Martin O'Malley

Governor

Anthony G. Brown
Lt. Governor



Margaret G. McHale Chair

Ren Serey
Executive Director

#### STATE OF MARYLAND CRITICAL AREA COMMISSION CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100, Annapolis, Maryland 21401 (410) 260-3460 Fax: (410) 974-5338 www.dnr.state.md.us/criticalarea/

August 3, 2009

Ms. Kelly Krinetz Anne Arundel County Office of Planning and Zoning 2664 Riva Road, MS 6301 Annapolis, Maryland 21401

Re: Cedarhurst on the Bay, Lots 11 & 12, TM 69, P237

Modification # 10518, P# B02254044

Dear Ms. Krinetz:

Thank you for forwarding the above referenced modification request. The applicant is requesting a modification in order to disturb nontidal wetlands. The 10,000 square foot property is entirely within the Critical Area, and is designated as an Intensely Developed Area (IDA). The applicant proposes to construct a single family dwelling on the property, and has obtained a variance in order to disturb the wetlands.

Provided the applicant constructs the dwelling in accordance with the conditions of variance approval, this office has no comment regarding the request for a modification. Please note that the Hearing Officer's March 4, 2008 approval included conditions requiring mitigation to offset the disturbance to the property as well as stormwater management for the new development. As the property is located within the IDA, the State and County Law require the applicant to provide a 10% reduction in pollutant loadings on the site. Information as to how the applicant will meet the requirements of the conditions of variance approval as well as the 10% pollutant reduction requirement should be provided in future submittals.

Thank you for the opportunity to comment. Please telephone me if you have any questions at (410) 260-3481.

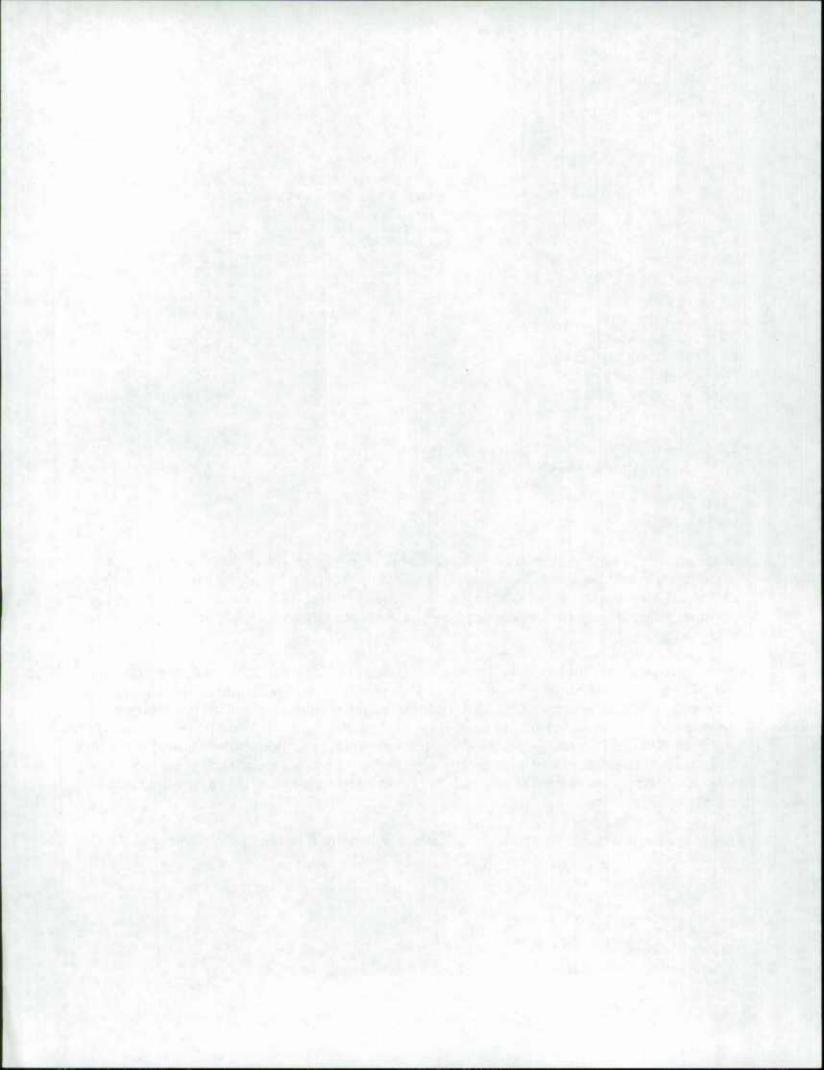
Sincerely,

Amber Widmayer

Natural Resources Planner

CC:

AA 10-08



Martin O'Malley

Governor

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Executive Director

#### STATE OF MARYLAND CRITICAL AREA COMMISSION CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100. Annapolis, Maryland 21401 (410) 260-3460 Fax: (410) 974-5338 www.dnr.state.md.us/criticalarea/

January 14, 2008

Ms. Suzanne Schappert Anne Arundel County Office of Planning and Zoning 2664 Riva Road, MS 6401 Annapolis, Maryland 21401

Re: Local Case #2007-0433-V

US Financial Capital, Inc.

Dear Ms. Schappert:

Thank you for submitting the above referenced variance. The applicant is requesting a variance to construct a new single family dwelling on a 10,000 square foot lot with 4,407 square feet of disturbance to nontidal wetlands. The property is classified as an Intensely Developed Area (IDA).

This office does not oppose the granting of this variance request, provided the applicant completes the required wetland creation mitigation as determined by Maryland Department of the Environment (MDE). Further, the applicant must provide 2,156 square feet of plantings onsite to meet the 10% pollutant removal requirements. Plantings should consist of a mix of native shrubs and trees appropriate to the nontidal wetland environment.

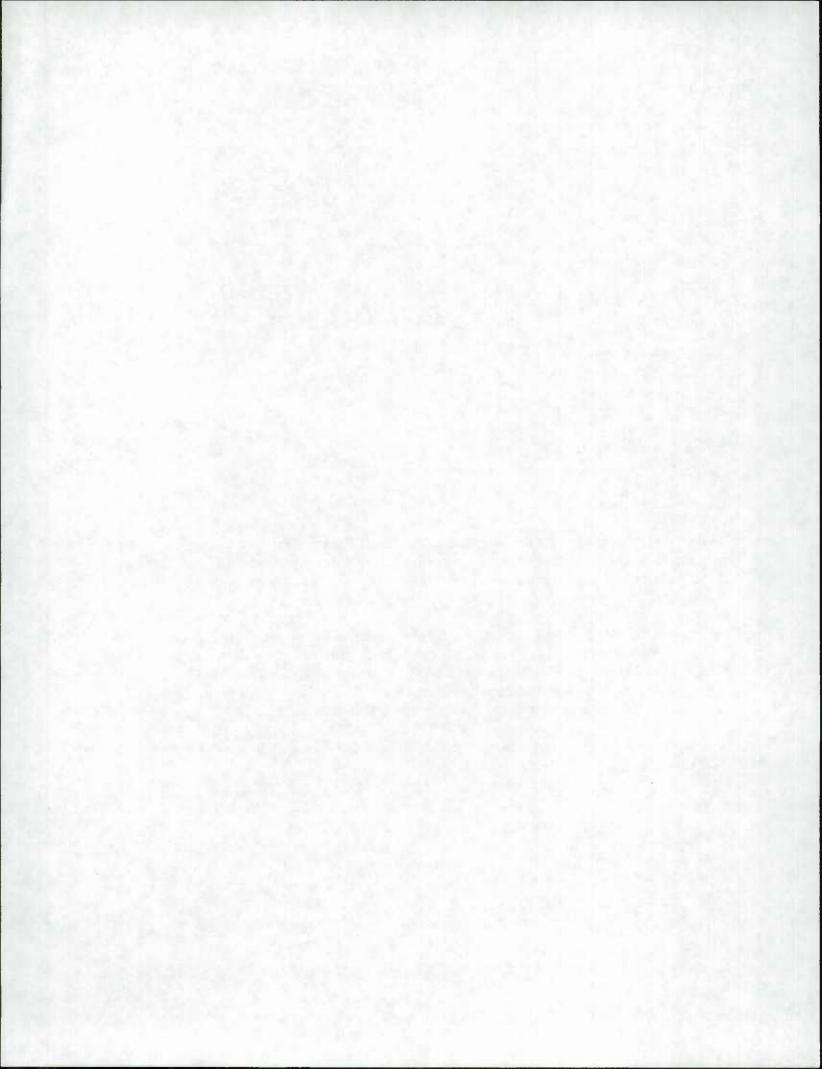
Thank you for the opportunity to comment. If you have any questions, please contact me at (410) 260-3475.

Sincerely,

Kate Schmidt

Natural Resources Planner

AA10-08



#### IN THE OFFICE OF ADMINISTRATIVE HEARINGS

**CASE NUMBER 2007-0433-V** 

U. S. FINANCIAL CAPITAL, INC.

SEVENTH ASSESSMENT DISTRICT

DATE HEARD: FEBRUARY 26, 2008

ORDERED BY: STEPHEN M. LeGENDRE, ADMINISTRATIVE HEARING OFFICER

PLANNER: ROBERT KONOWAL

MAR - 7 2008

CRITICAL AREA COMMISSION

CRITICAL AREA COMMISSION
Chesapeake & Atlantic Coastal Bays

DATE FILED: MARCH 4, 2008

TOTAL AREA COMMISSION

#### **PLEADINGS**

U.S. Financial Capital, Inc., the applicant, seeks a variance (2007-0433-V) to allow a dwelling with less setbacks and buffer than required on property located along the north side of Holly Avenue, east of Lake Avenue, Shady Side.

