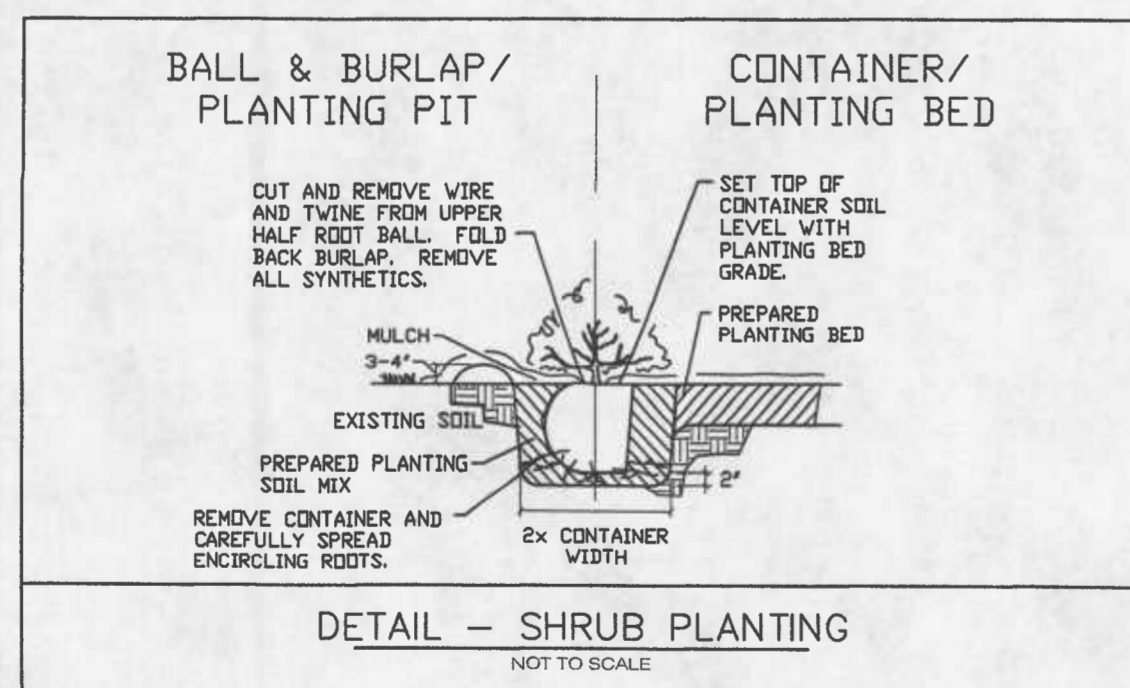
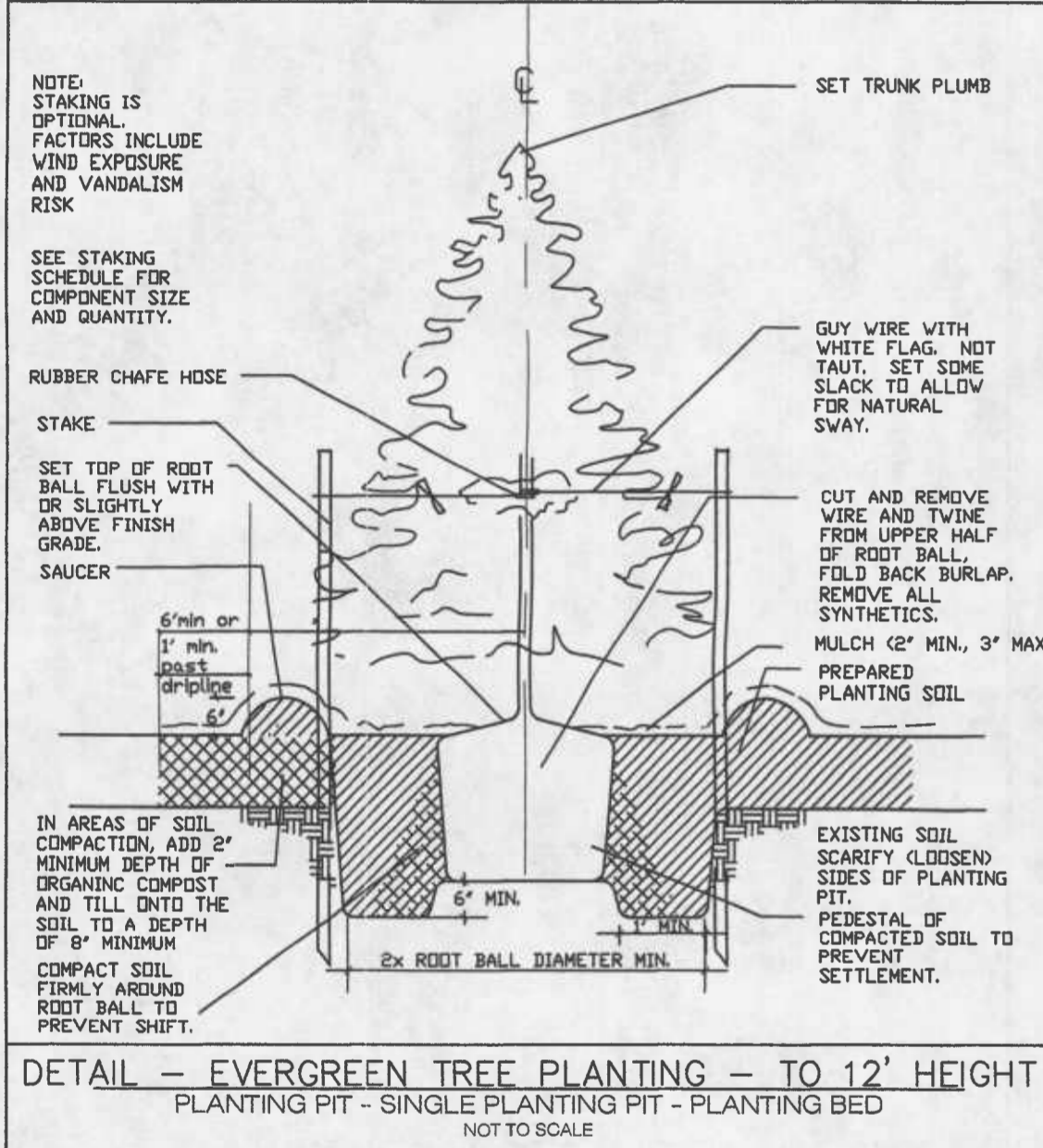
*** GRAFTED MALE ONLY

