

51829-6914

LH
Comment
11/20/07

RF
12/1/07
8/14/08
~~8/14/08~~

RA 1/1/08
8/19/08

Decision
entered
9/22/08

Martin O'Malley
Governor

Anthony G. Brown
Lt. Governor



Margaret G. McHale
Chair

Ren Serey
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

August 19, 2008

Ms. Janet Davis, Critical Area Planner
Department of Review and Permitting
Worcester County
One West Market Street, Room 1201
Snow Hill, MD 21863

Re: Pocomoke City Production Well

Dear Ms. Davis:

Please note that this letter supersedes my previous letter of August 14, 2008. Thank you for submitting the Variance Notification for the above referenced project. Pocomoke City proposes to install a production well in the Critical Area Resource Conservation Area (RCA). The site contains 3.0 acres of RCA. The variance request is due to proposed impacts to the expanded Buffer. I have reviewed the submitted information and have the following comments:

1. Section NR 3-122 of the County Code lists Nontidal Wetlands as a Habitat Protection Area and as such the pending Appeals Board hearing should include impacts for nontidal wetlands as well as for the Buffer impacts
2. A formal Buffer Management Plan should be provided that details all Buffer impacts (temporary, permanent, forest clearing etc.), hydric soils and mitigation rates and location. The Planting General Notes on the plan describe clearing and mitigation but it is unclear whether the clearing occurs in the Buffer, nontidal wetlands or outside the Buffer. An analysis of why all mitigation cannot occur on site should also be provided.
3. Similar to note 2, forest clearing details should be provided including pre and post areal cover, percentages and mitigation rates and location.
4. In reference to impervious surfaces the proposed project is well with in the 15% limits at .93%.
5. The project has obtained all COE and MDE wetland permits and a DNR Heritage letter.

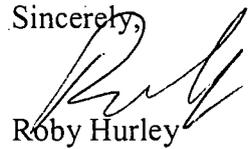
TTY for the Deaf

Annapolis: (410) 974-2609 D.C. Metro: (301) 586-0450

Ms..Davis
August 14, 2008
Page 2 of 2

Thank you for the opportunity to provide comments. Please contact me with any questions at 410-260-3468.

Sincerely,

A handwritten signature in black ink, appearing to read "Roby Hurley", written over the printed name.

Roby Hurley
Natural Resources Planner

cc: WC 637-07(3)

Martin O'Malley
Governor

Anthony G. Brown
Lt. Governor



Margaret G. McHale
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Department of Review and Permitting
Worcester County
One West Market Street, Room 1201
Snow Hill, MD 21863

Re: Pocomoke City Production Well

Dear Ms. Davis:

Thank you for submitting the Variance Notification for the above referenced project. Pocomoke City proposes to install a production well in the Critical Area Resource Conservation Area (RCA). The site contains 3.0 acres of RCA. The variance request is due to proposed impacts to the expanded Buffer. As we discussed this project will need Conditional Approval under COMAR 27.02.06 for Local Agency Programs in the Critical Area. In the interim I have reviewed the submitted information and have the following comments:

1. Section NR 3-122 of the County Code lists Nontidal Wetlands as a Habitat Protection Area and as such the pending Appeals Board hearing should include impacts for nontidal wetlands as well as for the Buffer impacts
2. A formal Buffer Management Plan should be provided that details all Buffer impacts (temporary, permanent, forest clearing etc.), hydric soils and mitigation rates and location. The Planting General Notes on the plan describe clearing and mitigation but it is unclear whether the clearing occurs in the Buffer, nontidal wetlands or outside the Buffer. An analysis of why all mitigation cannot occur on site should also be provided.
3. Similar to note 2, forest clearing details should be provided including pre and post areal cover, percentages and mitigation rates and location.
4. In reference to impervious surfaces the proposed project is well with in the 15% limits at .93%.

Ms. Davis
August 14, 2008
Page 2 of 2

5. The project has obtained all COE and MDE wetland permits and a DNR Heritage letter.

Thank you for the opportunity to provide comments. Please contact me with any questions at 410-260-3468.

Sincerely,

A handwritten signature in black ink, appearing to read "Roby Hurley", written over the printed name.

Roby Hurley
Natural Resources Planner

cc: WC 637-07(2)

Martin O'Malley
Governor

Anthony G. Brown
Lt. Governor



Margaret G. McHale
Chair

Ren Serey
Executive Director

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CRITICAL AREA COMMISSION
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November 20, 2007

Ms. Janet Davis
Worcester County
Government Center
One West Market Street, Room 1201
Snow Hill, Maryland 21863

Re: Production Well – Tax Map 83, Parcel 103 Unionville Road
Consistency Report

Dear Ms. Davis:

Thank you for forwarding the above-referenced project on behalf of Pocomoke City to this office per the requirements of COMAR 27.02.02 - State and Local Agency Actions Resulting in Development of Local Significance on Private Lands or Lands Owned by Local Jurisdictions. The project involves constructing a production well in a Resource Conservation Area. Since this is an action requested by Pocomoke City as the proposed property owner, and this jurisdiction is exempt from having a Critical Area program, the Critical Area requirements should be met insofar as possible. After reviewing the consistency report this office agrees that the project has met the Critical Area requirements insofar as possible based on the following reasons:

- While the site may support Forest Interior Dwelling Bird habitat, the proposal meets the FIDs guidelines for clearing.
- Reforestation will occur on site for the previous and proposed clearing.
- No other Habitat Protection Areas will be impacted as a result of this development activity.
- Stormwater management and sediment and erosion control approvals were received.
- The proposed impervious area is below the 15% limit.
- Since Pocomoke City does not have a program that lists appropriate uses in the RCA this use may be viewed as complying insofar as possible due to the following reasons: the project is for a public use that the City is required to provide; the use is dependent on it being located on City property; and the use is dependent on being able to draw water.

Ms. Janet Davis
November 20, 2007
Page Two

Since the project was found to conform to the Critical Area requirements insofar as possible, no further review is required by the Commission, notwithstanding any other required resource agency approvals.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3478 if you have any questions.

Sincerely,



Lisa A. Hoerger
Regional Program Chief

cc: Russell Blake, Pocomoke City
WO 637-07

Consistency Report for Local Government Projects

Project Name: Clarke Avenue Extended Production Well	Jurisdiction: Worcester County
Project Description: Production Well (600 gpm)	
Local Agency proposing project: Pocomoke City	
Contact Name and Phone Number: Mr. Russell Blake - 410.957.1333	
Project Location (include street address, tax map and parcel number): Tax Map 83 / Grid 17 / Parcel 103 (No street address available) <i>Unionville Road</i>	
Critical Area acreage and designation: 3.0 Acres / Resource Conservation Area (RCA)	

Project Data	
Existing forest/woodland/trees: 3.0 Acres	% of site: 100%
Proposed clearing: 0.20 Acres (8,400 ft ²)	% of existing forest: 7%
Mitigation to be provided: Replanting on site (42 trees @ 200 credits/tree = 8,400 credits)	
Planting location & species (also show on site plan): Twenty-one (21) Loblolly Pine (Pinus Taeda) and twenty-one (21) Red Maple (Acer rubrum) planted in random pattern on site.	
Existing impervious surface: 0 Acres	% of site: 0%
Proposed new impervious: 0.018 Acres (800 ft ²)	
Total impervious surface: 0.018 Acres (800 ft ²) % of site: 0.6%	
If the % of impervious cover exceeds the permitted amount in the LDA or RCA, the project may need a Conditional Approval from the Critical Area Commission. Please contact your Commission planner for assistance.	
Total Area Disturbed: 0.20 Acres (8,400 ft ²)	
Stormwater Management: (If site is in the IDA, the 10% worksheets must be attached. Otherwise, local stormwater requirements must be addressed.) Stormwater quality will be achieved through the use of the sheet flow to buffer credit.	
Has project received local approval of SWM and sediment and erosion control plans? Project plans submitted for approval.	
Buffer impacts? No	Is project water dependent? No
If there are Buffer impacts proposed and the project is not water dependent, the project may need a Conditional Approval from the Critical Area Commission. Please contact your Commission planner for assistance.	
Other Habitat Protection Areas:	
Colonial Nesting Waterbird site? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Waterfowl Staging Area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Endangered / threatened species? Yes <input type="checkbox"/> No <input type="checkbox"/>	Forest Interior Dwelling Bird Habitat? Yes <input type="checkbox"/> No <input type="checkbox"/>
Anadromous Fish Propagation Waters? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Non-tidal Wetland Impacts? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, MDE permit #:	
Tidal Wetland Impacts? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, MDE permit #:	

In accordance with COMAR 27.02.02, we hereby certify that this local agency project is consistent with the requirements of the local Critical Area Program.

 (Signature)
 WORCESTER COUNTY

Please sign above, attach the site plan to this report and submit to the Critical Area Commission at 1804 West St., Suite 100, Annapolis, MD 21401

63707



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410-632-1200 / FAX: 410-632-3008

BOARD OF APPEALS
PLANNING COMMISSION
AGRICULTURAL PRESERVATION

ELECTRICAL BOARD
SHORELINE COMMISSION
LICENSE COMMISSIONERS

MEMORANDUM

TO: Roby Hurley, Planner Critical Area Commission
 FROM: Janet Davis, Critical Area Specialist
 DATE: October 14, 2008

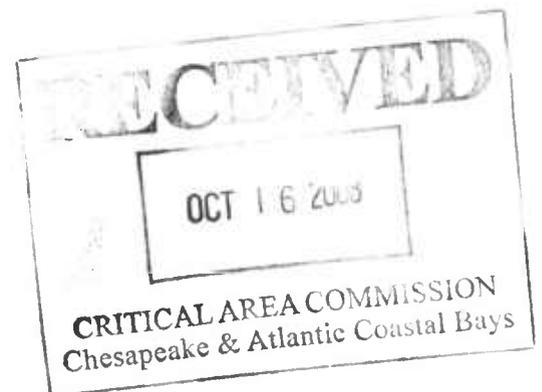
RE: Critical Area Variance – Tax Map 83 Parcel 103
 Resource Conservation Area

WO-0637
DH/LM 07/19/08

As a follow up to the summary submitted last month, enclosed is the Legal Opinion for the above referenced Critical Area Variance (Case No. 110453), heard in September, which was signed by the Board Members on October 9th. You may recall, this variance was for clearing and encroachment into the expanded buffer for a production well site to serve the residents of Pocomoke, located on Unionville Road in Pocomoke.

While the consultants are working on the building permit submittal, the permit will not be issued until the lapse of the appeal time, or November 9th.

If you have any questions, please do not hesitate to contact me.



IN THE MATTER OF RUSSELL BLAKE

BEFORE THE BOARD OF ZONING

APPEALS FOR WORCESTER COUNTY,
MARYLAND

THIS DOCUMENT IS PART OF
THE APPLICATION PACKET FOR
BOARD OF ZONING APPEALS
CASE NO. 110453

Case No. 110453

* * * * *

OPINION

A hearing was held before the Board of Zoning Appeals for Worcester County, Maryland on Thursday, September 11, 2008, upon the application of Russell Blake, Town Manager, on behalf of Pocomoke City, on the lands of William Cropper and Mary Ellen Cropper, requesting a special exception to locate a well and a variance to locate a public utility structure and associated clearing within the Chesapeake Bay Critical Area expanded buffer, all of which associated with a proposed production well and various supporting structures to serve a neighboring township, in a R-2 Suburban Residential District, designated as Resource Conservation Area (RCA) in the Chesapeake Bay Critical Area, pursuant to Zoning Code Sections ZS 1-205(c)(5), ZS 1-318(e)(3), ZS 1-116(l), ZS 1-116(c)(3) and Natural Resources Articles NR 3-211, NR 3-219 (c)(4) and NR 3-219(d). The property is located on the southeast side of Unionville Road, approximately 2,100 feet east of the intersection of Riverview Park Drive and Unionville Road, Tax Map 83, Parcel 103, in the First Tax District of Worcester County, Maryland.

Kelly Henry, Zoning Administrator, presented the application to the Board.

The Applicant, Russell Blake testified before the Board along with Peter Bosnick. There were no protestants to the application.

After duly considering the application, and the testimony and other evidence offered and presented in connection therewith, the Board made the following findings of fact and conclusions of law:

1. Special conditions or circumstances exist that are peculiar to the applicant's land or structure and a literal enforcement of provisions and requirements of the County's Atlantic Coastal Bays Critical Area Program would result in unwarranted hardship.

Based on a delineation of this parcel, non-tidal wetlands abut up to the tidal wetlands. As Worcester County critical area regulations expand the standard 100 foot critical area buffer to the landward extent of the non-tidal wetlands buffer, almost the entire parcel is consumed by the buffer. Therefore, in order for any type of improvement or development to occur on this parcel, a variance is required to the critical area buffer regulations.

2. A literal interpretation of the provisions of the County's Atlantic Coastal Bays Critical Area Program and related laws will deprive the applicant of rights commonly enjoyed by other properties in similar areas within the Atlantic Coastal Bays Critical Area.

This request is for a production well for water supply to supplement the existing wells currently serving the residents of Pocomoke City, and for future growth of the area. Therefore, a literal interpretation of the Critical Area law could deny the rights presently enjoyed by existing residents and of other properties in similar areas.

3. The granting of a variance will not confer upon an applicant any special privilege that would be denied by the County's Atlantic Coastal Bays Critical Area Program to other lands or structures within the Atlantic Coastal Bays Critical Area.

This request is for a public utility structure for public health and safety for a potable water supply. This would not be considered a special privilege. The project for this site has been designed in such a way to minimize clearing, impervious surface coverage, and impacts to non-tidal wetlands. A Letter of Authorization from the MDE has been received for the projected impacts to the non-tidal wetlands and buffer.

4. The variance request is not based upon conditions or circumstances which are the result of actions by the applicant nor does the request arise from any condition relating to land or building use, either permitted or non-conforming on any neighboring property.

The subject parcel was one of several sites evaluated by Pocomoke City as a potential location for a production well. Data was collected and used to determine which site would be the most geologically conducive for a production well. The studies revealed that this site had an adequate flow capacity and water quality which could be treated by Pocomoke's existing Water Treatment Plant.

THIS DOCUMENT IS PART OF
THE APPLICATION PACKET FOR
BOARD OF ZONING APPEALS
CASE NO. 110453

Therefore, extensive research was conducted prior to the applicant choosing this site for the requested use.