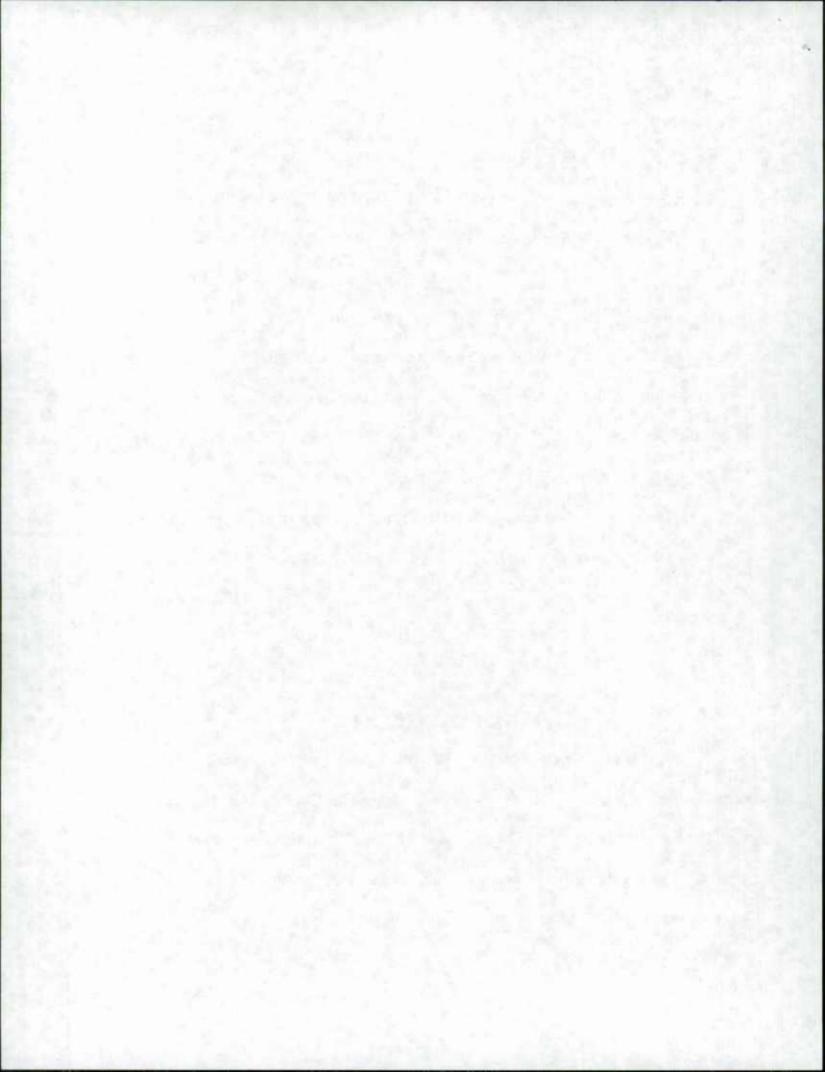
#### **PUBLIC NOTIFICATION**

The hearing notice was posted on the County's web site in accordance with the County Code. The file contains the certification of mailing to community associations and interested persons. Each person designated in the application as owning land that is located within 175 feet of the property was notified by mail, sent to the address furnished with the application. Gary Evans, the applicant's representative, testified that the property was posted for more than 14 days prior to the hearing. I find and conclude that there has been compliance with the notice requirements.

#### FINDINGS AND CONCLUSIONS

This case concerns unimproved property with a street address of 1184

Holly Avenue, in the subdivision of Cedarhurst on the Bay, Shady Side. The property comprises 10,000 square feet and is zoned R5 residential with a Chesapeake Bay Critical Area designation as Intensely Developed Area (IDA). The request is to construct a single-family dwelling, driveway and well with



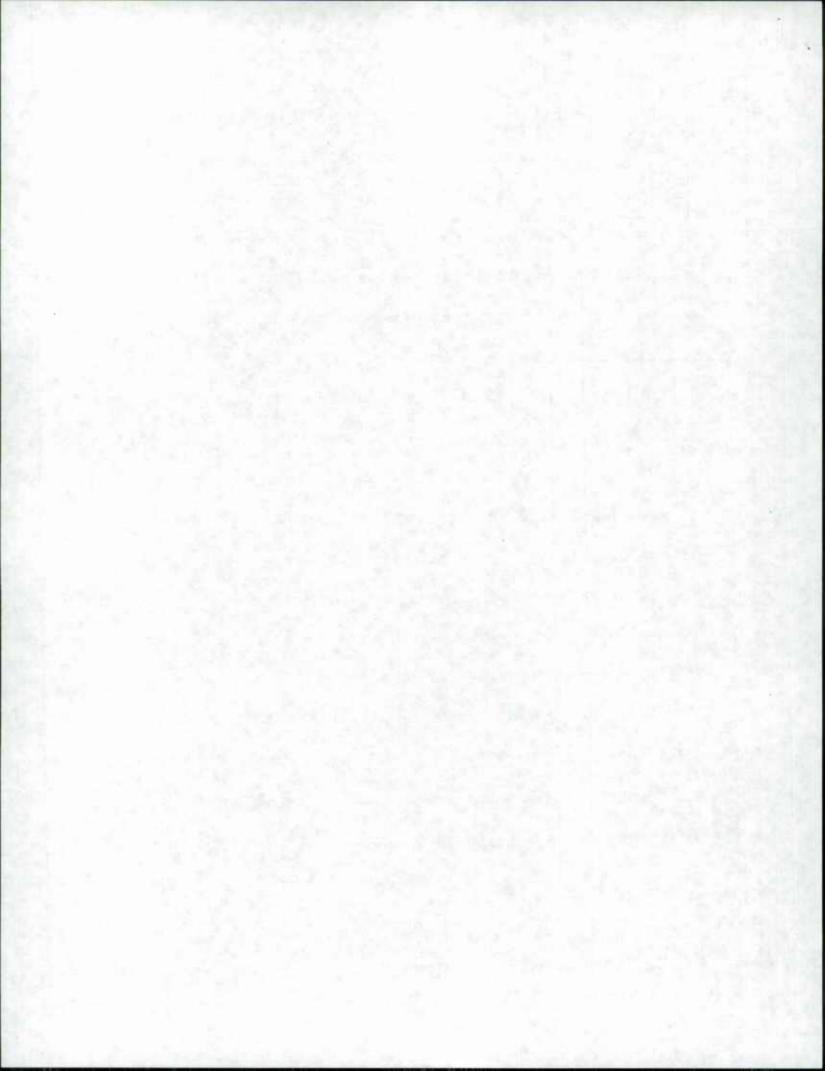
disturbance to nontidal wetlands. The dwelling is located 22 feet from the front lot line.

Anne Arundel County Code, Article 17, Section 17-8-502, proscribes the disturbance of habitat protection areas. Article 18, Section 18-4-701 requires principal structures in the R5 district to maintain 25 feet from the front lot line. Accordingly, the proposal requires a variance to disturb nontidal wetlands and a variance of three feet to the front setback.

Robert Konowal, a planner with the Office of Planning and Zoning, testified that the property is entirely nontidal wetlands. The applicant has reduced the variance by locating the dwelling closer to the road. Nevertheless, Mr. Konowal questioned the extent of the relief, because the dwelling is fairly sizeable (50 by 29 feet). On the other hands, the request is considered consistent with the character of the neighborhood. There were no adverse agency comments. By was of conclusion, Mr. Konowal opposed the application as filed, but recommended support for a smaller dwelling.

Mr. Evans submitted a series of topographical and photographic exhibits. Cedarhurst on the Bay was platted in 1925 and includes some 50-foot wide lots with comparably sized dwellings. For this property, two lots are being consolidated. The dwelling includes an integral garage and is considered consistent with the character of the neighborhood. The witness opined that the

<sup>&</sup>lt;sup>1</sup> The Department of Health requested plan approval; the Chesapeake Bay Critical Area Commission requires wetlands mitigation as determined by the Maryland Department of the Environment (MDE) and plantings to satisfy the 10 percent pollutant reduction requirements.

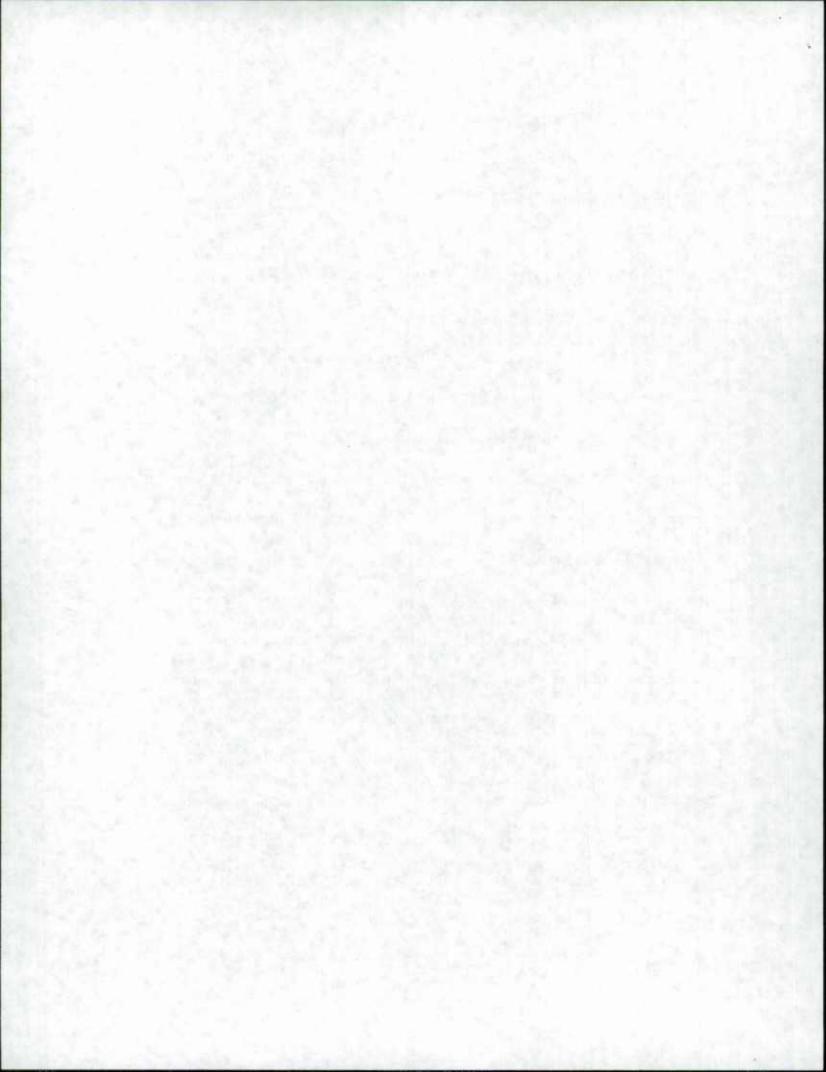


variance standards are satisfied. Finally, the authorization from MDE to disturb nontidal wetlands is pending. Benjamin Carr, an environmental consultant to the applicant, testified that other wetlands lots in Cedarhurst by the Bay have been developed.

Mark Laidlaw, who resides on property to the south, expressed concern for the potential for increased flooding from the project.

By way of further explanation, Mr. Evans indicated that runoff would continue to be conveyed through the site and the applicant would be required to follow the County's stormwater management regulations.