Tree Size	Stake Q'ty	Stake Size	Wire Size
6 - 10' or 1 - 2" caliper	2	2' x 2' x 6' min.	14 gauge
10 - 12' or 2-2 1/2" caliper	2	2' x 2' x 8' min.	14 gauge
12 - 16' or 2 1/2"-4" caliper	3 deadmen	24' min.	12 gauge
16 - 20' or 4 - 6" caliper	3 deadmen	30' min.	14 gauge
over 20' or over 6" caliper	3 deadmen		3/8" with turnbuckles

TREE STAKING SCHEDULE

TREE STAKING NOTES:

1. Tree staking shall be installed in areas of high wind, slopes and potential vandalism. Staking shall be monitored and reset and repaired to prevent damage to tree trunks and branches. All tree stakes shall be removed at end of warranty period.

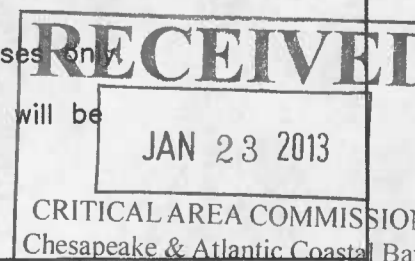


PLANTING NOTES:

1. All planting shall conform to currently approved horticultural practice. See PLANTING DETAILS. Planting shall take place between March 15 - June 1 or September 15 - November 15.
2. All plants shall conform to current standards as defined by the American Nurseryman's Association and each shall be clearly tagged with its botanical name. No substitutions shall be permitted after bid is accepted. No plants shall be pruned other than to remove a damaged branch. No plant with a dead, damaged or pruned out central leader will be accepted.
3. All plants shall be certified by the Contractor to be free of pests, fungi and diseases and/or deformities or damage.
4. Planting beds and pits shall be rendered free of all rocks over 2" and any debris found during the tilling and preparation process. All plants spaced at 6' on center (o.c.) or less shall be planted in hand-edged planting beds.
5. Planting beds shall be tilled to a minimum depth of 8". If any unsuitable conditions, such as extreme compaction or high water table are encountered, the Landscape Architect shall be notified immediately.
6. A minimum of 2" depth 'Leaf-Gro', peat moss or equivalent and 2" clean loamy topsoil shall be spread evenly over all planting beds and incorporated by tilling. In compacted or clay conditions, a minimum of 1" depth of sand shall also be incorporated.
7. A suitable slow-release fertilizer shall be used in accordance with the manufacturer's recommendations and based on soil samples taken on-site after grading has been completed. Submit fertilizer information to the Landscape Architect for approval prior to commencing planting operations. Composted cow manure may be substituted for slow-released fertilizer, applied at a minimum depth of 1/2" and tilled in with other soil amendments.
8. Soil mix for planting pits shall consist of 3 parts by volume of existing on-site soil, in part 'Leaf Gro', peat moss or equivalent and slow-release fertilizer combined per manufacturer's recommendations. In compacted conditions or clay, also add 1 part clean sand. This mix shall be prepared prior to use as backfill planting mix.
9. If any underground obstructions or other site conditions are encountered that conflict with the planned plantings, notify the Landscape Architect immediately.
10. Landscape Architect shall be notified in writing for inspection and approval of all plant materials prior to any installation. This may be waived by the General Contractor / Owner.
11. If any conflicts are found between the information shown on the Landscape Plan and that shown on the Plant Lists, notify the Landscape Architect prior to the time the final bid is submitted.
12. All planting beds shall be neatly hand edged unless otherwise specified.
13. All planting beds and pits shall be provided with a 2" minimum, 3" maximum depth of aged, shredded bark mulch, spread evenly, unless otherwise specified. In addition, planting pits shall have a 6" high rim or 'saucer' provided. No mulch shall be placed on the crown of a plant or on the root flare or trunk of a tree or shrub.
14. A water source for planting and maintenance operations will be provided by the Owner / Client. If a source is not available on-site, Contractor will include a water supply cost in his / her bid. 'Gator-bags' or equivalent slow drip watering devices are recommended for trees in times of low rainfall.