5. The granting of a variance shall not adversely affect water quality or adversely impact fish, wildlife or plant habitat within the Atlantic Coastal Bays Critical Area and the granting of the variance will be in harmony with the general spirit and intent of the County's Atlantic Coastal Bays Critical Area Program.

The applicant will be required to maintain certain development standards such as the installation of Sediment and Erosion Control measures prior to any disturbance on the site.

Additionally, as required by §NR 3-211(f)(1) mitigation at a 3 to 1 ratio shall be required for the disturbance within the Buffer should the Board grant the variance. The mitigation required for this request would be 22,500 sq. feet. This figure is based on the area of the limits of disturbance within the expanded buffer. To satisfy the mitigation requirement, as much plant material as possible will be required to be installed on-site. Unfortunately, due to the constraints of this site, a portion of the required mitigation may need to be satisfied by alternative provisions. The County Law (as approved by the State) recognized that under certain circumstances on-site plantings may not be achieved. Therefore, fees paid-in-lieu or off-site plantings within the same watershed may be an appropriate means of mitigation when such site constraints are presented. The department will work with the owner to satisfy this requirement.

6. The Board of Zoning Appeals shall not make a decision relative to a request for such a variance without reviewing the comments of the Department and finding that the applicant has satisfied each of the provisions and standards contained herein.

This request is based on improvements necessary to provide a health and safety service to the residents of Pocomoke. Based on Worcester County's interpretation of the Critical Area Ordinance, expanded buffer requirements provide another layer of environmental protection. However, in this case, the subject parcel is the best geological site for Pocomoke's needs at this time. Accordingly, upon a Motion made by Mr. Belmont, which was seconded by Ms. Gismond, the Board unanimously passed the following resolution:

BE IT RESOLVED, that the requested variance be GRANTED; and

BE IT FURTHER RESOLVED, that the requested special exception be GRANTED.

10/9/08
Date

10/9/08
Date

10-9-08
Date

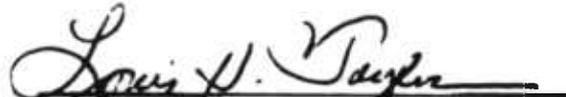
10/9/08
Date

10/9/08
Date

10.09.08
Date


Jerre Clauss
Chairperson


Beth Gismondi


Louis Taylor


Joe Fehrer


James Clubb


Rodney Belmont

* Any special exception shall be implemented within 12 months from its approval. If not so implemented, it shall be considered abandoned and shall terminate.

SNR3-2111 Standards. The provisions for granting such a "critical area" variance shall include evidence submitted by the applicant that the following standards are met.

PLEASE ADDRESS EACH STANDARD AND SUBMIT WITH THE BOARD OF ZONING APPEALS APPLICATION

Prepared by, or on behalf of: **POCOMOKE CITY, MD**
re: Tax Map 83 Parcel 103

Date: 07-31-08

(1) Special conditions or circumstances exist that are peculiar to the land or structure involved and that a literal enforcement of provisions and requirements of the County's Chesapeake Bay Critical Area Program would result in unwarranted hardship;

(SEE ATTACHMENT)

(2) A literal interpretation of the provisions of the County's Chesapeake Bay Critical Area Program and related Ordinances will deprive the applicant of rights commonly enjoyed by other properties in similar areas within the Chesapeake Bay Critical Area;

(SEE ATTACHMENT)

(3) The granting of a variance will not confer upon an applicant any special privilege that would be denied by the County's Chesapeake Bay Critical Area Program to other lands or structures within the Chesapeake Bay Critical Area;

(SEE ATTACHMENT)

(4)The variance request is not based upon conditions or circumstances which are the result of actions by the applicant, nor does the request arise from any condition relating to land or building use, either permitted or non-conforming on any neighboring property;

(SEE ATTACHMENT)

(5)The granting of a variance shall not adversely affect water quality or adversely impact fish, wildlife or plant habitat within the Chesapeake Bay Critical Area and the granting of the variance will be in harmony with the general spirit and intent of the County's Chesapeake Bay Critical Area Program;

(SEE ATTACHMENT)

(6) The Board of Zoning Appeals shall not make a decision relative to a request for such a variance without reviewing the comments of the Department and finding that the applicant has satisfied each of the provisions and standards contained herein.

(SEE ATTACHMENT)

Prepared by: Russell W. Blake
Owner / Applicant

NR3-2111 STANDARDS

(1) The subject site (Parcel 103) was one of several specific sites evaluated by Pocomoke City as a potential location for a production well. Site evaluations were conducted by a local well-drilling contractor thru the drilling of investigative bore holes at several site locations. Data was then collected from the bore holes and used to determine which site would be the most geologically conducive to sighting a production well. Parcel 103 was determined to be the best suited site for Pocomoke City to locate a new production well. A test well was then drilled as the next step to confirm that Parcel 103 would be able to yield the quantity of water desired. The data collected from the drilling of the test well confirmed that Parcel 103 exhibited an adequate expected flow capacity and that the water quality would be able to be treated by Pocomoke City's existing Water Treatment Plant. Pocomoke City's existing wells are exhibiting some significant problems regarding flow capacity; hence a site with promising flow capacity and good water quality such as the one on Parcel 103 is crucial to supplement Pocomoke City's existing wells and serve their residents with a sustainable water supply.

Worcester County has expanded the standard 100' tidal wetland buffer already present on the site to include the area encompassed by the non-tidal wetland buffer as well (See Site Plan, C-1). Worcester County standards do not allow for a production well inside of a tidal wetland expanded buffer area. Because the tidal wetland expanded buffer encumbers basically the entire project site, the production well was not able to be relocated in order to avoid encroachment. Accordingly, a variance is necessary for the construction of the production well. Note that the project site is not within the actual 100' tidal wetland buffer, only the expanded tidal wetland buffer.

(2) As stated in response #1, the construction of a production well inside of the tidal wetland expanded buffer is prohibited by Worcester County standards. The enforcement of this standard would deprive Pocomoke City rights to provide their residents the quality water that could be pumped off of this site. Also, as referenced above, Pocomoke City's existing wells are experiencing significant problems with supply capacity and are in need of a new well to supplement the deficiencies. It should be noted that the proposed well is solely intended to supplement the deficiencies of the existing wells and is exclusive of serving future growth of Pocomoke City.

(3) Granting a variance for this production well project does not entail any special privilege to Pocomoke City for constructing a site that would otherwise be denied because the site will serve as a public utility. The public utility will be used to distribute potable water to the residents of Pocomoke City. The production well site has been designed to minimize impervious and disturbed areas. The site will consist of less than 5,000 ft² of Non-Tidal Wetland disturbance (See Site Plan, C-1)

The footprint of the project site has been minimized to the fullest extent possible in order to reduce the proposed limits of disturbance. In reference to the proposed site's location, inside of the tidal wetland expanded buffer, the site is only included in the expanded buffer imposed by Worcester County and not the actual 100' tidal wetland boundary

buffer. Also, the proposed site has been located as close to the roadway (Clarke Avenue Extended) as possible in order to minimize impacts. The access road leading to the well site will be constructed of grass pavers to minimize impervious areas.

(4) This variance request is due to the presence of non-tidal wetlands and a 100' tidal wetland boundary buffer on the same site, resulting in the proposed site being imposed with a tidal wetland expanded buffer. The tidal wetland expanded buffer basically encumbers the entire project site so as to not allow the production well to be relocated in order to avoid encroachment.

(5) As one of the goals of the Critical Area Commission is to conserve fish, wildlife and plant habitat in the Critical Area, it has been determined by The Wildlife and Heritage Service that there are no State or Federal records for rare, threatened or endangered species within the boundaries of the proposed project site. In addition, the 1:1 mitigation ratio required by the Critical Area Commission for this type of project has been increased to a 3:1 mitigation ratio by Worcester County since a variance will be necessary for the production well to be constructed. The 1:1 mitigation requirement is planned to be met on site (See Site Plan, C-1) and the remainder of the mitigation requirement (2:1) will be coordinated with Worcester County with the possibility of a fee in lieu of mitigation. Water quality on site will not be adversely impacted as a result of well construction.

(6) Pocomoke City is in need of a new production well to supplement the existing, deficient wells that are currently supplying the town with potable water. The proposed well exhibits significantly higher water production capacity than the existing wells and also exhibits relatively good water quality that is within the treatable range of Pocomoke City's existing Water Treatment Plant. Parcel 103 is Pocomoke City's best option to supplement the supply deficiencies seen in the existing wells. As the project site for the production well is located within the tidal wetland expanded buffer, Worcester County does not permit the construction of a production well. Pocomoke City has been working closely with Worcester County to satisfy all of the standards that should be met in order to construct the production well, including a 3:1 mitigation ratio that would be necessary upon the granting of a variance.

With all of the environmentally considerate plans to avoid impervious areas and reduce the limits of disturbance while concurring with the standards of the governing agencies; the result will be a production well site that is not only environmentally friendly but also very beneficial to the residents of Pocomoke City.

WC 257-08



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

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BOARD OF APPEALS
PLANNING COMMISSION
AGRICULTURAL PRESERVATION

ELECTRICAL BOARD
SHORELINE COMMISSION
LICENSE COMMISSIONERS

MEMORANDUM

TO: Roby Hurley, Planner Critical Area Commission
FROM: Janet Davis, Critical Area Specialist
DATE: September 12, 2008

RE: Summary and Result of Critical Area Variance

The agenda for the monthly Board of Zoning Appeals hearing is reviewed by this Department and comments are prepared for all cases within the Critical Area. However, the following is a summary and the result of the actual Critical Area Variance which was heard on September 11, 2008. I will provide a copy of the Legal Opinion once it has been signed by the Board members.

BZA Case No. 110453, Tax Map 83, Parcel 103, Resource Conservation Area (RCA).
Owner – William and Mary Ellen Cropper; Applicant – Pocomoke City Municipality.

The applicant requested a variance to δ NR 3-104(c)(4) for the installation of a production well with associated structures within the Critical Area expanded buffer. The Critical Area buffer on this property is expanded to the landward extent of the non-tidal wetland buffer. This application would also include requesting a variance to δ NR 3-219(d) to permit clearing within the Critical Area expanded buffer. The Board felt the applicant met the standards; and therefore, **approved the variance with the following condition:** Prior to issuance of any permits, the owners enter into a Planting Agreement and Bond for a 3 to 1 mitigation requirement based on the limits of disturbance in the buffer.

If you have any questions, please do not hesitate to contact me.

Also, enclosed is the Legal Opinion for the Robert and Claire Shean Critical Area Variance, heard in August, which was signed by the Board Members on September 11th. You may recall, this variance was for encroachment into the 100 foot buffer for a rod iron fence, located on Lot 6 Equestrian Shores Subdivision.

*WC should be
WD
AM to ✓
on this
file
WC 637-07*

*ANUL
Call Janet*

RECEIVED

SEP 18 2008

WC 257.08



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

GOVERNMENT CENTER
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BOARD OF APPEALS
PLANNING COMMISSION
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RECEIVED

AUG - 1 2008

CRITICAL AREA COMMISSION
Chesapeake & Atlantic Coastal Bays

MEMORANDUM

TO: Roby Hurley, Natural Resources Planner, Critical Area Commission
FROM: Janet Davis, Critical Area Specialist
DATE: July 31, 2008

RE: Tax Map 83 Parcel 103 – Clarke Avenue Extended, Pocomoke
Resource Conservation Area

Enclosed is a Project Notification Form for an up-coming critical area variance. This project has a substantial background. I will give you a brief history, but please call Chris or myself to discuss if you would like more detail.

11/20/07- Letter from Lisa Hoerger stating approval given by Critical Area Commission per the requirements of COMAR 27-02-02 Consistency Report.

2/19/08 – We were informed by the consultants that non-tidal wetlands would, in fact, be impacted by the project.

To Date – Numerous e-mails and conversations with Lisa and Marshall regarding need to obtain Conditional Approval now. We, as a local jurisdiction, are also requiring a variance to the expanded critical area buffer.

Therefore, applicant is obtaining the required local variance prior to a new submittal to CAC for a Conditional Approval. As you may view this step as a local formality, I am hoping for comments from you prior to August 18th. on this variance request, so they may be placed on our September Board of Zoning Appeals agenda.

The MDE Non-Tidal Impact Approval has been obtained – copy attached.

If the variance is approved, we will promptly file another Project Notification Form requesting a Conditional Approval from the Critical Area Commission. If you have any questions, please do not hesitate to contact me, at Ext. 1144; or email at jdavis@co.worcester.md.us.



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

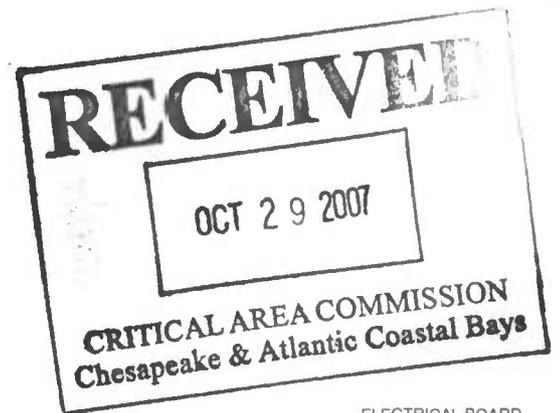
Worcester County

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BOARD OF APPEALS
PLANNING COMMISSION
AGRICULTURAL PRESERVATION

ELECTRICAL BOARD
SHORELINE COMMISSION
LICENSE COMMISSIONERS

MEMORANDUM

TO: Lisa Hoerger, Natural Resources Planner, Critical Area Commission
FROM: Janet Davis, Critical Area Specialist
DATE: October 26, 2007

RE: Tax Map 83, Parcel 103 Unionville Rd (Clark Ave. Extended)
Pocomoke Production Well Site
Resource Conservation Area

As a follow up to our telephone conversation on October 23rd, I enclose herewith the requested additional information for the Consistency Report submitted for the above referenced project. The items enclosed are: (1) copy of the Environmental Review Letter from Lori Byrne of Wildlife and Heritage Service, MD DNR; and (2) copy of cover sheet for the project which contains the approval stamps of Worcester Soil Conservation District and Stormwater Management Approval. Both agencies approved the plan on October 17, 2007.

If you need any additional information from either local staff, or the applicant, please do not hesitate to contact me at Ext. 1144; or email at jdavis@co.worcester.md.us.



DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410-632-1200 / FAX: 410-632-3008

BOARD OF APPEALS
PLANNING COMMISSION
AGRICULTURAL PRESERVATION

ELECTRICAL BOARD
SHORELINE COMMISSION
LICENSE COMMISSIONERS

MEMORANDUM

TO: Marshall Johnson, Natural Resources Planner, Critical Area Commission
LeeAnne Chandler, Science Advisor, Critical Area Commission

FROM: Janet Davis, Critical Area Specialist

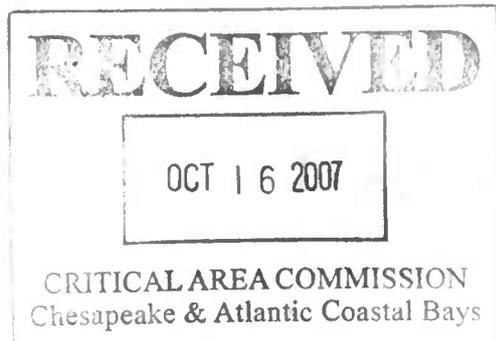
DATE: October 12, 2007

RE: Tax Map 83, Parcel 103 Unionville Road (Clarke Ave. Extended)
Pocomoke
Resource Conservation Area

Enclosed is Consistency Report for Local Government Projects, which is being requested for a Production Well, on private property, to serve the citizens of Pocomoke. Also enclosed is a detailed site plan with hopefully all pertinent information.

While we realize this request better meets the criteria for a conditional approval; in speaking with LeeAnne, who has spoken to Ren Serey, we are submitting this initial request as a Consistency Report. Please advise if it can not possibly be handled this way.

If you need any additional information or have any questions, please do not hesitate to contact me, at Ext. 1144; or email at jdavis@co.worcester.md.us.



637-07

POCOMOKE CITY, MARYLAND

MAYOR
MICHAEL A. McDERMOTT
mayormcdermott@cityofpocomoke.com



CITY COUNCIL
HONISS W. CANE
ROB CLARKE
TRACEY COTTMAN
ROBERT L. HAWKINS
BRUCE A. MORRISON

CITY MANAGER
RUSSELL W. BLAKE
russ@cityofpocomoke.com

May 16, 2008

Mr. Marshall Johnson
Critical Area Commission
1804 West Street, Ste. 100
Annapolis, MD 21401

Marshall :
Dear ~~Mr.~~ Johnson:

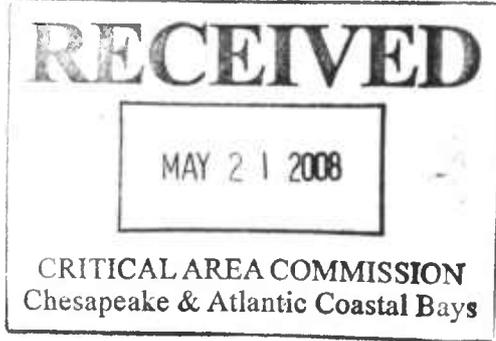
Enclosed please find information concerning the new Pocomoke City well site.
Please feel free to contact me if any further information is required.

Sincerely,

Russell W. Blake
City Manager

RWB:pms
Enclosures

.93



"Friendliest Town on the Eastern Shore"

637-07



♦ ♦ ♦ ♦

ARCHITECTS
ENGINEERS

206 WEST MAIN STREET
SALISBURY MD 21801
PH: 410 742 3115
PH: 800 789 4462
FAX: 410 548 5790

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April 16, 2008

State of Maryland
Critical Area Commission
Chesapeake and Atlantic Coastal Bays
1804 West St., Suite 100
Annapolis, MD 21401

Attn: Lisa A. Hoerger

Re: Clarke Avenue Extended Production Well
Tax Map 83, Grid 17, Parcel 103
Pocomoke City, MD
GMB File No. 2005094.A

Dear Ms. Hoerger:

Attached is a revised Site Plan (C-1) and Cover Sheet (G-1) which reflect modifications to the proposed site plan as a result of recent wetland delineations. During the site investigation, non-tidal wetlands were noted on the subject property as well as within the limits of disturbance. In accordance with your conversation with Mr. Bruce Morrison, the Site Plan has been modified to minimize the amount of non-tidal wetland disturbances to be less than 5,000 sq. ft.

It is understood that the Commission's prior approval for this project, dated November 20, 2007, will need to be amended to reflect the conditions stipulated above. GMB kindly asks the Commission to review the attached documents and respond with your finding to Pocomoke City, ATTN: Russell W. Blake, 101 Clarke Avenue, Pocomoke City, MD.

Please do not hesitate to contact me at (410) 742-3115 with any questions or concerns.

Thank You,

Paul B. Mauser, E.I.
Engineer

PBM/mam

cc: Pocomoke City
Attn: Russell Blake (w/ encl.)

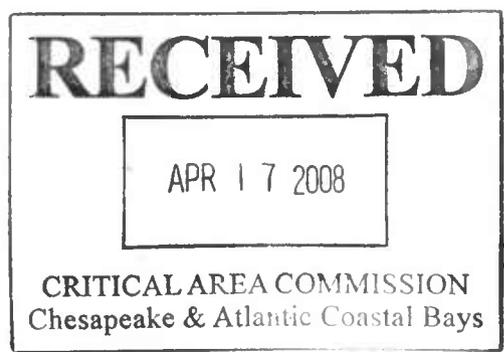
JAMES R. THOMAS JR. PE
PETER A. BOZICK JR. PE
JUDY A. SCHWARTZ PE
CHARLES M. O'DONNELL PE
JOHN E. BURNSWORTH PE
W. BRUCE FOXWELL PE
JAMES H. WILLEY JR. PE

A. REGGIE MARINER JR. PE
JAMES C. HOAGESON PE
MICHAEL G. KORIN PE
STEPHEN L. MARSH PE
AMANDA H. POLLACK PE

MICHAEL D. MCARTHUR AIA
MARTIN D. DUSBIER
CHRIS B. DERBYSHIRE PE
W. MARK GARDOCKY PE
DAVID A. VANDERBEEK PE

JERRY KOTRA
D. RICHARD ROHM

F.W. WHITE CPA



Well

COPY

GMB
GEORGE, MILES & BUHR, LLC

FAX

ARCHITECTS
ENGINEERS

208 WEST MAIN STREET
SALISBURY, MD 21801
PH: 410.742.3115
PH: 800.789.4482
FAX: 410.548.5780

SALISBURY
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YORK
DOVER
NEW CHURCH
ALLENSTOWN

www.gmbnet.com

TO:
ATTN: Bruce Morrison
FAX NO: (410) 548-3224
FROM: Paul Mauser

DATE: March 18, 2008
RE: Pocomoke Well
GMB NO: 2005094.A
PAGES: 5 (Including Cover)

Urgent For Review Please Reply Please File

Bruce,

Included in this facsimile you will find the original "Consistency Report for Local Government Projects" that was submitted to the Critical Area Commission and a letter from Lisa A. Hoerger indicating approval of the Clarke Avenue Extended Production Well project.

As discussed in our recent conversation, the issue at hand is whether or not the Critical Area Commission will approve a less than 5,000 Ft² Non-Tidal Wetland disturbance.

Please do not hesitate to contact me at (410) 742-3115 with any questions or concerns.

Thank you,



Paul B. Mauser, E.I.
Project Engineer

Enclosures

cc: Pocomoke City
Attn: Russell Blake (w/ encl.)

IF YOU DID NOT RECEIVE ALL OF THIS TRANSMISSION, OR HAVE QUESTIONS,
PLEASE CALL AND NOTIFY US AT 410.742.3115. THANK YOU.

Consistency Report for Local Government Projects

COPY

Project Name: Clarke Avenue Extended Production Well	Jurisdiction: Worcester County
Project Description: Production Well (600 gpm)	
Local Agency proposing project: Pocomoke City	
Contact Name and Phone Number: Mr. Russell Blake - 410.957.1333	
Project Location (include street address, tax map and parcel number): Tax Map 83 / Grid 17 / Parcel 103 (No street address available)	
Critical Area acreage and designation: 3.0 Acres / Resource Conservation Area (RCA)	

Project Data	
Existing forest/woodland/trees: 3.0 Acres	% of site: 100%
Proposed clearing: 0.20 Acres (8,400 ft ²)	% of existing forest: 7%
Mitigation to be provided: Replanting on site (42 trees @ 200 credits/tree = 8,400 credits)	
Planting location & species (also show on site plan): Twenty-one (21) Loblolly Pine (Pinus Taeda) and twenty-one (21) Red Maple (Acer rubrum) planted in random pattern on site.	
Existing impervious surface: 0 Acres	% of site: 0%
Proposed new impervious: 0.018 Acres (800 ft ²)	
Total impervious surface: 0.018 Acres (800 ft ²) % of site: 0.6%	
If the % of impervious cover exceeds the permitted amount in the LDA or RCA, the project may need a Conditional Approval from the Critical Area Commission. Please contact your Commission planner for assistance.	
Total Area Disturbed: 0.20 Acres (8,400 ft ²)	
Stormwater Management: (If site is in the IDA, the 10% worksheets must be attached. Otherwise, local stormwater requirements must be addressed.) Stormwater quality will be achieved through the use of the sheet flow to buffer credit.	
Has project received local approval of SWM and sediment and erosion control plans? Project plans submitted for approval.	
Buffer impacts? No	Is project water dependent? No
If there are Buffer impacts proposed and the project is not water dependent, the project may need a Conditional Approval from the Critical Area Commission. Please contact your Commission planner for assistance.	
Other Habitat Protection Areas:	
Colonial Nesting Waterbird site? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Waterfowl Staging Area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Endangered / threatened species? Yes <input type="checkbox"/> No <input type="checkbox"/>	Forest Interior Dwelling Bird Habitat? Yes <input type="checkbox"/> No <input type="checkbox"/>
Anadromous Fish Propagation Waters? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Non-tidal Wetland Impacts? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, MDE permit #:	
Tidal Wetland Impacts? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, MDE permit #:	

In accordance with COMAR 27.02.02, we hereby certify that this local agency project is consistent with the requirements of the local Critical Area Program.

(Signature)

Please sign above, attach the site plan to this report and submit to the Critical Area Commission at 1804 West St., Suite 100, Annapolis, MD 21401



COPY

1. PBAE
2. [Signature]
3. [Signature]

RECEIVED
SALISBURY
NOV 27 2007
GEORGE, MILES & BUHR
Architects & Engineers

A. F. 200508
Permit

DEPARTMENT OF
DEVELOPMENT REVIEW AND PERMITTING

Worcester County

GOVERNMENT CENTER
ONE WEST MARKET STREET, ROOM 1201
SNOW HILL, MARYLAND 21863
TEL: 410-632-1200 / FAX 410-632-3008

BOARD OF APPEALS
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SHORELINE COMMISSION
LICENSE COMMISSIONERS

November 26, 2007

Paul B. Mauser, E.I.
George, Miles & Buhr, LLC
206 West Main Street
Salisbury, MD 21801

Re: Tax Map 83 Parcel 103
Unionville Rd. (Clarke Ave. Ext.)
Pocomoke City Production Well Site

Dear Mr. Mauser:

The Pocomoke City Production Well Site on Unionville Road, as presented, has been accepted as meeting the Critical Area requirements under COMAR 27.02.02 - Consistency Report for Local Government Projects. Enclosed is a copy of the acceptance letter from the State Critical Area Commission.

The mitigation and bonding requirements will be finalized upon submittal, and prior to issuance, of the Building Permit. Please continue to coordinate with Kelly Henry, Zoning Administrator, regarding compliance with all applicable zoning regulations.

If you have any questions, please do not hesitate to contact me.

Sincerely,
Janet W. Davis
Janet W. Davis
Critical Area Specialist III

jwd

cc Russell Blake, Pocomoke City Manager
Kelly Henry, Zoning Administrator

Martin O'Malley
Governor

Anthony G. Brown
L. Governor



COPY

Margaret G. McHale
Chair

Ren Serey
Executive Director

STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

November 20, 2007

Ms. Janet Davis
Worcester County
Government Center
One West Market Street, Room 1201
Snow Hill, Maryland 21863

Re: Production Well – Tax Map 83, Parcel 103 Unionville Road
Consistency Report

Dear Ms. Davis:

Thank you for forwarding the above-referenced project on behalf of Pocomoke City to this office per the requirements of COMAR 27.02.02 - State and Local Agency Actions Resulting in Development of Local Significance on Private Lands or Lands Owned by Local Jurisdictions. The project involves constructing a production well in a Resource Conservation Area. Since this is an action requested by Pocomoke City as the proposed property owner, and this jurisdiction is exempt from having a Critical Area program, the Critical Area requirements should be met insofar as possible. After reviewing the consistency report this office agrees that the project has met the Critical Area requirements insofar as possible based on the following reasons:

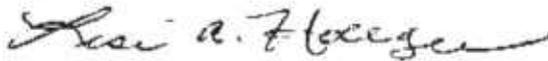
- While the site may support Forest Interior Dwelling Bird habitat, the proposal meets the FIDs guidelines for clearing.
- Reforestation will occur on site for the previous and proposed clearing.
- No other Habitat Protection Areas will be impacted as a result of this development activity.
- Stormwater management and sediment and erosion control approvals were received.
- The proposed impervious area is below the 15% limit.
- Since Pocomoke City does not have a program that lists appropriate uses in the RCA this use may be viewed as complying insofar as possible due to the following reasons: the project is for a public use that the City is required to provide; the use is dependent on it being located on City property; and the use is dependent on being able to draw water.

Ms. Janet Davis
November 20, 2007
Page Two

Since the project was found to conform to the Critical Area requirements insofar as possible, no further review is required by the Commission, notwithstanding any other required resource agency approvals.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3478 if you have any questions.

Sincerely,



Lisa A. Hoerger
Regional Program Chief

cc: Russell Blake, Pocomoke City
WO 637-07

April 28, 2008

ERI 0354-0020

Attn.: Steve Dawson
Nontidal Wetlands & Waterways Division
Maryland Dept. of the Environment
201 Baptist Street, Suite 22
Salisbury, MD 21801-4979

Re: Clarke Avenue Extended Water Supply Well Construction Request
Applicant: Pocomoke City, Maryland

Dear Steve:

We spoke about this application on April 18, 2008. This project for Pocomoke City is explained in the attached application and plans. But a summary is provided here as well, as there are a few items to address that are not covered well by the application. This letter should answer a few questions that will likely come to mind during your review.