Upon review of the facts and circumstances, I find and conclude that the applicant is entitled to conditional relief from the code. For this Critical Area property, due to the extent of the nontidal wetlands, a strict implementation of the program would result in an unwarranted hardship. To literally interpret the program would deny the applicant the right to develop the property with a single-family dwelling, a right commonly enjoyed by other properties in similar area of the Critical Area. Conversely, the granting of the variance is not a special privilege that the program typically denies to other Critical Area lands. There is no indication that the request results from the actions of the applicant or from land use on neighboring property. Finally, with mitigation and other conditions, the variance will not adversely impact Critical Area assets and harmonizes with the general spirit and intent of the program.



With respect to the zoning variance, this property minimally satisfies the test of unique physical conditions, consisting of the extent of the wetlands, such that there is no reasonable possibility of development in strict conformance with the code.

I further find that the variances represent the minimum relief. Based on the testimony and the photographs, the dwelling is not excessive in size. There is nothing to suggest that the granting of the variances will alter the essential character of the neighborhood, substantially, impair the appropriate use or development of adjacent property or cause a detriment to the public welfare. The approval is subject to the conditions in the Order.

#### **ORDER**

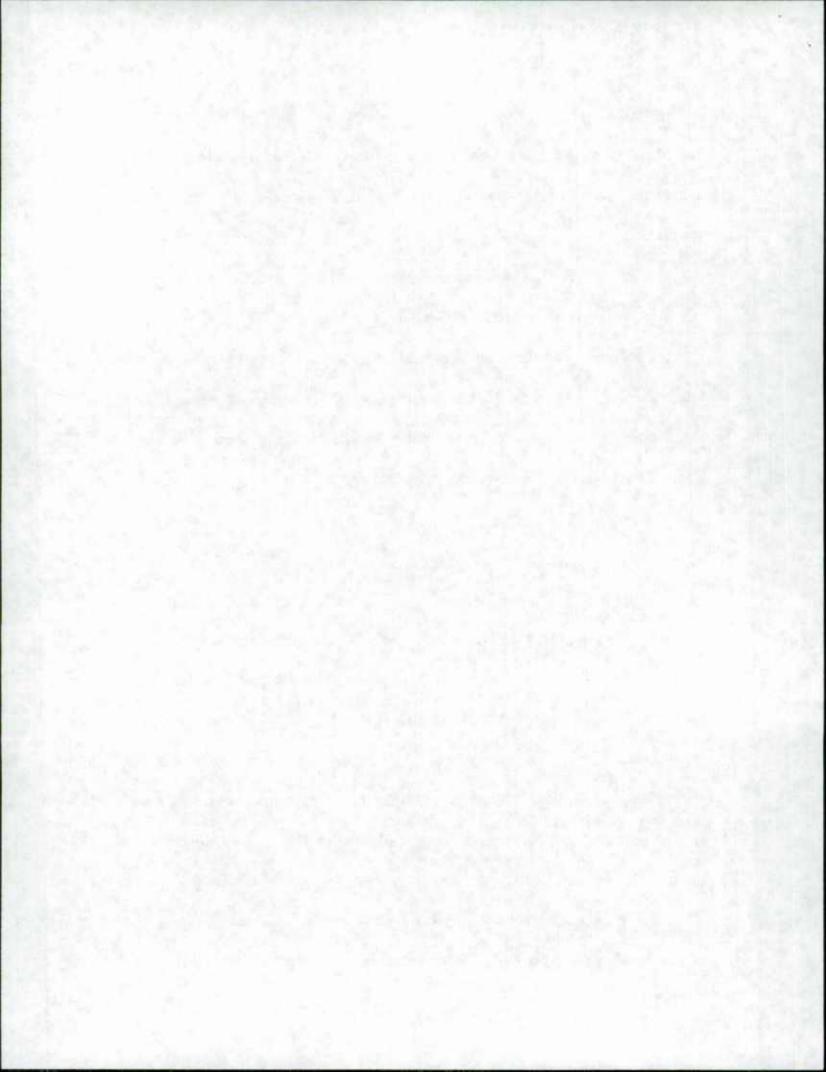
PURSUANT to the application of U.S. Financial Capital, Inc., petitioning for a variance to allow a dwelling with less setbacks and buffer than required, and

PURSUANT to the notice, posting of the property, and public hearing and in accordance with the provisions of law, it is this \_\_\_\_\_day of March, 2008,

ORDERED, by the Administrative Hearing Officer of Anne Arundel County, that the applicant is **granted** a variance to disturb nontidal wetlands and a variance of three feet to the front setback to allow a dwelling (29 by 50 feet) in accordance with the site plan.

The foregoing approval is subject to the following conditions:

1. The building permit is subject to the approval of the Department of Health.



- 2. The applicant shall obtain authorization to disturb nontidal wetlands from MDE.
- 3. The applicant shall obtain a grading permit and shall provide mitigation and stormwater management as determined by the Permit Application Center.
- 4. No further expansion of the dwelling is allowed and accessory structures are not allowed.
- 5. The conditions of the approval run with the land and shall be included in any contract of sale.

Stephen M. LeGendre

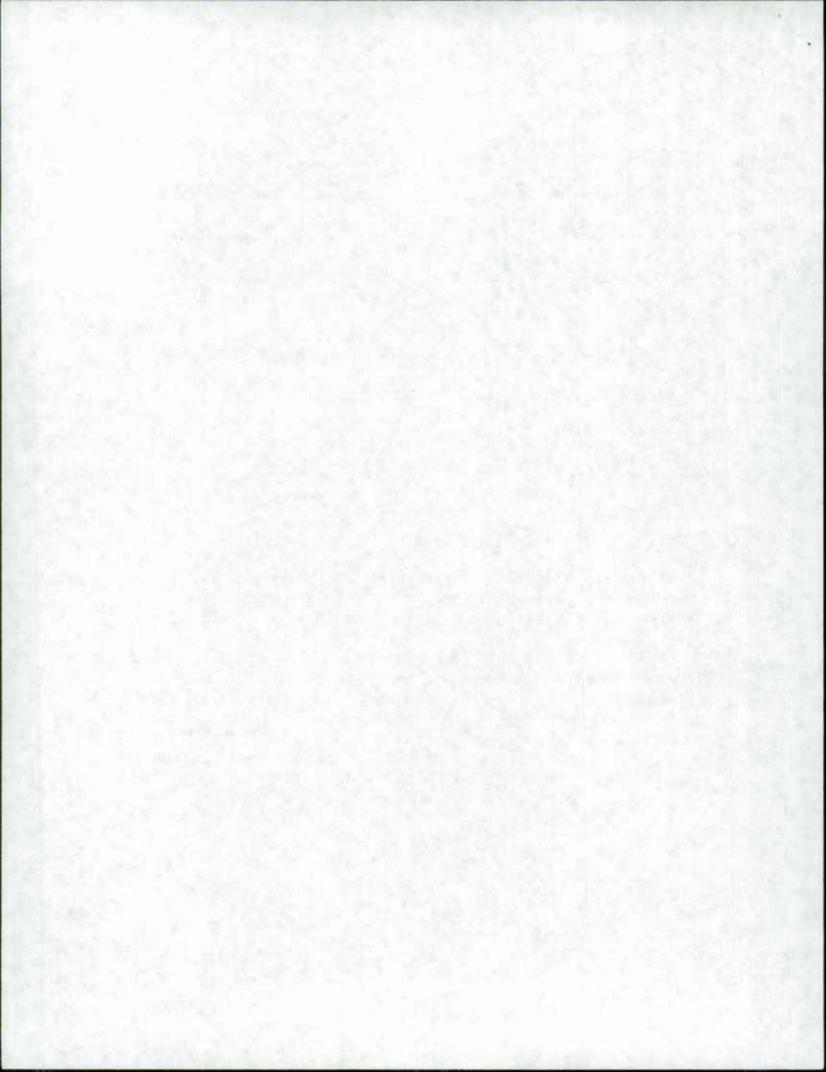
Administrative Hearing Officer

#### **NOTICE TO APPLICANT**

Within thirty days from the date of this Decision, any person, firm, corporation, or governmental agency having an interest therein and aggrieved thereby may file a Notice of Appeal with the County Board of Appeals.

Further Section 18-16-405(a) provides that a variance expires by operation of law unless the applicant obtains a building permit within eighteen months. Thereafter, the variance shall not expire so long as construction proceeds in accordance with the permit.

If this case is not appealed, exhibits must be claimed within 60 days of the date of this Order, otherwise they will be discarded.



# SEQUENCE OF CONSTRUCTION

1. PRE- CONSTRUCTION MEETING: NOTIFY THE DEPARTMENT OF INSPECTIONS AND PERMITS (410) 222-7780 AT LEAST 48 HOURS BEFORE COMMENCING WORK. WORK MAY NOT COMENCE UNTIL THE PERMITTEE OR THE RESPONSIBLE PERSONNEL HAVE MET ON SITE WITH THE SEDIMENT AND ERISION CONTROL INSPECTOR TO REVIEW THE APPROVED PLANS. EXISTING TOPOGRAPHY TO BE VERIFIED BY THE SEDIMENT CONTROL INSPECTOR. (1 DAY) CLEAR MINIMUM AREA NECESSARY TO INSTALL S.C.E. AND REINFORCED SILT FENCE. (2 DAYS)

3. OBTAIN PHASE ONE INSPECTION FROM ENGINEER AND AACO INSPECTOR.

4. INSTALL WELL AND PROTECT FROM CONSTRUCTION. WELL INSTALLATION REQUIRED EARLY TO MINIMIZE DISTURBED AREA.

5. GRADE LOT AS SHOWN ON PLANS AND CONSTRUCT FOOTERS AND FOUNDATION. TEMPORARILY STABILIZE SITE. BUILDING CONSTRUCTION MAY NOT PROCEED PAST THE GROUND FLOOR UNTIL ALL REMAINING DISTURBED AREAS HAVE BEEN PERMANENTLY OR TEMPORARILY STABILIZED. DURING BUILDING CONSTRUCTION BEYOND THE GROUND FLOOR, ALL DISTURBED AREAS MUST BE STABILIZED AT THE END OF EACH BUSINESS DAY.