15. Any lawn, paving or other surfaces damaged by the Contractor's operations shall be repaired in kind before the project will be accepted for final approval and payment.
16. The Owner's property and any affected abutting property shall be left clean and free of any debris or excess materials resulting from any phase of the landscape operations.
17. The Contractor is responsible for repairing or replacing as necessary, any property of the Owner / Client or any affected abutting property that is damaged by the Contractor's operations, equipment or crew. Any such repair or replacement shall take place in a timely fashion and in a manner that meets with the approval of the Owner / Client.
18. Contractor shall notify the Landscape Architect or Owner / Client at the completion of landscape installation for a project acceptance inspection. All plants must be in accordance with specifications and be in healthy, vigorous conditions for acceptance.
19. All plant material shall be warranted for one year starting from the date of installation acceptance. This shall include one replacement to match the original. If the Contractor is of the opinion that a specified plant will not survive its planned location, the Landscape Architect shall be notified prior to bid. A tree shall be replaced if the main leader has died back or if the canopy is 25% or greater dead. A shrub shall be replaced if the crown is 25% or greater dead.
20. Contractor is responsible for all maintenance for a three month period following project acceptance. Maintenance shall include but not be limited to watering, herbicide, pesticide, fungicide or fertilizer applications, patching or reapplying mulch to maintain depth, pruning, adjusting stakes, weeding and repairing bed edges. This shall be included as a separate bid item. During the entire warranty period, the Contractor is responsible for checking the project and making maintenance suggestions to the Owner / Client.

GENERAL NOTES:

1. Check location of all underground utilities. Call "MISS UTILITY" at 1-800-257-7777 at least 5 days prior to any excavation.
2. Contractor is required to carry any/all Workman's Compensation and other liability insurances as required by the General Contractor / Owner.
3. Contractor is required to comply with any/all codes, regulations and ordinances that apply to the work performed on this project.
4. Contractor shall co-ordinate the execution of all work performed with the General Contractor / Owner and shall complete all work in a timely fashion.
5. General Contractor / Owner is responsible for obtaining site permits and paying applicable fees unless otherwise specified.
6. All clearing, grubbing, rough and fine grading, installation and maintenance of erosion control devices, sodding and seeding are separate operations and not included in this Landscape Plan. Except as specifically stated or in areas to be landscaped, all disturbed areas shall be sodded or seeded per Grading or Erosion Control Plan by others.
7. These plans are to be used for landscape purposes only.
8. If stockpile areas are required on-site, locations will be designated by the General Contractor / Owner.



C. D. MEEKINS & ASSOCIATES, INC.
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NO.	REVISIONS	BY	DATE

DEBORAH M. SCHWAB
 Landscape Architecture
 409 Washington Street Annapolis, MD 21403
 Phone: 410-268-5291 Email: dschwabla@comcast.net Fax: 410-267-7809
 DRAWN BY: ds DATE: January, 2013
 CHECKED BY: dms SCALE: As Shown



PREPARED FOR
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 GLEN BURNIE, MD. 21061
 PHONE: 410-863-1805

LANDSCAPE NOTES & DETAILS
 BOB BELL FORD
 TAX MAP 10, BLOCK 1, PARCEL 564 & P/O 370
 7117 RITCHIE HIGHWAY
 5TH ASSESSMENT DISTRICT
 ANNE ARUNDEL COUNTY, MARYLAND 21061

JOB NUMBER
06-6936
 SHEET NO.
L2
 OF 2 SHEET