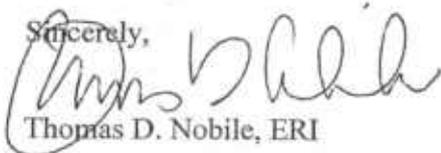
As explained in the application, this is a water production well & well head facilities to address the City's current needs. It is located on the west edge of Pocomoke City, see Sheet G-1. On the Site Plan, Sheet C-1, the impact is shown between the Non-Tidal Wetland Line and the LOD (Limit of Disturbance) and totals 4957 SF. However, 1441 SF are temporary impacts: 29%. Further, the entire wetland buffer impact, 1804 SF will be temporary and the remaining upland disturbance will also be temporary.

This area of temporary impacts is illustrated as the Planting Area that is northwest of the proposed fence around the facility. The pre-construction grade will be established and planted to woody vegetation per the Plant Schedule. This Planting Plan is needed to address Critical Area concerns. As a result of this plan, it is hoped that no additional mitigation plan or fee will be applied to this application.

The DNR, Wildlife & Heritage Service review letter did not find records of threatened, endangered, or rare species and with the site's proximity to an existing road and residences, the chance of one being onsite is likely minimal. In addition, clearing is at the forest edge and, as noted above, temporarily disturbed areas will be reforested.

Do not hesitate to contact me at 410-548-5320 if you have any questions. Thank you in advance for your prompt action on this application.

Sincerely,



Thomas D. Nobile, ERI

Enclosed: Signed Application, Detailed Impact Sheets (2), and DNR Review Letter

cc: Russell Blake, Pocomoke City Manager
Paul Mauser, GMB

\\Snap174419\share1\Projects 300 to 399\0354-0020 Pocomoke Well Site\Pocomoke Cover Letter.wpd

**JOINT FEDERAL/STATE APPLICATION FOR THE ALTERATION OF ANY FLOODPLAIN,
WATERWAY, TIDAL OR NONTIDAL WETLAND IN MARYLAND**

FOR AGENCY USE ONLY

Application Number _____	Date Determined Complete _____
Date Received by State _____	Date(s) Returned _____
Date Received by Corps _____	_____
Type of State permit needed _____	Date of Field Review _____
Type of Corps permit needed _____	Agency Performed Field Review _____

- +++++
- Please submit 1 original and 4 copies of this form, required maps and plans to the Wetlands and Waterways Program as noted on the last page of this form.
 - Any application which is not completed in full or is accompanied by poor quality drawings may be considered incomplete and result in a time delay to the applicant.

Please check one of the following:

RESUBMITTAL: _____ APPLICATION AMENDMENT: _____ MODIFICATION TO AN EXISTING PERMIT: _____
JURISDICTIONAL DETERMINATION ONLY _____ APPLYING FOR AUTHORIZATION X
PREVIOUSLY ASSIGNED NUMBER (RESUBMITTALS AND AMENDMENTS) _____
DATE 4/17/2008

1. APPLICANT INFORMATION:

APPLICANT NAME:

A. Name: Russell Blake, City Manager B. Daytime Telephone: 410 957 1333
C. Company: Pocomoke City
D. Address: P.O. Box 29, 101 Clarke Ave.
E. City: Pocomoke City State: Maryland Zip: 21851

AGENT/ENGINEER INFORMATION:

A. Name: Paul Mauser B. Telephone: 410 742 3115
C. Company: GMB
D. Address: 206 West Main Street
E. City: Salisbury State: Maryland Zip: 21801

ENVIRONMENTAL CONSULTANT:

A. Name: Thomas Nobile B. Telephone: 410 548 5320
C. Company: Environmental Resources, Inc.
D. Address: 100 East Main Street, Suite 500
E. City: Salisbury State: Maryland Zip: 21801

CONTRACTOR (If known):

A. Name: _____ B. Telephone: _____
C. Company: _____
D. Address: _____
E. City: _____ State: _____ Zip: _____

PRINCIPAL CONTACT:

A. Name: Thomas Nobile B. Telephone: 410 548 5320
C. Company: Environmental Resources, Inc.
D. Address: 100 East Main Street, Suite 500
E. City: Salisbury State: Maryland Zip: 21801

2. PROJECT DESCRIPTION

a. GIVE WRITTEN DESCRIPTION OF PROJECT:

The proposed fill is necessary to establish a new production water well to meet the current water supply needs for Pocomoke City. Once the fill is placed, the water supply structures will be constructed upon the fill.

Has any portion of the project been completed? Yes No If yes, explain _____

Is this a residential subdivision or commercial development? Yes No
 If yes, total number of acres on property _____ acres

b. ACTIVITY: Check all activities that are proposed in the wetland, waterway, floodplain, and nontidal wetland buffer as appropriate.

- A. Filling
- B. dredging
- C. excavating
- D. flooding or impounding Water
- E. Draining
- F. grading
- G. removing or destroying vegetation
- H. building structures

Area for item(s) checked: Wetland 4957 (1441 T) (sq. ft.) Buffer (Nontidal Wetland Only) 1804 Temp (sq. ft.)
 Expanded Buffer (Nontidal Wetland Only) _____ (sq. ft.)

Area of stream impact _____ (sq. ft.)
 Length of stream affected _____ (linear feet)

c. TYPE OF PROJECTS: Project Dimensions

For each activity, give overall length and width (in feet), in columns 1 and 2. For multiple activities, give total area of disturbance in square feet in column 3. For activities in tidal waters, give maximum distance channelward (in feet) in column 4. For dam or small ponds, give average depth (in feet) for the completed project in column 5. Give the volume of fill or dredged material in column 6.

	Length (Ft.) 1	Width (Ft.) 2	Area Sq. Ft. 3	Maximum/Average Channelward Encroachment 4	Pond Depth 5	Volume of fill/dredge material (cubic yards) below MHW or OHW 6
A. <input type="checkbox"/> Bulkhead	_____	_____	_____	_____	_____	_____
B. <input type="checkbox"/> Revetment	_____	_____	_____	_____	_____	_____
C. <input type="checkbox"/> Vegetative Stabilization	_____	_____	_____	_____	_____	_____
D. <input type="checkbox"/> Gabions	_____	_____	_____	_____	_____	_____
E. <input type="checkbox"/> Groins	_____	_____	_____	_____	_____	_____
F. <input type="checkbox"/> Jetties	_____	_____	_____	_____	_____	_____
G. <input type="checkbox"/> Boat Ramp	_____	_____	_____	_____	_____	_____
H. <input type="checkbox"/> Pier	_____	_____	_____	_____	_____	_____
I. <input type="checkbox"/> Breakwater	_____	_____	_____	_____	_____	_____
J. <input type="checkbox"/> Repair & Maintenance	_____	_____	_____	_____	_____	_____
K. <input type="checkbox"/> Road Crossing	_____	_____	_____	_____	_____	_____
L. <input type="checkbox"/> Utility Line	_____	_____	_____	_____	_____	_____
M. <input type="checkbox"/> Outfall Construction	_____	_____	_____	_____	_____	_____
N. <input type="checkbox"/> Small Pond	_____	_____	_____	_____	_____	_____
O. <input type="checkbox"/> Dam	_____	_____	_____	_____	_____	_____
P. <input checked="" type="checkbox"/> Lot Fill	_____	_____	4957	_____	_____	_____
Q. <input type="checkbox"/> Building Structures	_____	_____	_____	_____	_____	_____
R. <input type="checkbox"/> Culvert	_____	_____	_____	_____	_____	_____
S. <input type="checkbox"/> Bridge	_____	_____	_____	_____	_____	_____
T. <input type="checkbox"/> Stream Channelization	_____	_____	_____	_____	_____	_____
U. <input type="checkbox"/> Parking Area	_____	_____	_____	_____	_____	_____
V. <input type="checkbox"/> Dredging	_____	_____	_____	_____	_____	_____

W. 1. New 2. Maintenance 3. Hydraulic 4. Mechanical
 Other (explain) Nearly 30% (1441 SF) is a temporary impact. The grade will be reestablished and planted with trees.

d. PROJECT PURPOSE: Give brief written description of the project purpose:

In reviewing water supply for the City, total supply was less than anticipated to address current needs. Therefore, the City studied potential well locations. That study found the Clarke Ave. site to have the best potential to meet this existing need. After this determination was made, the presence of wetlands was questioned. Nontidal wetlands were delineated on this parcel and are extensive.

3. PROJECT LOCATION:

a. LOCATION INFORMATION:

- A. County: Worcester B. City: Pocomoke C. Name of waterway or closest waterway Union Branch
D. State stream use class designation: Class I
E. Site Address or Location: South side of Clarke Ave. extended, approx. 500 ft. west of Williams Street, on the west side of Pocomoke.
F. Directions from nearest intersection of two state roads: As above.

G. Is your project located in the Chesapeake Bay Critical Area (generally within 1,000 feet of tidal waters or tidal wetlands)?:

Yes No

H. County Book Map Coordinates (Alexandria Drafting Co.); Excluding Garrett and Somerset Counties:

Map: 31 Letter: K Number: 6 (to the nearest tenth)

I. FEMA Floodplain Map Panel Number (if known): 240083 0225 A

J. 1. 38.06694 latitude 2. 75.58556 longitude

b. ACTIVITY LOCATION: Check one or more of the following as appropriate for the type of wetland/waterway where you are proposing an activity:

- | | | |
|--|---|--|
| A. <input type="checkbox"/> Tidal Waters | F. <input type="checkbox"/> 100-foot buffer (nontidal wetland of special State concern) | H. <input type="checkbox"/> 100-year floodplain (outside stream channel) |
| B. <input type="checkbox"/> Tidal Wetlands | G. <input type="checkbox"/> In stream channel | I. <input type="checkbox"/> River, lake, pond |
| C. <input type="checkbox"/> Special Aquatic Site (e.g., mudflat, Vegetated shallows) | 1. <input type="checkbox"/> Tidal 2. <input type="checkbox"/> Nontidal | J. <input type="checkbox"/> Other (Explain) |
| D. <input checked="" type="checkbox"/> Nontidal Wetland | | |
| E. <input checked="" type="checkbox"/> 25-foot buffer (nontidal Wetlands only) | | |

c. LAND USE:

A. Current Use of Parcel Is: 1. Agriculture: Has SCS designated project site as a prior converted cropland?
 Yes No 2. Wooded 3. Marsh/Swamp 4. Developed
5. Other

B. Present Zoning Is: 1. Residential 2. Commercial/Industrial 3. Agriculture 4. Marina 5. Other

C. Project complies with current zoning Yes No

THE FOLLOWING INFORMATION IS REQUIRED BY THE STATE (blocks 4-7):

4. REDUCTION OF IMPACTS: Explain measures taken or considered to avoid or minimize wetland losses in F. Also check Items A-E if any of these apply to your project.

- A. Reduced the area of Disturbance B. Reduced size/scope of project C. Relocated structures
D. Redesigned project
E. Other

F. Explanation The plan was redesigned to have an impact of less than 5000 SF. In addition, 1441 SF, 29%, of impacts are temporary and will be regarded to pre-construction conditions and replanted with trees.

Describe reasons why impacts were not avoided or reduced in Q. Also check Items G-P that apply to your project.

- | | | |
|---|--|--|
| G. <input checked="" type="checkbox"/> Cost | K. <input type="checkbox"/> Parcel size | N. <input checked="" type="checkbox"/> Safety/public welfare issue |
| H. <input checked="" type="checkbox"/> Extensive wetlands on site | L. <input type="checkbox"/> Other regulatory requirement | O. <input type="checkbox"/> Inadequate zoning |
| I. <input type="checkbox"/> Engineering/design constraints | M. <input checked="" type="checkbox"/> Failure to accomplish project purpose | P. <input type="checkbox"/> Other _____ |
| J. <input type="checkbox"/> Other natural features | | |

Q. Description Wetlands became an issue after much city money had been expended to identify the well location. This well is needed just to meet existing needs. Impacts have been reduced to less than 5000 SF and kept to the forest edge.

5. LETTER OF EXEMPTION: If you are applying for a letter of exemption for activities in nontidal wetlands and/or their buffers, explain why the project qualifies:

- | | |
|--|--|
| A. <input checked="" type="checkbox"/> No significant plant or wildlife value and wetland impact | B. <input type="checkbox"/> Repair existing structure/fill |
| 1. <input checked="" type="checkbox"/> Less than 5,000 square feet | C. <input type="checkbox"/> Mitigation Project |
| 2. <input type="checkbox"/> In an isolated nontidal wetland less than 1 acre in size | D. <input type="checkbox"/> Utility Line |
| E. Other (explain) _____ | 1. <input type="checkbox"/> Overhead |
| | 2. <input type="checkbox"/> Underground |

F. Check here if you are not applying for a letter of exemption.

IF YOU ARE APPLYING FOR A LETTER OF EXEMPTION, PROCEED TO BLOCK 11

6. ALTERNATIVE SITE ANALYSIS: Explain why other sites that were considered for this project were rejected in M. Also check any items in D-L if they apply to your project. (If you are applying for a letter of exemption, do not complete this block):

- | | | |
|------------------------------------|---|---|
| A. <input type="checkbox"/> 1 site | B. <input type="checkbox"/> 2 - 4 sites | C. <input type="checkbox"/> 5 or more sites |
|------------------------------------|---|---|

Alternative sites were rejected/not considered for the following reason(s):

- | | | |
|---|--|---|
| D. <input type="checkbox"/> Cost | H. <input type="checkbox"/> Greater wetlands impact | L. <input type="checkbox"/> Other _____ |
| E. <input type="checkbox"/> Lack of availability | I. <input type="checkbox"/> Water dependency | _____ |
| F. <input type="checkbox"/> Failure to meet project Purpose | J. <input type="checkbox"/> Inadequate zoning | _____ |
| G. <input type="checkbox"/> Located outside general/market area | K. <input type="checkbox"/> Engineering/design constraints | _____ |

M. Explanation: _____

7. PUBLIC NEED: Describe the public need or benefits that the project will provide in F. Also check Items in A-E that apply to your project. (If you are applying for a letter of exemption, do not complete this block):

- | | | |
|--------------------------------------|--|---|
| A. <input type="checkbox"/> Economic | C. <input type="checkbox"/> Health/welfare | E. <input type="checkbox"/> Other _____ |
| B. <input type="checkbox"/> Safety | D. <input type="checkbox"/> Does not provide public benefits | _____ |

F. Description _____

8. OTHER APPROVALS NEEDED/GRANTED:

A. Agency	B. Date Sought	C. Decision		D. Decision Date	E. Other Status
		1. Granted	2. Denied		
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____

9. MITIGATION PLAN: Please provide the following information:

- a. Description of a monetary compensation proposal, if applicable (for state requirements only). Attach another sheet if necessary. _____

- b. Give a brief description of the proposed mitigation project. _____

- c. Describe why you selected your proposed mitigation site, including what other areas were considered and why they were rejected. _____

- d. Describe how the mitigation site will be protected in the future. _____

10. HAVE ADJACENT PROPERTY OWNERS BEEN NOTIFIED?: A. _____ Yes B. _____ No

Provide names and mailing addresses below (Use separate sheet, if necessary):

- a. _____
- b. _____
- c. _____

11. HISTORIC PROPERTIES: Is your project located in the vicinity of historic properties? (For example: structures over 50 years old, archeological sites, shell mounds, Indian or Colonial artifacts). Provide any supplemental information in Section 13.