OBTAIN GRADING INSPECTOR'S APPROVAL BEFORE CONTINUING. (3 WEEKS)

6. INSTALL PRESSURE SEWER AND OTHER UTILITIES. (1 WEEK) 7. With INSPECTORS APPROVAL FINISH CONSTRUCTION OF HOUSE. (3 MONTHS)

8. FINE GRADE, FINAL PAVE WALKS AND DRIVE. (2 MONTHS)

9. INSTALL STORMWATER MANAGEMENT PLANTINGS (2 WEEKS) 10. STABILIZE ALL DISTURBED AREAS WITH SEED AND MULCH AS INDICATED. WITH THE INSPECTORS

APPROVAL REMOVE ANY REMAINING SEDIMENT CONTROL DEVICES. (10 DAYS) 11. FINAL CLEAN UP BY BUILDERS AND ONGOING MAINTENANCE BY THE OWNERS

#### STANDARD RESPONSIBILITY NOTES

I (WE) CERTIFY THAT:

- A. ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN, AND FURTHER, AUTHORIZE THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY THE ANNE ARUNDEL SOIL CONSERVATION DISTRICT BOARD OF SUPERVISORS OR THEIR AUTHORIZED AGENTS.
- B. ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE FROM THE MARYLAND DEPARTMENT OF THE ENVIRONMENT'S APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

RESPONSIBLE PERSON ON-SITE: BRUCE JAFFE

- C. IF APPLICABLE, THE APPROPRIATE ENCLOSURE WILL BE CONSTRUCTED AND MAINTAINED ON SEDIMENT BASIN(S) INCLUDED IN THIS PLAN. SUCH STRUCTURE:(S) WILL BE IN COMPLIANCE WITH THE ANNE ARUNDEL COUNTY CODE.
- 2. THE DEVELOPER IS RESPONSIBLE FOR THE ACCIUISITION OF ALL EASEMENTS, RIGHT, AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORMWATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORMWATER ONTO OR ACROSS ADJANCENT OR DOWNSTREAM PROPERTIES INCLUDED IN THE PLAN.
- 3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN SEVEN CALENDAR DAYS FOR THE SURFACE OF ALL CONTROLS, DIKES, SWALES. DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND FOURTEEN DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. TEMPORARY STABILIZATION OF THE SURFACE OF PERIMETER CONTROLS, DIKES, SWALES, DITCHES, AND PERIMETER SLOPES MAY BE ALLOWED AT THE DISCRETION OF THE SEDIMENT CONTROL INSPECTOR.
- 4. THE SEDIMENT CONTROL APPROVALS ON THIS PLAN EXTEND ONLY TO AREAS AND PRACTICES IDENTIFIED AS PROPOSED WORK.
- 5. THE APPROVAL OF THIS PLAN FOR SEDIMENT AND EROSION CONTROL PLAN DOES NOT RELIEVE THE DEVELOPER/CONSULTANT FROM COMPLYING WITH ANY FEDERAL, STATE OR COUNTY REQUIREMENTS APPERTAINING TO ENVIRONMENTAL ISSUES.
- 3. THE DEVELOPER MUST REQUEST THAT THE SEDIMENT CONTROL INSPECTOR APPROVE WORK COMPLETED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN, THE GRADING OR BUILDING PERMIT, AND THE ORDINANCE.
- 7. ALL MATERIAL SHALL BE TAKEN TO A SITE WITH AN APPROVED SEDIMENT AND EROSION CONTROL PLAN.
- 8. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE SEDIMENT AND EROSION CONTROL INSPECTOR SHALL BE REQUIRED ON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THE INITIAL APPROVAL BY THE SEDIMENT AND EROSION CONTROL INSPECTOR IS GIVEN.
- 9. APPROVAL SHALL BE REQUESTED ON FINAL STABILIZATION OF ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES BEFORE REMOVAL OF CONTROLS.
- 10. EXISTING TOPOGRAPHY MUST BE FIELD VERIFIED BY RESPONSIBLE PERSONNEL TO THE SATISFACTION OF THE SEDIMENT CONTROL INSPECTOR PRIOR TO COMMENCING WORK.

NAME: S. BRUCE JAFFE

TITLE: PRESIDENT - US FINANCIAL CAPITAL, INC. ADDRESS: 8600 SNOWDEN RIVER PARKWAY, SUITE 207 COLUMBIA, MARYLAND 21045 TELEPHONE NUMBER: 443 596 0222

#### CONSULTANT'S CERTIFICATION

"THE DEVELOPER'S PLAN TO CONTROL SILT AND EROSION IS ADEQUATE TO CONTAIN THE SILT AND EROSION ON THE PROPERTY COVERED BY THIS PLAN. I CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THIS SITE, AND WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ANNE ARUNDEL SOIL CONSERVATION DISTRICT PLAN SUBMITTAL GUIDELINES AND THE CURRENT MARYLAND STANDARDS AND SPECIFICATIONS OF SEDIMENT AND EROSION CONTROL. I HAVE REVIEWED THIS EROSION AND SEDIMENT CONTROL PLAN WITH THE OWNER/DEVELOPER."

BY: GLENN P. NILSEN, P.E.

GLENN P. NILSEN AND ASSOCIATES, LLC. MARYLAND REGISTERED PROFESSIONAL ENGINEER # 19615

# STORMWATER MANAGEMENT RECORD DRAWING CERTIFICATION

THIS CERTIFIES TO THE BEST OF MY PROFESSIONAL BELIEF AND KNOWLEDGE, THE APPROVED S.W.M. SYSTEM(S) AS SHOWN HEREON HAVE BEEN CONSTRUCTED IN SUCH A MANNER THAT WOULD BE CONSISTENT WITH THE APPROVED PLANS. ANY CHANGES/MODIFICATIONS ARE IDENTIFIED IN RED.

GLENN P. NILSEN, P.E. #19615

DATE

Revisions

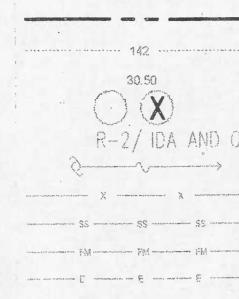
## LEGEND

PROPERTY LINE / RIGHT-OF-WAY **EXISTING CONTOUR** EXISTING SPOT ELEVATION EXISTING TREE / TREE TO BE REMOVED

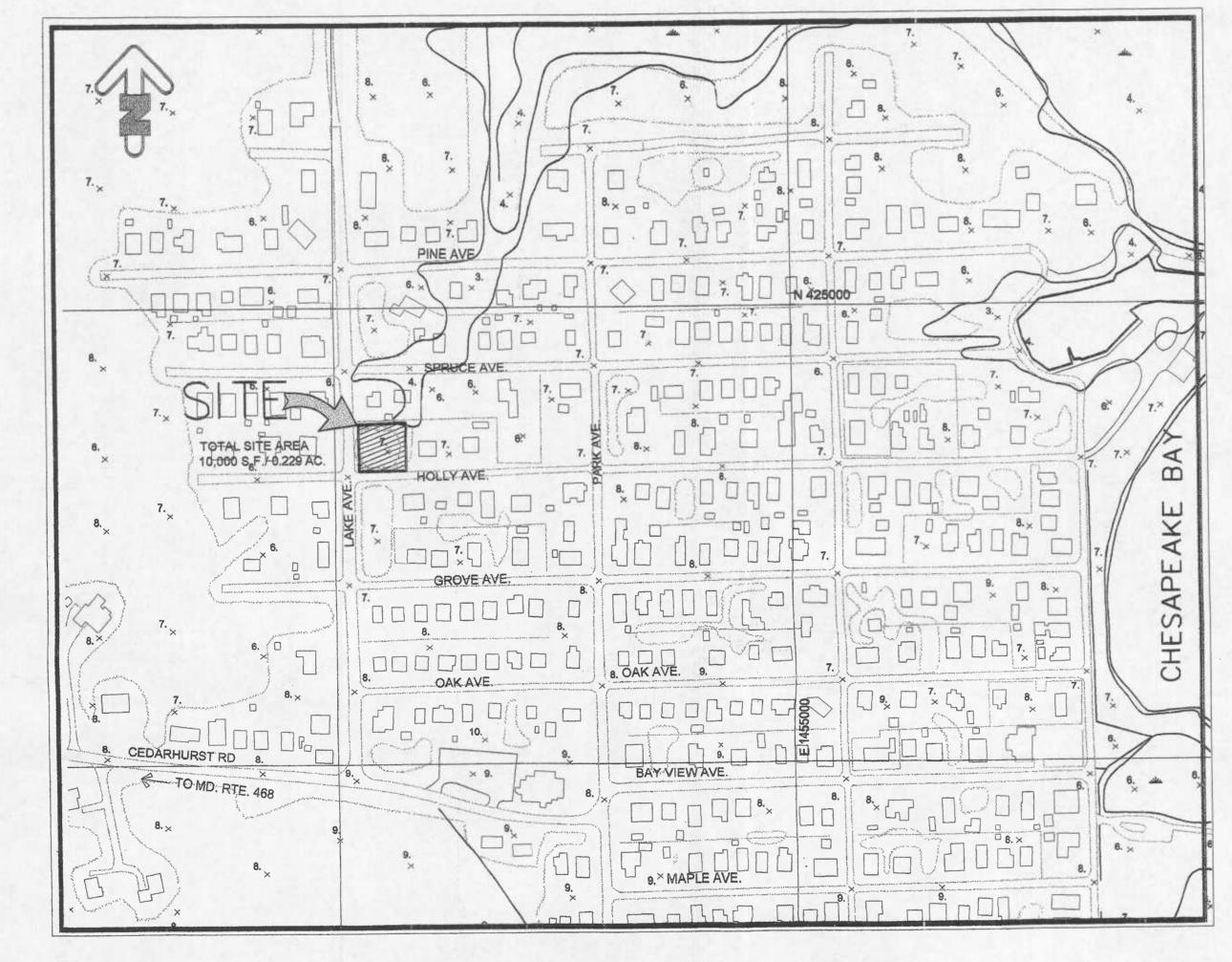
**EXISTING ZONING DESIGNATION** EXISTING UTILITY POLE W/ OVERHEAD WIRE **EXISTING FENCE** 

**EXISTING SANITARY SEWER EXISTING FORECEMAIN** EXISTING ELECTRIC

**EXISTING STORM DRAIN** 



PROPOSED CONTOUR PROPOSED SPOT ELEVATION PROPOSED TREE PROPOSED SHRUB PROPOSED WOODS LINE LIMIT OF DISTURBANCE REINFORCED SIL'T FENCE— RSF — RSF — RSF — RSF TO BE REMOVED \_\_\_\_\_ \$\$ \_\_\_\_ \$\$ \_\_\_\_ \$\$ \_\_\_\_ PROPOSED SEWER



# OVERALL SITE AREA AND DRAINAGE AREA MAP

SCALE: 1"=200" AACo. DPW TOPO

#### OWNER / DEVELOPER

US FINANCIAL CAPITAL, INC. 8600 SNOWDEN RIVER PARKWAY, SUITE 207 COLUMBIA, MD 21045 410 953 0222

### DRAWING INDEX

1 OF 3 2 OF 3 3 OF 3

COVER SHEET, OVERALL D.A MAP AND NOTES SITE GRADING AND SEDIMENT CONTROL STORMWATER MANAGEMENT NOTES AND PLANTING PLAN

#### PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19615, EXPIRATION DATE: 04/21/2010

### COVER SHEET, OVERALL D.A. MAP AND NOTES 8507 Date As Shown Scale GPN Drawn By Designed By Approved By GPN

# **GENERAL NOTES**

1.) THE SUBJECT PROPERTY IS KNOWN AS TAX MAP 69, GRID 18, PARCEL 237, SHADYSIDE, MD.