A. _____ Yes B. X No C. _____ Unknown

12. ADDITIONAL INFORMATION: Use this space for detailed responses to any of the previous items. Attach another sheet if necessary:

Nearly 30% of the nontidal wetland impacts and all the 1804 SF buffer impacts are temporary. The area will be returned to pre-construction grade and planted with trees per Planting Notes & Schedule on Sheet C-1. This planting addresses Critical Area requirements.

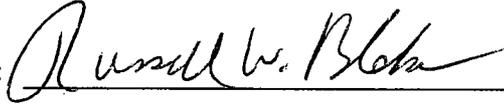
Check box if data is enclosed for any one or more of the following (see checklist for required information):

- | | | |
|---|--|--|
| A. <input type="checkbox"/> Soil borings | D. <input checked="" type="checkbox"/> Field surveys | G. <input checked="" type="checkbox"/> Site plan |
| B. <input type="checkbox"/> Wetland data sheets | E. <input type="checkbox"/> Alternate site analysis | H. <input type="checkbox"/> Avoidance and
minimization analysis |
| C. <input type="checkbox"/> Photographs | F. <input type="checkbox"/> Market analysis | |

I. Other (explain) The Wildlife & Heritage Service does not have records of Threatened & Endangered Species on site.
In addition, forest clearing has been kept to the perimeter of the forest as recommended by the W & H Service (see attached letter).

CERTIFICATION:

I hereby designate and authorize the agent named above to act on my behalf in the processing of this application and to furnish any information that is requested. I certify that the information on this form and on the attached plans and specifications is true and accurate to the best of my knowledge and belief. I understand that any of the agencies involved in authorizing the proposed works may request information in addition to that set forth herein as may be deemed appropriate in considering this proposal. I certify that all Waters of the United States have been identified and delineated on site, and that all jurisdictional wetlands have been delineated in accordance with the Federal Manual for Identifying and Delineating Jurisdictional Wetlands. I grant permission to the agencies responsible for authorization of this work, or their duly authorized representative, to enter the project site for inspection purposes during working hours. I will abide by the conditions of the permit or license if issued and will not begin work without the appropriate authorization. I also certify that the proposed works are consistent with Maryland's Coastal Zone Management Plan. I understand that none of the information contained in the application form is confidential and that I may request that additional required information be considered confidential under applicable laws. I further understand that failure of the landowner to sign the application will result in the application being deemed incomplete.

LANDOWNER MUST SIGN:  DATE: 4/22/08

WHERE TO MAIL APPLICATION

Maryland Department of the Environment
Water Management Administration
Regulatory Services Coordination Office
1800 Washington Boulevard, Suite 430
Baltimore, Maryland 21230
Telephone: (410) 537-3762
1-800-876-0200

BEFORE YOU MAIL... DON'T FORGET...

- **SIGN AND DATE THE APPLICATION. THE LANDOWNER MUST SIGN.**
- **FIVE (5) COPIES OF ALL DOCUMENTS (APPLICATION, PLANS, MAPS, REPORTS, ETC.) MUST BE RECEIVED TO BEGIN OUR REVIEW.**
- **INCLUDE FIVE COPIES OF A VICINITY MAP (LOCATION MAP) WITH THE PROJECT SITE PINPOINTED.**

**SAMPLE PLANS MAY BE OBTAINED BY PHONE (1-800-876-0200)
OR E-MAIL acunabaugh@mde.state.md.us.**

1 Plaza East, Suite 500
 100 East Main Street
 Salisbury, Maryland 21801

Phone: (410) 548-5320
 Fax: (410) 548-3767

Date:	4/28/2008	Job No.	354-020
Attention:	Paul Mauser		
Re:	Water Supply Well		
	Clarke Ave. Extended		
	Pocomoke City, Maryland		

To: GMB
Salisbury, Md

WE ARE SENDING YOU: Attached Under separate cover via _____ the following items:

Shop drawings Prints Plans Samples Specifications

Copy of letter Change order Hand Delivered

Copies	Date	Number	Description
1	4/28/2008		Cover letter and application

THESE ARE TRANSMITTED as checked below:

- For approval Approved as submitted Resubmit _____ copies for approval
- For your use Approved as noted Submit _____ copies for distribution
- As requested Returned for corrections Return _____ corrected prints
- For review and comment _____
- FOR BIDS DUE: _____ PRINTS RETURNED AFTER LOAN TO US

Remarks: Fell free to call with any questions. After May 20,2008 please call 302-436-9637.

COPY TO: Mr. Blake, Pocomoke City Manager SIGNED: Thomas Nobile, ERI
If enclosures are not as noted, kindly notify us at once.

POCOMOKE CITY, MARYLAND

Sell

MAYOR
MICHAEL A. McDERMOTT
mayormcdermott@cityofpocomoke.com



COPY

CITY COUNCIL
HONISS W. CANE
ROB CLARKE
TRACEY COTTMAN
ROBERT L. HAWKINS
BRUCE A. MORRISON

CITY MANAGER
RUSSELL W. BLAKE
russ@cityofpocomoke.com

TO: Paul B. Mauser, Project Engineer
G M B

FROM: Russell W. Blake, City Manager

DATE: April 23, 2008

SUBJECT: Joint Federal/State A.P. for the Alteration of any Floodplain, Waterway, Tidal or NonTidal Wetland in Maryland

Enclosed please find two signed copies of the referenced form for the proposed production well site in Pocomoke City.

Please advise if any further information is required.

Russ

"Friendliest Town on the Eastern Shore"

GMB

GEORGE, MILES & BUHR, LLC

....

ARCHITECTS
ENGINEERS

208 WEST MAIN STREET
SALISBURY, MD 21801
PH: 410.742.3115
PH: 800.789.4462
FAX: 410.548.5790

SALISBURY
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SEAFORD
LEWES
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DOVER
NEW CHURCH
ALLENTOWN

www.gmbnet.com

....

COPY

P.
*Please send back
to Speed Mess,
R.
4/22*

TRANSMITTAL

DATE: April 18, 2008 GMB NO: 2005094.A
TO: City of Pocomoke P.O. Box 29
Pocomoke City, MD 21851 RE: Clarke Avenue Extended
Production Well
MDE Joint Application
ATTN: Russell Blake

COPIES:	DESCRIPTION:
2	Joint Federal / State Application for the Alteration of any Floodplain, Waterway, Tidal or NonTidal Wetland in Maryland

REMARKS: Russ,
Enclosed with this transmittal is the MDE NonTidal Wetland "Letter of Exemption" report that we had previously spoken about. The report was prepared by Thomas Nobile from ERI. Please sign the 6th page of the application as indicated and return both copies to GMB at my attention. Please do not hesitate to contact me at (410) 742-3115 with any questions or concerns. Thank you.

COPIES TO: Environmental Resources Inc.
Attn: Thomas Nobile (w/o encl.)



Paul B. Mauser, E.I.
Project Engineer

COPY

JOINT FEDERAL/STATE APPLICATION FOR THE ALTERATION OF ANY FLOODPLAIN, WATERWAY, TIDAL OR NONTIDAL WETLAND IN MARYLAND

FOR AGENCY USE ONLY

Application Number _____ Date Determined Complete _____
Date Received by State _____ Date(s) Returned _____
Date Received by Corps _____
Type of State permit needed _____ Date of Field Review _____
Type of Corps permit needed _____ Agency Performed Field Review _____

- Please submit 1 original and 4 copies of this form, required maps and plans to the Wetlands and Waterways Program as noted on the last page of this form.
Any application which is not completed in full or is accompanied by poor quality drawings may be considered incomplete and result in a time delay to the applicant.

Please check one of the following:

RESUBMITTAL: _____ APPLICATION AMENDMENT: _____ MODIFICATION TO AN EXISTING PERMIT: _____
JURISDICTIONAL DETERMINATION ONLY _____ APPLYING FOR AUTHORIZATION X
PREVIOUSLY ASSIGNED NUMBER (RESUBMITTALS AND AMENDMENTS) _____
DATE 4/17/2008 _____

1. APPLICANT INFORMATION:

APPLICANT NAME:

A. Name: Russell Blake, City Manager B. Daytime Telephone: 410 957 1333
C. Company: Pocomoke City
D. Address: P.O. Box 29, 101 Clarke Ave.
E. City: Pocomoke City State: Maryland Zip: 21851

AGENT/ENGINEER INFORMATION:

A. Name: Paul Mauser B. Telephone: 410 742 3115
C. Company: GMB
D. Address: 206 West Main Street
E. City: Salisbury State: Maryland Zip: 21801

ENVIRONMENTAL CONSULTANT:

A. Name: Thomas Nobile B. Telephone: 410 548 5320
C. Company: Environmental Resources, Inc.
D. Address: 100 East Main Street, Suite 500
E. City: Salisbury State: Maryland Zip: 21801

CONTRACTOR (If known):

A. Name: _____ B. Telephone: _____
C. Company: _____
D. Address: _____
E. City: _____ State: _____ Zip: _____

PRINCIPAL CONTACT:

A. Name: Thomas Nobile B. Telephone: 410 548 5320
C. Company: Environmental Resources, Inc.
D. Address: 100 East Main Street, Suite 500
E. City: Salisbury State: Maryland Zip: 21801

2. PROJECT DESCRIPTION

a. GIVE WRITTEN DESCRIPTION OF PROJECT:

The proposed fill is necessary to establish a new production water well to meet the current water supply needs for Pocomoke City. Once the fill is placed, the water supply structures will be constructed upon the fill.

Has any portion of the project been completed? Yes No If yes, explain _____

Is this a residential subdivision or commercial development? Yes No
 If yes, total number of acres on property _____ acres

b. ACTIVITY: Check all activities that are proposed in the wetland, waterway, floodplain, and nontidal wetland buffer as appropriate.

- A. Filling
- B. dredging
- C. excavating
- D. flooding or impounding Water
- E. Draining
- F. grading
- G. removing or destroying vegetation
- H. building structures

Area for item(s) checked: Wetland 4957 (1441 T) (sq. ft.) Buffer (Nontidal Wetland Only) 1804 Temp (sq. ft.)
 Expanded Buffer (Nontidal Wetland Only) _____ (sq. ft.)

Area of stream impact _____ (sq. ft.)
 Length of stream affected _____ (linear feet)

c. TYPE OF PROJECTS: Project Dimensions

For each activity, give overall length and width (in feet), in columns 1 and 2. For multiple activities, give total area of disturbance in square feet in column 3. For activities in tidal waters, give maximum distance channelward (in feet) in column 4. For dam or small ponds, give average depth (in feet) for the completed project in column 5. Give the volume of fill or dredged material in column 6.

	Length (Ft.) 1	Width (Ft.) 2	Area Sq. Ft. 3	Maximum/Average Channelward Encroachment 4	Pond Depth 5	Volume of fill/dredge material (cubic yards) below MHW or OHW 6
A. <input type="checkbox"/> Bulkhead	_____	_____	_____	_____	_____	_____
B. <input type="checkbox"/> Revetment	_____	_____	_____	_____	_____	_____
C. <input type="checkbox"/> Vegetative Stabilization	_____	_____	_____	_____	_____	_____
D. <input type="checkbox"/> Gabions	_____	_____	_____	_____	_____	_____
E. <input type="checkbox"/> Groins	_____	_____	_____	_____	_____	_____
F. <input type="checkbox"/> Jetties	_____	_____	_____	_____	_____	_____
G. <input type="checkbox"/> Boat Ramp	_____	_____	_____	_____	_____	_____
H. <input type="checkbox"/> Pier	_____	_____	_____	_____	_____	_____
I. <input type="checkbox"/> Breakwater	_____	_____	_____	_____	_____	_____
J. <input type="checkbox"/> Repair & Maintenance	_____	_____	_____	_____	_____	_____
K. <input type="checkbox"/> Road Crossing	_____	_____	_____	_____	_____	_____
L. <input type="checkbox"/> Utility Line	_____	_____	_____	_____	_____	_____
M. <input type="checkbox"/> Outfall Construction	_____	_____	_____	_____	_____	_____
N. <input type="checkbox"/> Small Pond	_____	_____	_____	_____	_____	_____
O. <input type="checkbox"/> Dam	_____	_____	_____	_____	_____	_____
P. <input checked="" type="checkbox"/> Lot Fill	_____	_____	<u>4957</u>	_____	_____	_____
Q. <input type="checkbox"/> Building Structures	_____	_____	_____	_____	_____	_____
R. <input type="checkbox"/> Culvert	_____	_____	_____	_____	_____	_____
S. <input type="checkbox"/> Bridge	_____	_____	_____	_____	_____	_____
T. <input type="checkbox"/> Stream Channelization	_____	_____	_____	_____	_____	_____
U. <input type="checkbox"/> Parking Area	_____	_____	_____	_____	_____	_____
V. <input type="checkbox"/> Dredging	_____	_____	_____	_____	_____	_____

W. 1. New 2. Maintenance 3. Hydraulic 4. Mechanical
 Other (explain) Nearly 30% (1441 SF) is a temporary impact. The grade will be reestablished and planted with trees.

d. PROJECT PURPOSE: Give brief written description of the project purpose:

In reviewing water supply for the City, total supply was less than anticipated to address current needs. Therefore, the City studied potential well locations. That study found the Clarke Ave. site to have the best potential to meet this existing need. After this determination was made, the presence of wetlands was questioned. Nontidal wetlands were delineated on this parcel and are extensive.

3. PROJECT LOCATION:

a. LOCATION INFORMATION:

A. County: Worcester B. City: Pocomoke C. Name of waterway or closest waterway Union Branch

D. State stream use class designation: _____

E. Site Address or Location: South side of Clarke Ave. extended, approx. 500 ft. west of Williams Street, on the west side of Pocomoke.

F. Directions from nearest intersection of two state roads: As above.

G. Is your project located in the Chesapeake Bay Critical Area (generally within 1,000 feet of tidal waters or tidal wetlands)?:

Yes No

H. County Book Map Coordinates (Alexandria Drafting Co.); Excluding Garrett and Somerset Counties:

Map: 31 Letter: K Number: 6 (to the nearest tenth)

I. FEMA Floodplain Map Panel Number (if known): 240083 0225 A

J. 1. 38.06694 latitude 2. 75.58556 longitude

b. ACTIVITY LOCATION: Check one or more of the following as appropriate for the type of wetland/waterway where you are proposing an activity:

A. Tidal Waters

B. Tidal Wetlands

C. Special Aquatic Site
(e.g., mudflat,
Vegetated shallows)

D. Nontidal Wetland

E. 25-foot buffer (nontidal
Wetlands only)

F. 100-foot buffer (nontidal wetland
of special State concern)

G. In stream channel

1. Tidal 2. Nontidal

H. 100-year floodplain
(outside stream channel)

I. River, lake, pond

J. Other (Explain)

c. LAND USE:

A. Current Use of Parcel Is: 1. Agriculture: Has SCS designated project site as a prior converted cropland?
 Yes No 2. Wooded 3. Marsh/Swamp 4. Developed
5. Other _____

B. Present Zoning Is: 1. Residential 2. Commercial/Industrial 3. Agriculture 4. Marina 5. Other

C. Project complies with current zoning Yes No

THE FOLLOWING INFORMATION IS REQUIRED BY THE STATE (blocks 4-7):

4. REDUCTION OF IMPACTS: Explain measures taken or considered to avoid or minimize wetland losses in F. Also check Items A-E if any of these apply to your project.

A. Reduced the area of
Disturbance

B. Reduced size/scope of
project

C. Relocated structures

D. Redesigned project

E. Other _____

F. Explanation The plan was redesigned to have an impact of less than 5000 SF. In addition, 1441 SF, 29%, of impacts are temporary and will be regarded to pre-construction conditions and replanted with trees.

Describe reasons why impacts were not avoided or reduced in Q. Also check Items G-P that apply to your project.

- | | | |
|---|--|--|
| G. <input checked="" type="checkbox"/> Cost | K. <input type="checkbox"/> Parcel size | N. <input checked="" type="checkbox"/> Safety/public welfare issue |
| H. <input checked="" type="checkbox"/> Extensive wetlands on site | L. <input type="checkbox"/> Other regulatory requirement | O. <input type="checkbox"/> Inadequate zoning |
| I. <input type="checkbox"/> Engineering/design constraints | M. <input checked="" type="checkbox"/> Failure to accomplish project purpose | P. <input type="checkbox"/> Other _____ |
| J. <input type="checkbox"/> Other natural features | | |

Q. Description Wetlands became an issue after much city money had been expended to identify the well location. This well is needed just to meet existing needs. Impacts have been reduced to less than 5000 SF and kept to the forest edge.

5. **LETTER OF EXEMPTION:** If you are applying for a letter of exemption for activities in nontidal wetlands and/or their buffers, explain why the project qualifies:

- | | |
|--|--|
| A. <input checked="" type="checkbox"/> No significant plant or wildlife value and wetland impact | B. <input type="checkbox"/> Repair existing structure/fill |
| 1. <input checked="" type="checkbox"/> Less than 5,000 square Feet | C. <input type="checkbox"/> Mitigation Project |
| 2. <input type="checkbox"/> In an isolated nontidal wetland less than 1 acre in size | D. <input type="checkbox"/> Utility Line |
| E. Other (explain) _____ | 1. <input type="checkbox"/> Overhead |
| | 2. <input type="checkbox"/> Underground |

F. Check here if you are not applying for a letter of exemption.

IF YOU ARE APPLYING FOR A LETTER OF EXEMPTION, PROCEED TO BLOCK 11

6. **ALTERNATIVE SITE ANALYSIS:** Explain why other sites that were considered for this project were rejected in M. Also check any items in D-L if they apply to your project. (If you are applying for a letter of exemption, do not complete this block):

- | | | |
|------------------------------------|---|---|
| A. <input type="checkbox"/> 1 site | B. <input type="checkbox"/> 2 - 4 sites | C. <input type="checkbox"/> 5 or more sites |
|------------------------------------|---|---|

Alternative sites were rejected/not considered for the following reason(s):

- | | | |
|---|--|---|
| D. <input type="checkbox"/> Cost | H. <input type="checkbox"/> Greater wetlands impact | L. <input type="checkbox"/> Other _____ |
| E. <input type="checkbox"/> Lack of availability | I. <input type="checkbox"/> Water dependency | _____ |
| F. <input type="checkbox"/> Failure to meet project Purpose | J. <input type="checkbox"/> Inadequate zoning | _____ |
| G. <input type="checkbox"/> Located outside general/market area | K. <input type="checkbox"/> Engineering/design constraints | _____ |
| M. Explanation: _____ | | |

7. **PUBLIC NEED:** Describe the public need or benefits that the project will provide in F. Also check Items in A-E that apply to your project. (If you are applying for a letter of exemption, do not complete this block):

- | | | |
|--------------------------------------|--|---|
| A. <input type="checkbox"/> Economic | C. <input type="checkbox"/> Health/welfare | E. <input type="checkbox"/> Other _____ |
| B. <input type="checkbox"/> Safety | D. <input type="checkbox"/> Does not provide public benefits | _____ |
| F. Description _____ | | |

8. OTHER APPROVALS NEEDED/GRANTED:

A. Agency	B. Date Sought	C. Decision		D. Decision Date	E. Other Status
		1. Granted	2. Denied		
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____

9. MITIGATION PLAN: Please provide the following information:

- a. Description of a monetary compensation proposal, if applicable (for state requirements only). Attach another sheet if necessary. _____

- b. Give a brief description of the proposed mitigation project. _____

- c. Describe why you selected your proposed mitigation site, including what other areas were considered and why they were rejected. _____

- d. Describe how the mitigation site will be protected in the future. _____

10. HAVE ADJACENT PROPERTY OWNERS BEEN NOTIFIED?:

A. _____ Yes B. _____ No

Provide names and mailing addresses below (Use separate sheet, if necessary):

- a. _____
- b. _____
- c. _____

11. HISTORIC PROPERTIES: Is your project located in the vicinity of historic properties? (For example: structures over 50 years old, archeological sites, shell mounds, Indian or Colonial artifacts). Provide any supplemental information in Section 13.

A. _____ Yes B. X No C. _____ Unknown

12. ADDITIONAL INFORMATION: Use this space for detailed responses to any of the previous items. Attach another sheet if necessary:

Nearly 30% of the nontidal wetland impacts and all the 1804 SF buffer impacts are temporary. The area will be returned to pre-construction grade and planted with trees per Planting Notes & Schedule on Sheet C-1. This planting addresses Critical Area requirements.

Check box if data is enclosed for any one or more of the following (see checklist for required information):

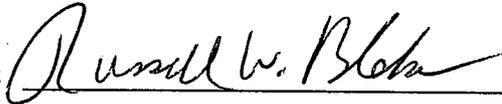
- | | | |
|---|--|--|
| A. <input type="checkbox"/> Soil borings | D. <input checked="" type="checkbox"/> Field surveys | G. <input checked="" type="checkbox"/> Site plan |
| B. <input type="checkbox"/> Wetland data sheets | E. <input type="checkbox"/> Alternate site analysis | H. <input type="checkbox"/> Avoidance and
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| C. <input type="checkbox"/> Photographs | F. <input type="checkbox"/> Market analysis | |

I. Other (explain) The Wildlife & Heritage Service does not have records of Threatened & Endangered Species on site.
In addition, forest clearing has been kept to the perimeter of the forest as recommended by the W & H Service (see attached letter).

CERTIFICATION:

I hereby designate and authorize the agent named above to act on my behalf in the processing of this application and to furnish any information that is requested. I certify that the information on this form and on the attached plans and specifications is true and accurate to the best of my knowledge and belief. I understand that any of the agencies involved in authorizing the proposed works may request information in addition to that set forth herein as may be deemed appropriate in considering this proposal. I certify that all Waters of the United States have been identified and delineated on site, and that all jurisdictional wetlands have been delineated in accordance with the Federal Manual for Identifying and Delineating Jurisdictional Wetlands. I grant permission to the agencies responsible for authorization of this work, or their duly authorized representative, to enter the project site for inspection purposes during working hours. I will abide by the conditions of the permit or license if issued and will not begin work without the appropriate authorization. I also certify that the proposed works are consistent with Maryland's Coastal Zone Management Plan. I understand that none of the information contained in the application form is confidential and that I may request that additional required information be considered confidential under applicable laws. I further understand that failure of the landowner to sign the application will result in the application being deemed incomplete.

LANDOWNER MUST SIGN:



DATE:

4/22/08

WHERE TO MAIL APPLICATION

Maryland Department of the Environment
Water Management Administration
Regulatory Services Coordination Office
1800 Washington Boulevard, Suite 430
Baltimore, Maryland 21230
Telephone: (410) 537-3762
1-800-876-0200

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**SAMPLE PLANS MAY BE OBTAINED BY PHONE (1-800-876-0200)
OR E-MAIL acunabaugh@mde.state.md.us.**

SUPPLEMENTARY INFORMATION TO BE INCLUDED ON PLANS, DRAWINGS, OR VICINITY MAPS

In addition to the information indicated on the previous pages, you should include the following on the 8 1/2 x 11 site plans and any blueprints you have submitted:

1. Delineation of any wetland buffers or expanded buffers, clearly marked and differentiated.
2. Location of mitigation area, if proposed on the same site as the project.

Note: If you are proposing a complex project you may wish to submit engineering blueprints of your project with the application form to expedite review.

Mitigation Location Map: If you are proposing that nontidal wetland mitigation be done at a different location than the proposed project, you should submit a map showing the location of the mitigation site in relation to the proposed nontidal wetland losses.

WETLAND DELINEATION

Wetlands should be identified according to methods described in the publication Federal Manual Identifying and Delineating Jurisdictional Wetlands. Copies of the manual may be obtained by calling the U. S. Government Printing Office at 202-783-3238 and requesting document #024-010-00-683-8 at a cost of \$7.50. Wetlands must be shown on all plans submitted with the application. All wetlands on site must be delineated and shown on the overall site plan. 8 1/2 x 11 inch plans with topography showing relation of the wetlands and project impacts must be submitted. Copies of the wetland reports and data sheets used in making the determination be included with your application submittal.

Regulatory Agencies

Federal Permits

U.S. Army Corps of Engineers
Baltimore District
Attention: CENAB-OP-R
P. O. Box 1715
Baltimore, MD 21203-1715
Telephone: (410) 962-3670

Coastal Zone Consistency Statement

MD Dept. of the Environment
Water Management Administration
Wetlands and Waterways Program
1800 Washington Blvd, Ste 430
Baltimore, MD 21230
Telephone: (410) 537-3745

State Authorizations

MD Dept. of the Environment
Water Management Administration
Tidal Wetlands Division
1800 Washington Blvd, Ste 430
Baltimore, MD 21230
Telephone: (410) 537-3837

MD Dept. of the Environment
Water Management Administration
Nontidal Wetlands and Waterways
Division
1800 Washington Blvd, Ste 430
Baltimore, MD 21230
Telephone: (410) 537-3768

COPY

~~PBM~~ PBM

FAXED
1/8/08

File Well

GMB
GEORGE MILES & BUHR, LLC

FAX

.....

ARCHITECTS
ENGINEERS

206 WEST MAIN STREET
SALISBURY, MD 21801
PH: 410.742.3115
PH: 800.789.4482
FAX: 410.548.0790

SALISBURY
BALTIMORE
REARFORD
LEWIS
YORK
DOVER
NEW MARKET
ALLENDALE

www.gmbnet.com

.....

TO:	Environmental Resources Inc.	DATE:	January 8, 2008
ATTN:	Ed Launay	RE:	Pocomoke City Well Site
FAX NO:	(410) 548-3767	GMB NO:	2005094.A
FROM:	Paul Mauser	PAGES:	3 (Including Cover)
CC:	Russell Blake	FAX NO:	(410) 957-0939

Urgent
 For Review
 Please Reply
 Please File

Ed,

Per our recent phone conversation, I have attached to this fax the following reference material for your impending walk-thru of the proposed well site in Pocomoke City:

- Partial Site Plan
- Location Map and Vicinity Map

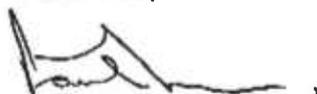
The well site is located roughly 550' beyond the intersection of Clarke Avenue and Williams Street, heading away from the corporate limits of Pocomoke City. The well site comprises approximately 0.2 acres of a 3.0 acre parcel (Tax Map 83, Grid 17, Parcel 103). As shown in the Site Plan, the proposed well site is enclosed in an 84'x77' rectangle that is approximately 15' east of the existing 4" Test Well.

Please provide Pocomoke City with a proposal to perform a walk-thru and provide a letter of findings:

Pocomoke City
ATTN: Russell Blake
101 Clarke Avenue
Pocomoke City, MD 21851
Phone: (410) 957-1333
Fax: (410) 957-0939

Please do not hesitate to contact me at (410) 742-3115 with any questions or concerns.

Thank You,



Paul B. Mauser, E.I.
Project Engineer

IF YOU DID NOT RECEIVE ALL OF THIS TRANSMISSION, OR HAVE QUESTIONS, PLEASE CALL AND NOTIFY US AT 410.742.3115. THANK YOU.