2.) PROPERTY TOPOGRAPHY BY WALKER LAND SURVEYS MONTH 2006. THE SURVEY WAS TIED TO AACO CONTROL MONUMENT NAD 1983. NO BOUNDARY SURVEY WAS PERFORMED BY THE ENGINEER. THE SURVEY AND PLAN WERE PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THERE MAY BE ADDITIONAL CONVEYANCES, EASEMENTS, COVENANTS, RIGHTS OF WAYS OR MORE STRINGENT BUILDING RESTRICTIONS NOT SHOWN.

3.) EXISTING TOPOGRAPHY AND FEATURES SHOWN HEREON WERE TAKEN FROM A COMBINATION OF EXISTING COUNTY AERIAL TOPOGRAPHY, SITE RECORDS, AND FIELD SURVEYS.

4.) THE SITE IS LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA IDA

5.) SITE UTILITIES ARE AS FOLLOWS: - WATER: PRIVATE WATER. - SANITARY SEWER: PUBLIC LOW PRESSURE SEWER.

6.) THE PROPERTY DESCRIBED HEREON IS LOCATED IN FEMA FLOOD HAZARD A7 (ELEVATION 7.0) PER MAP # 52.

7.) ALL NORTH ARROWS AND GRID TICKS SHOWN HEREON ARE ON MARYLAND GRID AND NAD83 COORDINATE SYSTEMS.

8.) ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS REQUIREMENTS AND SPECIFICATIONS UNLESS OTHERWISE DETAILED OR SPECIFIED ON THE PLANS.

9.) THE EXISTING UTILITIES AND OBSTRUCTIONS SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR TO HIS OWN SATISFACTION PRIOR TO ANY CONSTRUCTION, ANY UTILITIES DAMAGED DUE TO THE CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.

10.) THE CONTRACTOR SHALL CALL "MISS UTILITY" (1-800-257-7777) A MINIMUM OF 5 DAYS IN ADVANCE OF ANY EXCAVATION, BORING, PILE DRIVING, AND/OR DIGGING FOR THE LOCATIONS OF GAS, ELECTRIC, WATER, SEWER, AND TELEPHONE LINES.

11.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY FENCE, DRIVEWAY, LANDSCAPING, ETC. DAMAGED OR REMOVED BY HIM DURING CONSTRUCTION. ALL DISTURBED AREAS OUTSIDE THE RIGHT OF WAY LINES SHALL BE RETURNED TO THEIR ORIGINAL CONDITION UNLESS OTHERWISE INDICATED AND SPECIFIED.

12.) IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK THAT WOULD NATURALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.

13.) THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE LATEST VERSION OF OSHA STANDARDS AND/OR REGULATIONS.

14.) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION TO THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY CHANGE IN THIS PLAN MADE WITHOUT THE WRITTEN AUTHORIZATION FOR SAID CHANGE FROM THE ENGINEER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR THE SUBCONTRACTOR. SAID CHANGES MAY WARRANT COUNTY REVIEW AND APPROVAL.

15.) THE CONTRACTOR SHALL NOTE THAT IN THE CASE OF A DISCREPANCY BETWEEN THE SCALED AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSION SHALL GOVERN.

16.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF HIS CONSTRUCTION WITH THE CONSTRUCTION BY OTHER

17.) IF NECESSARY, ALL UTILITY POLES SHALL BE BRACED WHEN NECESSARY AT THE CONTRACTORS EXPENSE. THE UTILITY POLES SHALL BE RELOCATED AT THE OWNER'S EXPENSE ONLY IN CASES WHERE THEY WILL INTERFERE WITH CONSTRUCTION.

18.) ALL AVAILABLE UTILITIES (IE., ELECTRIC, WATER, GAS, AND COMMUNICATIONS), IF APPLICABLE, SHALL BE PROVIDED FROM EXISTING ADJACENT FACILITIES AND IN ACCORDANCE WITH THE UTILITY COMPANY REQUIREMENTS.

19.) THE CONTRACTOR IS CAUTIONED THAT UNDERGROUND CASLES MAY EXIST IN THE PUBLIC RIGHT OF WAY AND BEYOND. WORK IN AND OUT OF THE RIGHT OF WAY SHOULD NOT BEGIN UNTIL THE CONTRACTOR IS FAMILIAR WITH THE LOCATION AND DEPTH OF CABLES, ANY DAMAGE TO EXISTING UTILITY SERVICES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR COST

20.) THE EARTHWORK QUANTITIES SHOWN ARE BASED ON CONVENTIONAL ASSUMPTIONS AND ARE PROVIDED FOR THE PURPOSE OF IDENTIFYING THE MAGNITUDE

OF EARTHWORK. QUANTITIES ARE FOR PERMIT PROCESSING AND SHALL NOT BE USED FOR PAYMENT PURPOSES. 21.) ALL STRUCTURAL FILL MATERIALS SHALL BE PLACED IN 8" LOOSE LAYERS AND COMPACTED TO 95% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY AASHTO T-180 METHOD. THE CONTRACTOR SHALL USE CLASS I SELECT MATERIALS FOR THE FOOTINGS FOUNDATIONS AND BACK FILL FOR ALL FOUNDATION AND RETAINING WALLS.

22.) ALL ROOF DRAINS SHALL BE DISCHARGED ONTO APPROVED SPLASH BLOCKS.

23.) THE UNITED STATES DEPARTMENT OF AGRICULTURE SOIL SURVEY INDICATE THAT THE MAJOR SOIL CLASSIFICATIONS IS DeA (DEAL-SHADYOAK-URBAN LAND COMPLEX.

24.) ZONING IS R-5/IDA/OS (RESIDENTIAL) PRINCIPAL STRUCTURE YARDS AND SETBACKS: FRONT 25' MIN., 7' EACH SIDE, REAR 20' MIN. PROPOSED HEIGHT 35' MAXIMUM, REFER TO ARCHITECTURAL PLANS ON FILE WITH BUILDING PERMIT.

25.) SITE PLAN TABULATIONS: GROSS SITE AREA: NON TIDAL WETLANDS ON SITE TOTAL WOODLANDS ON SITE: TOTAL DISTURBED AREA: EXISTING IMPERVIOUS COVERAGE: STRUCTURAL COVERAGE ALLOWED: PROPOSED IMPERVIOUS COVERAGE:

DRIVEWAY / SIDE WALK:

TOTAL CUT = 250 CUBIC YARDS TOTAL FILL = 250 CUBIC YARDS

HOUSE

10,000 SF OR 0.23 ACRES ± 10,000 SF OR 0.23 ACREA +/-10,000 SF OR 0.23 ACRES ± 4,407 SF OR 0.11 ACRES ± OSFOR 0.0 ACRES ± 3,125 SF (31.25 %)

2,156 SF OR 0.05 ACRES ± TOTAL PROPOSED STRUCTURALLY STABILIZED AREA: 2,156 SF OR 0.05 ACRES  $\pm$ TOTAL PROPOSED VEGITATIVELY STABILIZED AREA: 2,251 SF OR 0.05 ACRES  $\pm$ 

WATER MANAGEMENT ADMINISTRATION NONTIDAL WETLANDS & WATERWAYS DIVISION

POPLAR AVE.

COLUMBIA

CEDARHURST AVE.

VICINITY MAP

GROVE AVE

-OAK AVE

MAPLE AVE CEDAR AVE

BEACH

TOTAL EXCESS TO BE REMOVED = 0 CUBIC YARDS 26.) NO WETLAND DELINEATION WAS PERFORMED BY THE ENGINEER. WETLAND DELINEATION WAS PERFORMED BY ENVIRONMENTAL SYSTEMS ANALYSIS INC. (ESA), WETLAND PERMITS ARE THE RESPONSIBILITY OF THE DEVELOPER.

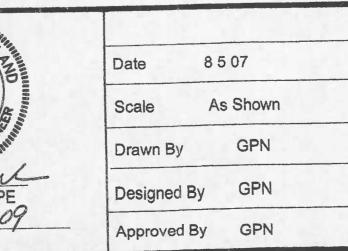
27.) THE LOWEST ALLOWABLE FLOOR ELEVATION IS 9.0. ALL ELECTRICAL AND PLUMBING FIXTURES SHALL BE ABOVE THE FIRST FLOOR ELEVATION AND All PANEL BOX'S A MINIMUM OF 2' ABOVE THE FIRST FLOOR ELEVATION. All ELECTRICAL HEAT PANELS SHALL BE ABOVE ELEVATION II.O.

THIS SITE IS NOT WITHIN THE SEVERN RIVER WATERSHED

Sedime	ent and Erosion Control Approval
Dist	strict Official Date
AASCD#	SMALL POND (S) # N/A
Revie	ewed for technical adequacy by tural Resources Conservation Service

# Glenn P. Nilsen and Associates LLC

261 Berrywood Drive Severna Park, Maryland 21146 410.647.9180 410.647.9180 fax email: GLENNNILSEN@CABLESPEED.com



SHADY SIDE, MARYLAND 20764 Tax Id # 07-155-05116300 LOTS 11 AND 12 "CEDARHURST ON THE BAY"

SEVENTH DISTRICT

1184 HOLLY AVENUE

AN R-5/ IDA/ SINGLE FAMILY GRADING PERMIT TAX MAP 69, GRID 18, PARCEL 237 DEED: 166630 / 505 & 17112 / 758 ANNE ARUNDEL COUNTY 1-OF-3

Sheet No.