CLARKE AVENUE EXTENDED PRODUCTION WELL POCOMOKE CITY, MARYLAND

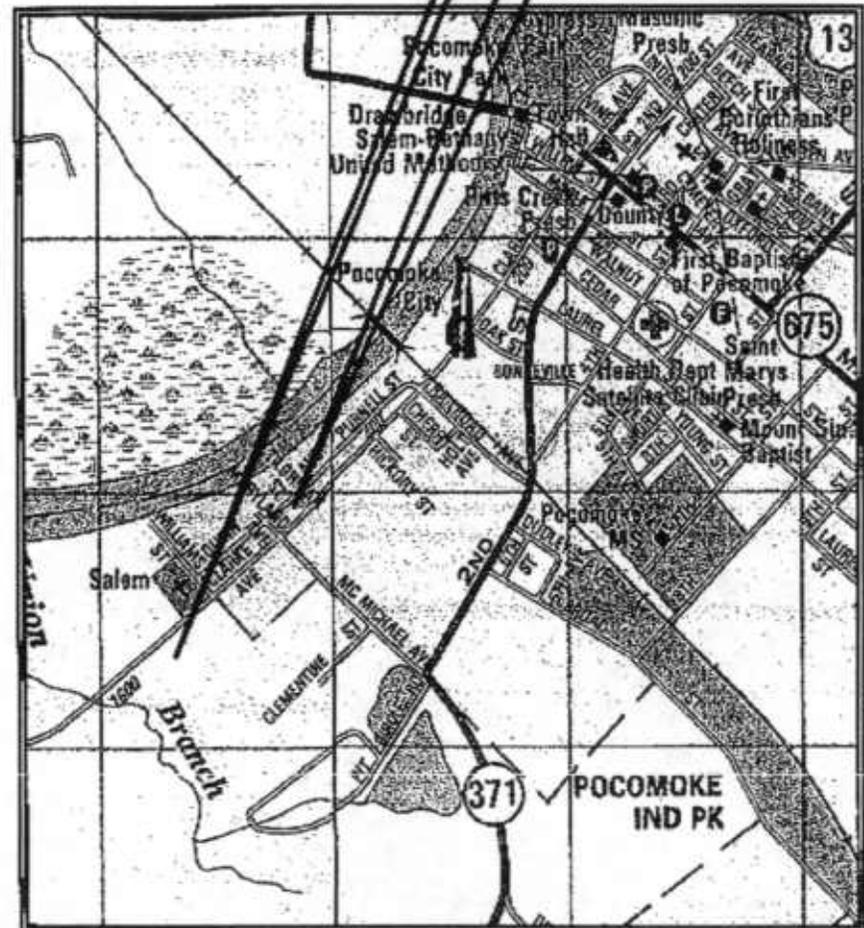
POCOMOKE CITY



VICINITY MAP
NO SCALE

PROPOSED PRODUCTION
WELL LOCATION
TAX MAP 83, GRID 17,
PARCEL 103

EXISTING WATER
TREATMENT PLANT



LOCATION MAP
SCALE 1" = 2000'



ARCHITECTS
ENGINEERS

206 WEST MAIN STREET
SALISBURY, MD 21801
PH: 410.742.3115
PH: 800.789.4462
FAX: 410.548.5790

SALISBURY
BALTIMORE
SEAFORD
LEWES
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NEW CHURCH
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www.gmbnet.com

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JAMES H. WILLEY, JR., PE

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MARTIN D. DUSIBER
CHRIS B. DERBYSHIRE, PE
W. MARK GARDOCKY, PE
DAVID A. VANDERBEEK, PE

JERRY KOTRA
C. RICHARD ROHM

F. W. WHITE, CPA

August 31, 2007

Tawes State Office Building
580 Taylor Avenue
Annapolis, Maryland 21401

Attn: Lori A. Byrne, E-1

Re: Clarke Avenue Extended Production Well
Worcester County, MD
GMB No. 2005094.A

Dear Ms. Byrne:

Per our recent phone conversation, the purpose of this letter is to inquire whether a proposed production well site is within any of the Habitat Protection Areas listed below:

- Colonial Nesting Waterbird Site
- Endangered / Threatened Species
- Waterfowl Staging Area
- Forest Interior Dwelling Bird Habitat

The three (3) acre existing site is undeveloped, unoccupied, and classified as a Critical Bay Area. Within the Critical Bay Area designation, the site is further classified as a Resource Conservation Area (RCA). The well site is located just outside of Pocomoke City limits and is considered to be within Worcester County's jurisdiction (see enclosed Vicinity Map and Location Map for an aerial view of the site). Note that Pocomoke City is planning to purchase the well site but is not the current owner of it. Details of the property information are summarized below:

- Proposed Property Developer/ Owner: Pocomoke City
- Tax Map 83
- Grid 17
- Parcel 103

Proposed site development includes the construction of a 12" dia. production well with necessary appurtenances such as a flowmeter vault, generator, electrical cabinet and grass pavers drive. A perimeter fence will also be installed at the site. The only portion of the parcel that is proposed to be disturbed will be a 110' square section located directly adjacent to parcel #105 and Unionville Road.

Please respond in writing when a determination has been made. Feel free to contact me at (410) 742-3115 with any questions or comments.

Sincerely,

Paul B. Mauser, E.I.

PBM/mam

Enclosures

cc: Pocomoke City
Attn: Russell Blake



ARCHITECTS
ENGINEERS

206 WEST MAIN STREET
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Please respond in writing when a determination has been made. Feel free to contact me at (410) 742-3115 with any questions or comments.

Sincerely,

Paul B. Mauser, E.I.

PBM/mam

Enclosures

cc: Pocomoke City
Attn: Russell Blake

02/22/2008 09:57 4105485790

GMB

PAGE 02/03

**ERI ENVIRONMENTAL
RESOURCES, INC.**ONE PLAZA EAST, SUITE 500
100 EAST MAIN STREET
SALISBURY, MD 21801-4961
PHONE: 410-548-5320
FAX: 410-548-3767

January 9, 2008

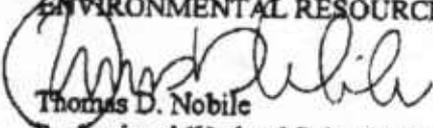
Attn.: Russell Blake
101 Clarke Avenue
Pocomoke City, MD 21851Re: Well Site Wetland Walk Through Findings
Clarke Avenue Extended, Worcester County, Maryland

Dear Mr. Blake:

Although this was not suppose to be a wetland delineation, the site conditions allowed for a reasonable wetland boundary to be flagged (pink ribbons A1 through A7) quickly. Time did not permit completion of data forms, but the conditions are fairly straight forward. From the sketch you can see that the uplands are mostly west of the test well; not where you had anticipated. This area is similar to the better drained soil mapped on the old soil survey.

There are a number of options that I will briefly cover even though this topic is also beyond the work scope. You could renegotiate with the land owner. Or, you could apply for a wetland impact of less than 5000 SF. In association with the application it would depend upon if there was significant plant or wildlife concerns, which there could be in that area. Even without a wetland impact, you could have a wetland buffer impact; the usual nontidal buffer is 25 feet. Inside the Critical Area buffers can be expanded.

This should provide you with information to help make some decisions. Feel free to contact me if ERI can be of further assistance on this or other projects.

Sincerely,
ENVIRONMENTAL RESOURCES, INC.
Thomas D. Nobile

Professional Wetland Scientist: 000389

\\Snap174419\share1\Projects 300 to 399\0354-0020 Pocomoke Well Site\Findings for Pocomoke.wpd

Attach: Sketch of Delineation

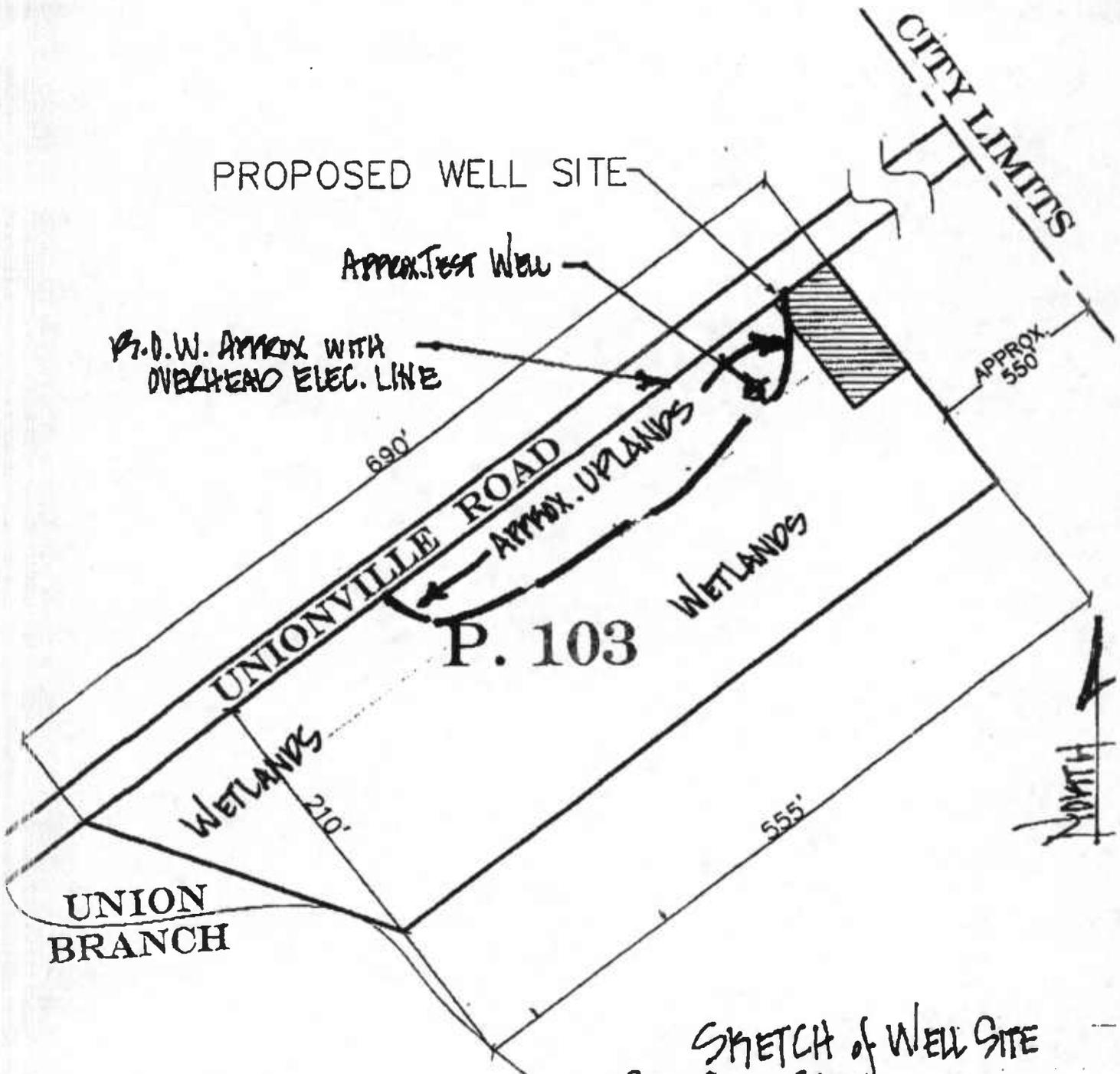
cc: Paul Mauscr, GMB

02/22/2008 09:57

4105485790

GMB

PAGE 03/03



SKETCH of WELL SITE
 BASE FROM GMAPS
 SCALE 1" ~ 100'

RECEIVED
 OCT 29 2007
 Martin O'Malley, Governor
 Anthony G. Brown, Lt. Governor
 John R. Griffin, Secretary
 Eric Schwab, Deputy Secretary
 CRITICAL AREA COMMISSION
 Chesapeake & Atlantic Coastal Bay



RECEIVED
 OCT 24 2007
 GEORGE, MILES & BUHR
 Architects & Engineers

October 18, 2007

Paul B. Mauser
 George, Miles & Buhr, LLC
 206 West Main Street
 Salisbury, Maryland 21801

**RE: Environmental Review for Clarke Avenue Extended Production Well
 Located in Pocomoke City, Worcester County, Maryland
 Tax Map 83, Parcel 103
 GMB No. 2005094.A**

Dear Mr. Mauser:

The Wildlife and Heritage Service has determined that there are no State or Federal records for rare, threatened or endangered species within the boundaries of the project site as delineated. This statement should not be interpreted however as meaning that rare, threatened or endangered species are not in fact present. If appropriate habitat is available, certain species could be present without documentation because adequate surveys have not been conducted.

Our analysis of the information provided also suggests that the forested area on the project site contains Forest Interior Dwelling Bird habitat. Populations of many Forest Interior Dwelling Bird species (FIDS) are declining in Maryland and throughout the eastern United States. The conservation of this habitat is mandated within the Chesapeake Bay Critical Area and must be addressed by the project plan. Specifically, if FIDS habitat is present, the following guidelines should be incorporated into the project plan:

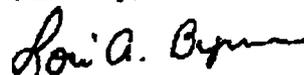
1. Restrict development to nonforested areas.
2. If forest loss or disturbance is unavoidable, concentrate or restrict development to the following areas:
 - a. the perimeter of the forest (i.e., within 300 feet of existing forest edge)
 - b. thin strips of upland forest less than 300 feet wide
 - c. small, isolated forests less than 50 acres in size
 - d. portions of the forest with low quality FIDS habitat, (i.e., areas that are already heavily fragmented, relatively young, exhibit low structural diversity, etc.)
3. Maximize the amount of forest "interior" (forest area >300 feet from the forest edge) within each forest tract (i.e., minimize the forest edge:area ratio). Circular forest tracts are ideal and square tracts are better than rectangular or long, linear forests.
4. Minimize forest isolation. Generally, forests that are adjacent, close to, or connected to other forests provide higher quality FIDS habitat than more isolated forests.

5. Limit forest removal to the "footprint" of houses and to that which is necessary for the placement of roads and driveways.
6. Minimize the number and length of driveways and roads.
7. Roads and driveways should be as narrow and as short as possible; preferably less than 25 and 15 feet, respectively
8. Maintain forest canopy closure over roads and driveways.
9. Maintain forest habitat up to the edges of roads and driveways; do not create or maintain mowed grassy berms.
10. Maintain or create wildlife corridors.
11. Do not remove or disturb forest habitat during April-August, the breeding season for most FIDS. This seasonal restriction may be expanded to February-August if certain early nesting FIDS (e.g., Barred Owl) are present.
12. Landscape homes with native trees, shrubs and other plants and/or encourage homeowners to do so.
13. Encourage homeowners to keep pet cats indoors or, if taken outside, kept on a leash or inside a fenced area.
14. In forested areas reserved from development, promote the development of a diverse forest understory by removing livestock from forested areas and controlling white-tailed deer populations. Do not mow the forest understory or remove woody debris and snags.
15. Afforestation efforts should target a) riparian or streamside areas that lack woody vegetative buffers, b) forested riparian areas less than 300 feet wide, and c) gaps or peninsulas of nonforested habitat within or adjacent to existing FIDS habitat.