Description Date JUL 22

# DETAILS AND SEPCIFICATIONS FOR VEGETATIVE ESTABLISHMENT

ANNE ARUNDEL SOIL CONSERVATION DISTRICT DETAILS AND SPECIFICATIONS FOR VEGETATIVE ESTABLISHMENT

Following initial soil disturbances or redisturbance, permanent or temporary stabilization shall be completed within seven calendar days fort he surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes grater than 3 horizontal to 1 vertical (3:1) and fourteen days for all other disturbed or graded areas on the project site.

#### 1. Permanent Seeding:

A. Soil Tests: Lime and fertilizer will be applied per soil tests results for sites greater than 5 acres. Soil tests will be done at completion of initial rough grading or as recommended by the sediment control inspector. Rates and analyses will be provided to the grading inspector as well as the contractor.

1. Occurrence of acid sulfate soils (grayish black color) will require covering with a minimum of 12 inches of clean soil with 6 inches minimum capping of top soil. No stockpiling of material is allowed. If needed, soil tests should be done before and after a 6-week incubation period to allow oxidation of sulfates.

The Minimum soil conditions required for permanent vegetative establishment are: a. Soil pH shall be between 6.0 and 7.0

b. Soluble salts shall be less than 500 parts per million (ppm). c. The soil shall contain less than 40% clay but enough fine-grained material (> 30% silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception is if lovegrass or serecia lespedeza is to be planted, then a sandy soil (<30% silt plus clay)

would be acceptable. d. Soil shall contain 1.5% minimum organic matter by weight. e. Soil must contain sufficient pore space to permit adequate root penetration. f. If these conditions cannot be met by soils on site, adding topsoil is required in accordance with Section 21 Standard and Specification for Topsoil or amendments made as recommended by a certified agronomist.

B. Seedbed Preparation: Area to be seeded shall be loose and friable to a depth of at least 3 inches. The top layer shall be loosened by raking, disking or other acceptable means before seeding occurs. For sites less than 5 acres, apply 100 pounds dolomitic limestone and 21 pounds of 10-10-10 fertilizers per 1,000 square feet. Harrow or disk lime and fertilizer into the soil to a depth of at least 3 inches on slopes flatter than 3:1.

C. Seeding: Apply 5-6 pounds per 1,000 square feet of tall fescue between February 1 and April 30 or between August 15 and October 31. Apply seed uniformly on a mist firm seedbed with a cyclone seeder, cultipacker seeder or hydroseeder (slurry includes seeds and fertilizer, recommended on steep slopes only). Maximum seed depth should be 1/4 inch in clayey soils and 1/2 inch sandy soils when using other than the hydroseeder method. Irrigate where necessary to support adequate growth until vegetation is firmly established. If other mixes are to be used, select from Table 25, entitled "Permanent Seeding For Low Maintenance Areas" from the current Standards and Specifications for Soil Erosion and Sediment Control. Mixes suitable for this are 1, 3 and 5-7. Mixes 5-7 are suitable in non-mowable situations.

D. Mulching: Mulch shall be applied to all seeded areas immediately after seeding. During the time periods when seeding is not permitted, mulch shall be applied

Mulch shall be unrotted, unchopped, small grain straw applied at a rate of 2 tons per acre or 90 pounds per 1,000 square feet (2 bales). If a mulch-anchoring tool is used, apply 2.5 tons per acre. Mulch materials shall be relatively free of all kinds of weeds and shall be completely free of prohibited noxious weeds. Spread mulch uniformly, mechanically or

E. Securing Straw Mulch: Straw mulch shall be secured immediately following mulch application to minimize movement by wind or water. The following methods are

(i) Use a mulch-anchoring tool, which is designed to punch and anchor mulch into the soil surface to a minimum depth of 2 inches. This is the most effective method for securing mulch, however, it is limited to relatively flat areas where equipment can operate safely.

(ii) Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. If mixed with water, use 50 pounds of wood cellulose fiber per 100 gallons of water.

 Liquid binders may be used. Apply at higher rates at the edges where wind catche mulch, such as in valleys and in crests of slopes. The remainder of the area should appear uniform after binder application. Binders listed in the 1994 Standards and Specifications for Soil Erosion and Sediment Control or approved equal shall be applied at rates recommended by the manufactures

(iv) Lightweight plastic netting may be used to secure mulch. The netting will be stapled to the ground according to manufacturer's recommendations.

Lime: 100 Pounds of dolomitic limestone per 1,000 square feet.

Fertilizer: 15 pounds of 10-10-10 per 1,000 square feet.

Seed: Perennial rye-0.92 pounds per 1,000 square feet (February 1 through April 30 or August 15 through November 1).

Millet-0.92 pounds per 1,000 square feet (May 1 through August 15)

#### Mulch: Same as 1 D and E. above.

3. No fills may be placed on frozen ground. All fill to be placed in approximately horizontal layers, each layer having a loose thickness of not more than 8 inches. All fill in roadways and parking areas is to be classified Type 2 as per Anne Anindel County Code -Article 21. Section 2-308, and compacted to 90% density; compaction to be determined by ASTMD-1557-66T) (Modified Proctor). Any fill within the building area is to be compacted to a minimum of 95% density as determined by methods previously mentioned. Fills for pond embankments shall be compacted as per MID-378 Construction Specifications. All other fills shall be compacted sufficiently so as to be stable and prevent erosion and slippage.

#### 4. Permanent Sod:

Installation of sod should follow permanent seeding dates. Seedbed preparation for sod shall be as noted in section (B) above. Permanent sod is to be tall fescue, state approved sod; lime and fertilizer per permanent seeding specifications and lightly irrigate soil prior to laying sod. Sod is to be laid on the contour with all ends tightly abutting. Joints are to be staggered between rows. Water and roll or tamp sod to insure positive root contact with soil. All slopes steeper than 3:1, as shown, are to be permanently sodded or protected with approved erosion control netting. Additional watering for establishment may be required. Sod is not to be installed on frozen ground. Sod shall not be transplanted when moisture content (dry or wet) and/or extreme temperature may adversely affect its survival. In the absence of adequate rainfall, irrigation should be performed to ensure establishment of sod.

#### 5. Mining Operations:

Sediment control plans for mining operations must include the following seeding dates

February 1 through April 30 and August 15 through October 31, use seed mixture of tall fescue at the rate of 2 pounds per 1,000 square feet and serice a lespedeza at the minimum rate of 0.5 pounds per 1,000 square feet.

6. Topsoil shall be applied as per the Standard and Specifications for Topsoil from the current Maryland Standards and Specifications for Soil Erosion and Sediment Control.

NOTE: Use of this information does not preclude meeting all of the requirements of the current Maryland Standards and Specifications for Soil Erosion and Sediment Control.

### GENERAL NOTES

1. All graded and disturbed areas including slopes shall be protected during clearing and construction in accordance with the approved erosion and sediment control plan until they are adequately stabilized.

2. All erosion and sediment control practices and measures shall be constructed, applied and maintained in accordance with the approved sediment control plan and all applicable Local, State and Federal Standards and Specifications for Soil Erosion and Sediment Control.

3. Topsoil required for the establishment of vegetation shall be stockpiled in the amount nece sary to complete finished grading of all exposed areas.

4. Areas to be filled shall be cleared, grubbed and stripped of topsoil, remove trees, vegetation, roots or other objectionable materials.

5. Areas which are to be top soiled shall be scarified to a minimum depth of three (3) inches prior to placement of topsoil.

6. All structural fills shall be compacted to 95% maximum density ASTM D-1557 (AASHTO T-18') Method-C at optimum moisture as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc. shall be compacted in accordance with above stated or local requirements and codes, whichever are more stringent.

7. All fill shall be placed and compacted in layers not to exceed eight inches (8") in thickness.

8. Except for approved landfills or nonstructural fills, fill material shall be free of brush, rubbish, rocks, logs stumps, building debris and other objectionable materials that would interiere with, or prevent, construction of satisfactory fills.

9. Frozen materials or soft, mucky or highly compressible materials shall not be incorporated into ill slopes or structural fills. Fill shall not be placed on a frozen foundation.

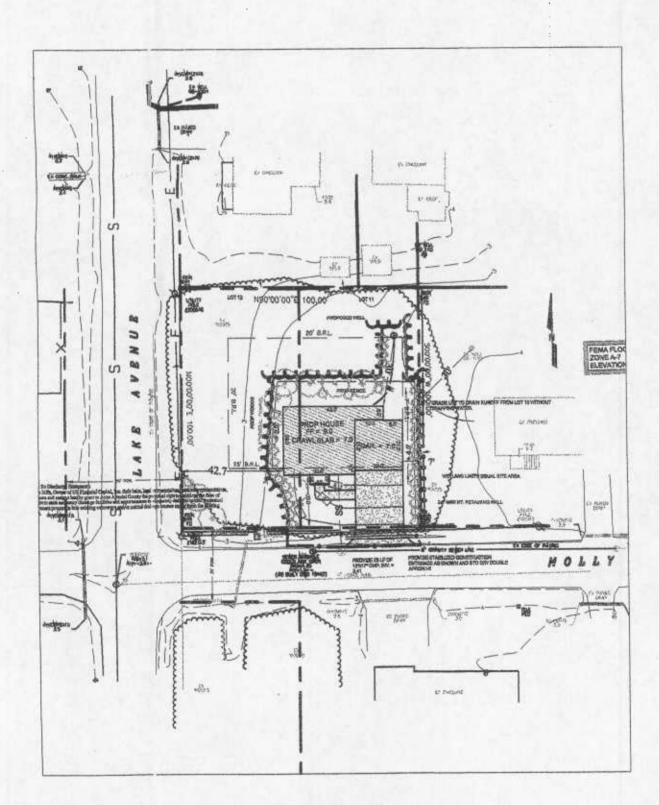
10. Croundwater, Seeps or springs encountered during construction shall be handled in accordance with the local Building Code, Standards and Specifications for Subsurface Drain or other approved methods. If conditions are saturated employ a design professional for foundation design and construction inspections. Require a final certification after foundation cure period and prior to first floor decking is placed.

11. Stockpiles, borrow areas, and spoil areas shall be shown on the plans and shall be subject to the provisions of all applicable local, state, and federal Standard and Specifications.

12. Crade all disturbed areas with positive drainage at 2% (percent) slope minimum.

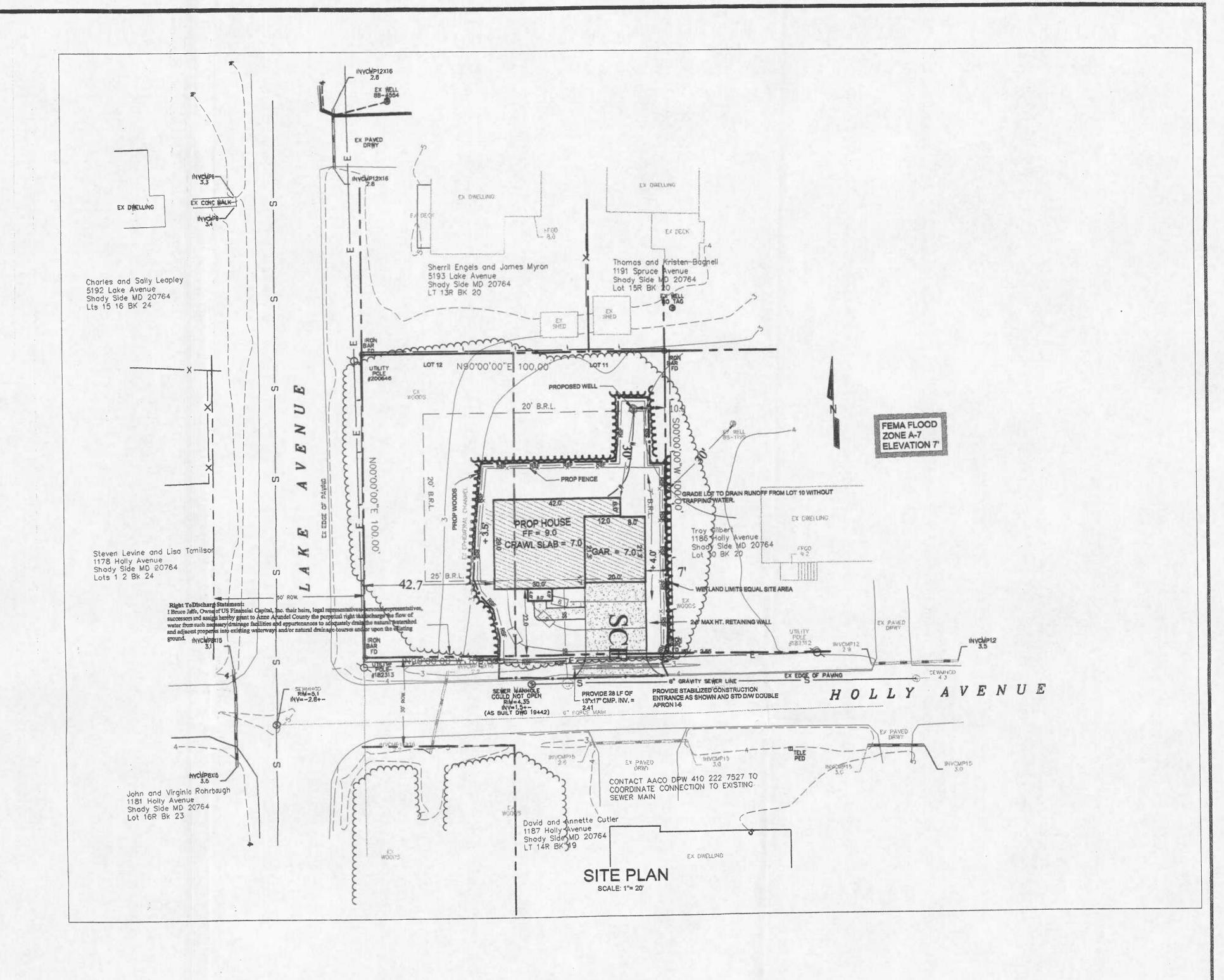
13. Footers for building or house construction to be in virgin soil or on compacted soils designed and specified by a Registered Engineer.

14. I rees shall not be removed from building pad locations unless approval for building pad grading has been acquired or until such time as Grading plans for each lot are completed, submitted, and approved with each building permit application.



#### MDE WETLAND EXHIBIT

SCALE: 1"= 40"
FOR DISTURBANCE TO NON TIDAL WETLAND BUFFER, NON TIDAL WETLANDS, AND NON TIDAL WETLANDS BUFFER. SITE AREA = 10,000 sf. WETLANDS ON SITE = 10,000 sf.



## VARIANCE REQUEST

THE PROJECT RECEIVED VARIAN CE APPROVAL ON MARCH 4, 2008. THE CASE NUMBER IS 2007-0433-V. APPROVAL WAS GRANTED FOR DISTURBANCE TO NON TIDAL WETLANDS AND A 3' VARIANCE TO THE 25' FRONT YARD SETBACK. A DWELLING WITH DIMENSIONS OF 29' x 30' WAS APPROVED. THE PROPOSED HOUSE HAS DIMENSIONS THAT FIT WITHIN THE 29' x 30' APPROVAL.

#### PROFESSIONAL CERTIFICATION

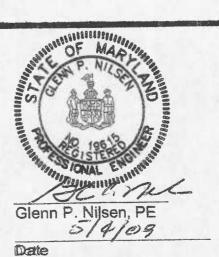
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19615, EXPIRATION DATE: 04/21/2010 .

CALL "MISS UTILITY" TELEPHONE 1-800-257-7777 FOR UTILITY LOCATION AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION.

# Revisions Description Marie William 12 JUL 2 2 2009

Glenn P. Nilsen and Associates LLC

261 Berrywood Drive Severna Park, Maryland 21146 410.647.9180 410.647.9180 fax email: GLENNNILSEN@CABLESPEED.com



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Date	08 05 07	
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Designed I	By GPN	
Approved	By GPN	

# SITE GRADING AND SEDIMENT CONTROL

1184 HOLLY AVENUE SHADY SIDE, MARYLAND 20764 Tax Id # 07-155-05116300

# OTS 11 AND 12 "CEDARHURST ON THE BAY" AN R-5/ IDA/ SINGLE FAMILY GRADING PERMIT

TAX MAP 69, GRID 18, PARCEL 237 DEED: 166630 / 505 & 17112 / 758 ANNE ARUNDEL COUNTY SEVENTH DISTRICT

Sheet No.

# STORMWATER MANAGMENT NOTES

1. THE WATER QUALITY AND RECHARGE VOLUME REQUIREMENTS AS OUTLINED IN THE ANNE ARUNDEL COUNTY AND STATE DESIGN MANUAL ARE BEING MET THROUGH THE USE OF PLANTINGS THE SITE HAS A HIGH WATER TABLE THAT PRECLUDES THE USE OF OTHER WATER QUALITY BEST

2. THE CHANNEL PROTECTION VOLUME OR ONE YEAR POST DEVELOPMENT PEAK DISCHARGE IS LESS THAN 2.0 CFS, THEREFORE, MANAGEMENT FOR CPV IS NOT REQUIRED.

3. MANAGEMENT OF THE FLOOD PROTECTION VOLUME IS NOT REQUIRED AS THE DISTURBED AREA OF THE SITE IS LESS THAN 15,000 SF AND THERE ARE NO SIGNS OF EROSION.

4. MANAGEMENT OF THE EXTREME FLOOD VOLUME IS NOT REQUIRED AS THERE ARE NO SIGNS OF EROSION, THE SITE IS LOCATED IN A FEMA FLOOD PLAIN ZONE.

#### WATER QUALITY PLANTING NOTE

THE PROPOSED DEVELOPMENT WILL RESULT IN 2,156 SQUARE FEET OF IMPERVIOUS COVERAGE. TO ADDRESS STORM WATER MANAGEMENT THE APPLICANT IS PROPOSING PLANTINGS EQUAL TO THE PROPOSED COVERAGE. IN ACCORDANCE WITH GUIDANCE PROVIDED BY ANNE ARUNDEL COUNTY 1 TREE OR 3 SHRUBS ARE REQUIRED PER 100 SQUARE FEET OF IMPERVIOUS SURFACE. PLANTING MATERIAL SPECIFICATIONS ARE LISTED BELOW.

# WATER QUALITY PLANT SCHEDULE:

CALC 1 TREE OR THREE SHRUBS PER 100 SQ. FT. IMPERVIOUS AREA 2.156 / 100 = 22 TREES OR 66 SHRUBS.

Acer Rubrum

Plant List:

9 OGM Maple, October Glory 2-1/2 cal.

39 SB Spicebush Lindera benzoin Cont. 6'-16'

Plant materials may be changed in accordance with materials listed by AACO, locations may be changed in the field to suit conditions.

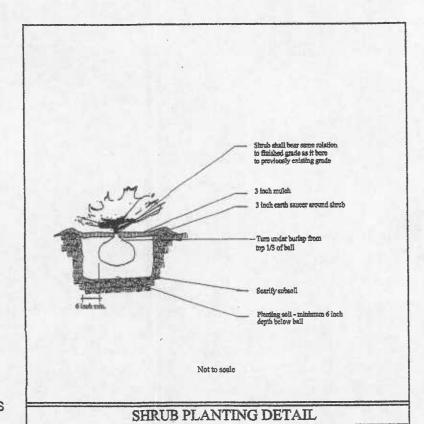
BOTANICAL NAME SYMBOL

#### **OUTFALL STATEMENT**

RUNOFF FROM THE LOT DISCHARGES THROUGH AN EPHEMERAL CHANNEL TO THE REAR OF THE LOT TO TIDAL WATERS. RUNOFF FROM THE PROPOSED DEVELOPMENT WILL NOT ADVERSLY IMPACT THE EXISTING DRAINAGE SYSTEMS

#### MITIGATION FOR NEW IMPERVIOUS

THE APPLICANT IS PROPOSING TO ADD 2,156 SQUARE FEET OF NEW IMPERVIOUS SURFACE IN THE IDA AREA OF THE CRITICAL AREA. NO MITIGATION FOR NEW IMPERVIOUS SURFACE IS REQUIRED.



Minimum Sizing

Criteria

Water Quality Volume (WQv)

Recharge

Volume(Rev)

Channel

Protection

Volume (Cpv)

Overbank Flood

Protection (Qp)

Extreme Flood Volume (Qf)

Volume

Required

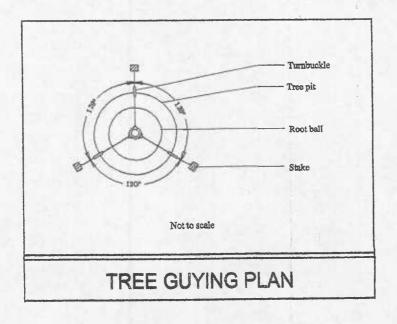
195 cf

16 cf

NA

NA

NA



STORMWATER SUMMARY TABLE

Volume .

Provided

195 cf

16 cf

NA

NA

NA

**SWM Practice** 

Plantings

Plantings

NA

NA

NA

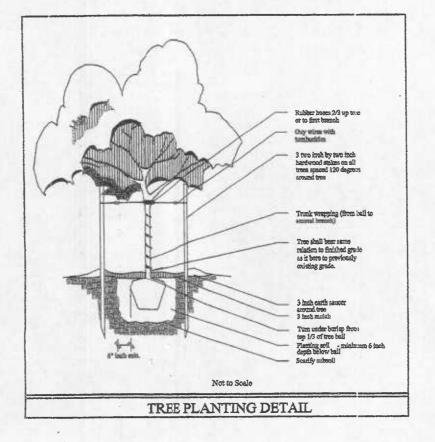
One-year post development

peak discharge rate < 2.0

Disturbed area less than

15,000 sf.

No signs of erosion

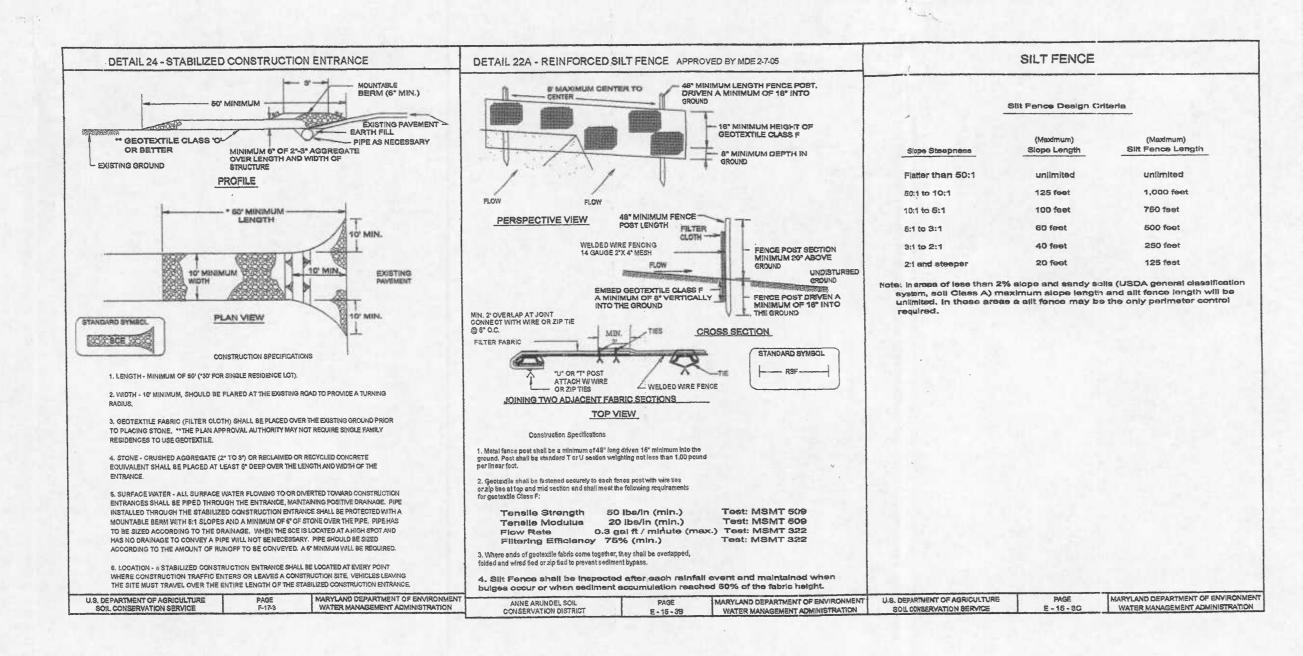


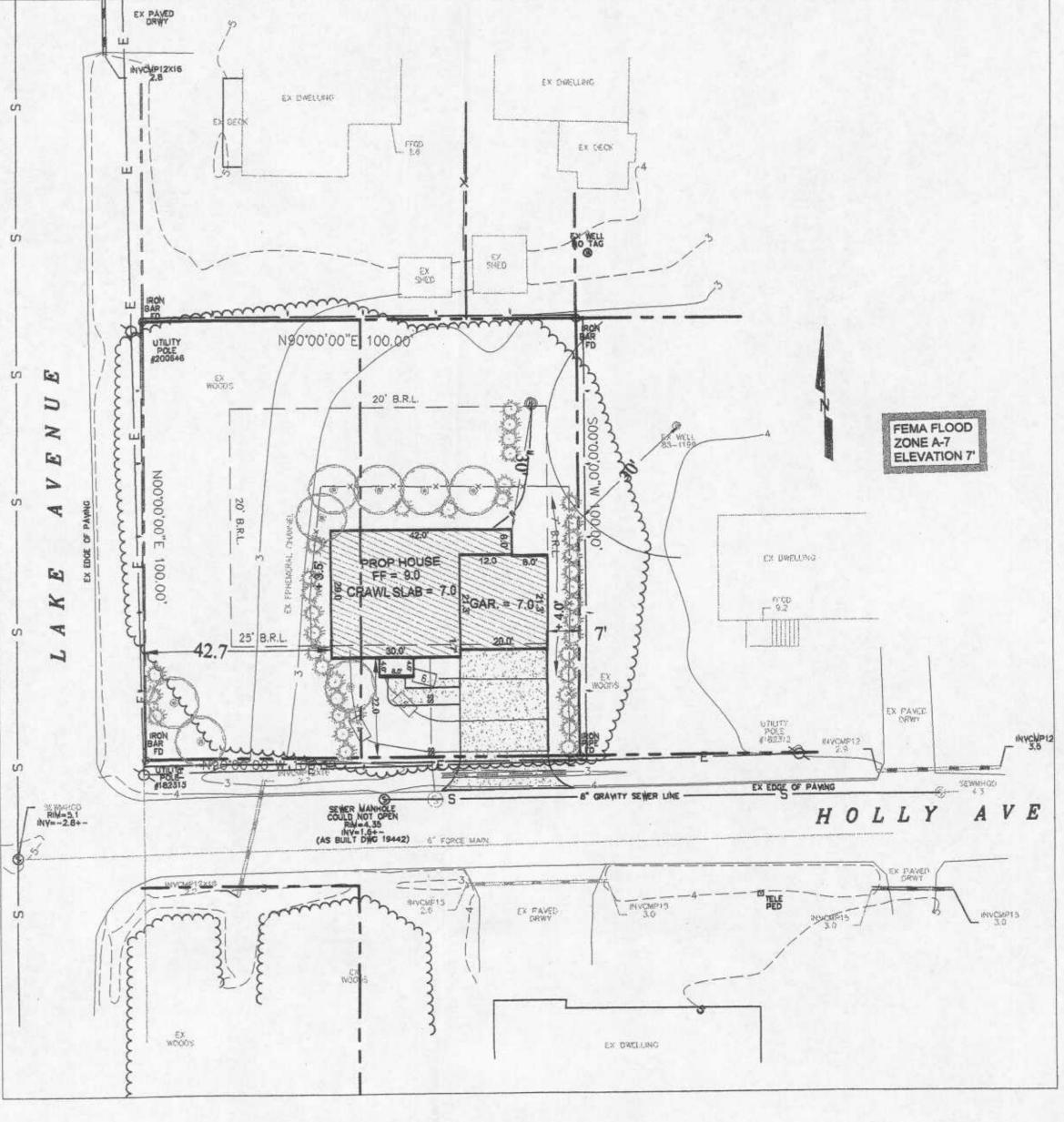
#### POLLUTANT LOADING REDUCTION IN CRITICAL AREA

THE SITE IS LOCATED WITHIN THE IDA CRITICAL AREA. POLLUTANT LOADINGS FROM IMPERVIOUS SURFACES WILL BE REDUCED BY 10% THROUGH THE PLANTING OF TREES AT A RATE OF 1 TREE OR 3 SHRUBS PER 100 SQUARE FEET OF IMPERVIOUS AREA. STORMWATER PLANTINGS ARE BEING USED TO MEET THIS REQUIREMENT.

# FOREST CLEARING MITIGATION

THE SITE IS LOCATED IN THE CRITICAL AREA DESIGNATION OF IDA. ARTICLE 17 TITLE 8 - CRITICAL AREA OVERLAY DOES NOT SPECIFY REQUIREMENTS FOR FOREST CLEARING MITIGATION. THE SITE QUALIFIES FOR AN EXCEPTION TO THE FOREST CONSERVATION REQUIREMENTS ASSOCIATED WITH ACTIVITY ON A SINGLE LOT THAT DOES NOT RESULT IN THE CUTTING, CLEARING, OR GRADING OF MORE THAN 40,000 SF OF FOREST AS OUTLINED IN ARTICLE 17-6-301 (7).





# WATER QUALITY PLANTING PLAN ONLY REFER TO NOTES FOR MITIGATION PLANTING

#### Crown or Slope to drain per site plan 6" Gravel Surface Course Or approved equal Subgrade must be tested and approved by a soils engineer prior to placement of final surface treatment Sand subgrade to absorb surface drainage Compacted Sub-Grade 98% Dry Density If sub-grade is soft use a Geotextile or Fabric Barrier between subgrade and new stone drive

#### DRIVEWAY PAVING SECTION

OR APPROVED EQUAL FOR MATERIALS AND DEPTH

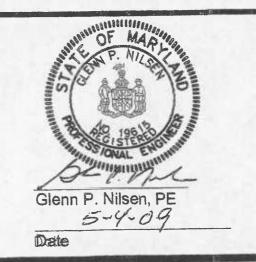
### PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19615, EXPIRATION DATE: 04/21/2010.

Revisions			
Ву	Date	Description	
2 2 200			
CRITICAL AREA COM hesapeake & Atlantic C	MISSION  oasta Bays		

# Glenn P. Nilsen and Associates LLC

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Date 08 05 07	
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Drawn By GPN	
Designed By GPN	
Approved By GPN	

#### RMWATER MANAGEMENT NOTES AND PLANTING PLAN 1184 HOLLY AVENUE SHADY SIDE, MARYLAND 20764

Tax ld # 07-155-05116300 OTS 11 AND 12 "CEDARHURST ON THE BAY"

AN R-5/ IDA/ SINGLE FAMILY GRADING PERMIT TAX MAP 69, GRID 18, PARCEL 237 DEED: 166630 / 505 & 17112 / 758 ANNE ARUNDEL COUNTY SEVENTH DISTRICT

3-OF-3

Sheet No.