The Critical Area Commission's document "A Guide to the Conservation of Forest Interior Dwelling Birds in the Chesapeake Bay Critical Area" provides details on development standards and information about mitigation for projects where impacts to FIDS habitat cannot be totally avoided. Mitigation plantings for impacts to FIDS habitat may be required under the local government's Critical Area Program. The amount of mitigation required is generally based in whether the guidelines listed above are followed.

Thank you for allowing us the opportunity to review this project. If you should have any further questions regarding this information, please contact me at (410) 260-8573.

Sincerely,



Lori A. Byrne,
Environmental Review Coordinator
Wildlife and Heritage Service
MD Dept. of Natural Resources

ER #2007.2132.wo

Cc: L. Hoerger, CAC
S. A. Smith, WHS

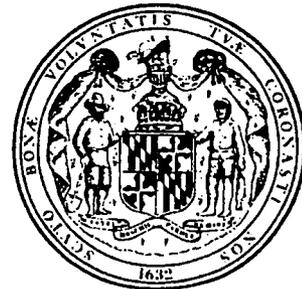
STATE OF MARYLAND
DEPARTMENT OF THE ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION
LETTER OF AUTHORIZATION

AUTHORIZATION NUMBER: 200861877/08-NT-2079

EFFECTIVE DATE: July 7, 2008

EXPIRATION DATE: July 7, 2011

AUTHORIZED PERSON: Pocomoke City
Russell Blake, City Mgr.
P.O. Box 29, 101 Clarke Ave.
Pocomoke City, MD. 21851



IN ACCORDANCE WITH ENVIRONMENT ARTICLE §5-503(a) AND §5-906(b), ANNOTATED CODE OF MARYLAND (2007 REPLACEMENT VOLUME), COMAR 26.17.04 AND 26.23.01, AND 26.08.02 AND THE ATTACHED CONDITIONS OF AUTHORIZATIONS, Pocomoke City ("AUTHORIZED PERSON"), IS HEREBY AUTHORIZED BY THE WATER MANAGEMENT ADMINISTRATION ("ADMINISTRATION") TO CONDUCT A REGULATED ACTIVITY IN A NONTIDAL WETLAND, BUFFER, OR EXPANDED BUFFER, AND/OR TO CHANGE THE COURSE, CURRENT OR CROSS-SECTION OF WATERS OF THE STATE, IN ACCORDANCE WITH THE ATTACHED PLANS APPROVED BY THE ADMINISTRATION ON July 7, 2008 ("APPROVED PLAN") AND PREPARED BY George, Miles & Buhr, LLP AND INCORPORATED HEREIN, AS DESCRIBED BELOW:

To permanently impact 3516 square feet of forested nontidal wetland, temporarily impact 1441 square feet of forested nontidal wetland and temporarily impact 1804 square feet of wetland buffer for the construction of a new production water supply well for the town of Pocomoke City. The site is located on Clarke Avenue extended, Pocomoke City, Worcester County, Maryland.

MD Grid Coordinates: N45080 E524387

for Amanda L. Sigillito
Division Chief

Nontidal Wetlands & Waterways Division

Attachments: Conditions of Authorization

cc: Thomas Nobile - Environmental Resources, Inc.
Dave Pushkar - WMA Compliance Program

200861877LAF

THE FOLLOWING CONDITIONS OF AUTHORIZATION APPLY TO ALL ACTIVITIES AUTHORIZED BY AUTHORIZATION NUMBER 200861877/08-NT-2079

1. **Validity:** Authorization is valid only for use by Authorized Person. Authorization may be transferred only with prior written approval of the Administration. In the event of transfer, transferee agrees to comply with all terms and conditions of Authorization.
2. **Initiation of Work, Modifications and Extension of Term:** Authorized Person shall initiate authorized activities within two (2) years of the Effective Date of this Authorization or the Authorization shall expire. Authorized Person may submit written requests to the Administration for (a) extension of the period for initiation of work, (b) modification of Authorization, including the Approved Plan, or, (c) not later than 45 days prior to Expiration Date, an extension of the term. Requests for modification shall be in accordance with applicable regulations and shall state reasons for changes, and shall indicate the impacts on nontidal wetlands, streams, and the floodplain, as applicable. The Administration may grant a request at its sole discretion.
3. **Responsibility and Compliance:** Authorized Person is fully responsible for all work performed and activities authorized by this Authorization shall be performed in compliance with this Authorization and Approved Plan. Authorized Person agrees that a copy of the Authorization and Approved Plan shall be kept at the construction site and provided to its employees, agents and contractors. A person (including Authorized Person, its employees, agents or contractors) who violates or fails to comply with the terms and conditions of this Authorization, Approved Plan or an administrative order may be subject to penalties in accordance with §5-514 and §5-911, Department of the Environment Article, Annotated Code of Maryland (2007 Replacement Volume).
4. **Failure to Comply:** If Authorized Person, its employees, agents or contractors fail to comply with this Authorization or Approved Plan, the Administration may, in its discretion, issue an administrative order requiring Authorized Person, its employees, agents and contractors to cease and desist any activities which violate this Authorization, or the Administration may take any other enforcement action available to it by law, including filing civil or criminal charges.
5. **Suspension or Revocation:** Authorization may be suspended or revoked by the Administration, after notice of opportunity for a hearing, if Authorized Person: (a) submits false or inaccurate information in Permit application or subsequently required submittals; (b) deviates from the Approved Plan, specifications, terms and conditions; (c) violates, or is about to violate terms and conditions of this Authorization; (d) violates, or is about to violate, any regulation promulgated pursuant to Title 5, Department of the Environment Article, Annotated Code of Maryland as amended; (e) fails to allow authorized representatives of the Administration to enter the site of authorized activities at any reasonable time to conduct inspections and evaluations; (f) fails to comply with the requirements of an administrative action or order issued by the Administration; or (g) does not have vested rights under this Authorization and new information, changes in site conditions, or amended regulatory requirements necessitate revocation or suspension.
6. **Other Approvals:** Authorization does not authorize any injury to private property, any invasion of rights, or any infringement of federal, State or local laws or regulations, nor does it obviate the need to obtain required authorizations or approvals from other State, federal or local agencies as required by law.

7. **Site Access:** Authorized Person shall allow authorized representatives of the Administration access to the site of authorized activities during normal business hours to conduct inspections and evaluations necessary to assure compliance with this Authorization. Authorized Person shall provide necessary assistance to effectively and safely conduct such inspections and evaluations.
8. **Inspection Notification:** Authorized Person shall notify the Administration's Compliance Program at least five (5) days before starting authorized activities and five (5) days after completion. For Frederick, Washington, Allegany and Garrett counties, Authorized Person shall call (301) 689-8494. For all other counties, call the Baltimore office at (410) 537-3510.
9. **Sediment Control:** Authorized Person shall obtain approval from the Worcester County Soil Conservation District for a grading and sediment control plan specifying soil erosion control measures. The approved grading and sediment control plan shall be included in the Approved Plan, and shall be available at the construction site.
10. **Federally Mandated State Authorizations:**
 - X Water Quality Certification:** Water Quality Certification is granted for this project provided that all work is performed in accordance with the authorized project description and associated conditions.
 - X Coastal Zone Consistency:** This Authorization constitutes official notification that authorized activities are consistent with the Maryland Coastal Zone Management Program, as required by Section 307 of the Federal Coastal Zone Management Act of 1972, as amended. Activities within the following counties are not subject to this requirement:
Allegany, Carroll, Frederick, Garrett, Howard, Montgomery, and Washington.
11. **Best Management Practices During Construction:** Authorized Person, its employees, agents and contractors shall conduct authorized activities in a manner consistent with the Best Management Practices specified by the Administration.
12. **Disposal of Excess:** Unless otherwise shown on the Approved Plan, all excess fill, spoil material, debris, and construction material shall be disposed of outside of nontidal wetlands, nontidal wetlands buffers, and the 100-year floodplain, and in a location and manner which does not adversely impact surface or subsurface water flow into or out of nontidal wetlands.
13. **Temporary Staging Areas:** Temporary construction trailers or structures, staging areas and stockpiles shall not be located within nontidal wetlands, nontidal wetlands buffers, or the 100-year floodplain unless specifically included on the Approved Plan.
14. **Temporary Stream Access Crossings:** Temporary stream access crossings shall not be constructed or utilized unless shown on the Approved Plan. If temporary stream access crossings are determined necessary prior to initiation of work or at any time during construction, Authorized Person, its employees, agents or contractors shall submit a written request to the Administration and secure the necessary permits or approvals for such crossings before installation of the crossings. Temporary stream access crossings shall be removed and the disturbance stabilized prior to completion of authorized activity or within one (1) year of installation.

15. **Discharge**: Runoff or accumulated water containing sediment or other suspended materials shall not be discharged into waters of the State unless treated by an approved sediment control device or structure.
16. **Instream Construction Prohibition**: To protect important aquatic species, motor driven construction equipment shall not be allowed within stream channels unless on authorized ford crossings. Activities within stream channels are prohibited as determined by the classification of the stream (COMAR 26.08.02.08): N/A is a Use N/A waterway; in-stream work may not be conducted from inclusive, of any year.
17. **Instream Blasting**: Authorized Person shall obtain prior written approval from the Administration before blasting or using explosives in the stream channel.
18. **Minimum Disturbance**: Any disturbance of stream banks, channel bottom, wetlands, and wetlands buffer authorized by this Authorization or Approved Plan shall be the minimum necessary to conduct permitted activities. All disturbed areas shall be stabilized vegetatively no later than seven (7) days after construction is completed or in accordance with the approved grading or sediment and erosion control plan.
19. **Restoration of Construction Site**: Authorized Person shall restore the construction site upon completion of authorized activities. Undercutting, meandering or degradation of the stream banks or channel bottom, any deposition of sediment or other materials, and any alteration of wetland vegetation, soils, or hydrology, resulting directly or indirectly from construction or authorized activities, shall be corrected by Authorized Person as directed by the Administration.
20. **Drainage**: Permittee shall ensure that existing drainage patterns remain unaltered. Existing flow, into and out of the wetland, shall be retained and no impediment to drainage may be created that would pose a potential flooding hazard.

This Letter of Authorization is granted subject to the following:

SPECIFIC NONTIDAL WETLANDS BEST MANAGEMENT PRACTICES

The following practices are part of the engineering design plans, entitled, **Clarke Avenue Extended Production Well** under the heading of "**Conditions and Best Management Practices**", and must be followed

- a) Strip, stockpile and maintain separately the top 6" of soil material from the wetland, to be replaced as the top layer of any backfilled material;
- b) Place materials in a location and manner which does not adversely impact surface or subsurface water flow into or out of the nontidal wetland, and does not impede the existing drainage pattern or create a flooding hazard for adjacent properties;
- c) Use previously excavated material as backfill, unless it contains waste metal products, unsightly debris, toxic material or any other deleterious substance. Use clean borrow material when excavated material is not suitable for use as backfill;
- d) Place heavy equipment on mats or suitably design the equipment to prevent damage to the nontidal wetlands;
- e) Rectify any nontidal wetlands temporarily impacted by any proposed repair and maintenance activity or installation of the utility line. All temporary fills shall be removed in their entirety on or before the completion of construction, and annual vegetation must be used when any vegetative stabilization is performed. All stabilization in the wetland and buffer shall be of the following recommended species: Annual Ryegrass (*Lolium multiflorum*), Millet (*Setaria italica*), Barley (*Hordeum sp.*), Oats (*Uniola sp.*), and/or Rye (*Secale cereale*). These species will allow for the stabilization of the site while also allowing for the voluntary revegetation of natural wetland species. Other non-persistent vegetation may be acceptable, but must be approved by the Division. Kentucky 31 fescue shall not be utilized in the wetland or buffer areas. The area should be seeded and mulched to reduce erosion after construction activities have been completed;
- f) Repair and maintain any serviceable structure or fill so there is no permanent loss of nontidal wetlands in excess of nontidal wetlands lost under the original structure or fill, and
- g) After installation has been complete, make post construction grades and elevations of nontidal wetlands the same as the original grades and elevations. All backfill must be performed with material excavated from the site with the exception of riprap to be placed for the purposes of sediment and erosion control.

U.S. ARMY CORPS OF ENGINEERS AUTHORIZATION

The U.S. Army Corps of Engineers has reviewed this activity and has granted authorization under the Maryland State Programmatic General Permit (MDSPGP-3), as a Category I(e)(1) activity. The terms and conditions of the MDSPGP-3, as outlined in the enclosed attachment, should be followed when performing the authorized work.



REPLY TO
ATTENTION OF

DEPARTMENT OF THE ARMY
BALTIMORE DISTRICT, U.S. ARMY CORPS OF ENGINEERS
P.O. BOX 1715
BALTIMORE, MD 21203-1715

Corps Permit Tracking No.: 200861877/08-NT-2079

Date: July 7, 2008

Permittee/Project Name: Pocomoke City

MDSPGP-3 Category and Activity No.: I (e)(1)

Dear Applicant:

The U. S. Army Corps of Engineers, Baltimore District, has determined that the proposed work meets the terms and conditions of the Maryland State Programmatic General Permit-3 (MDSPGP-3), provided the work is completed in compliance with the plan(s) (**enclosed**), the standard MDSPGP-3 conditions (**enclosed**), the applicable MDSPGP-3 activity-specific conditions (**enclosed**), and special conditions (**enclosed, if applicable**). This MDSPGP-3 verification is provided pursuant to Section 10 of the Rivers and Harbors Act of 1899 and/or Section 404 of the Clean Water Act. If any of the information contained in your application and/or plans is later found to be in error, the MDSPGP-3 authorization for your project may be modified, suspended, or revoked.

As a condition of the MDSPGP-3 authorization, you, the permittee, are required to complete and sign the enclosed Compliance Self-Certification Form regarding the completed work and any required mitigation, and return to the above address within 60 days following completion of the authorized work and any required mitigation.

In addition, **please note**, if you sell the property associated with this permit, when the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new property owner(s). Although the construction period for work authorized by this MDSPGP-3 is finite, the permit itself, with its limitations, does not expire. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, you must have the transferee (new owner) provide a mailing address and telephone number along with their signature and date in the space provided below, and mail a copy to the above address.

Your MDSPGP-3 authorization is valid until September 30, 2011 unless the MDSPGP-3 is modified, reissued, or revoked. You must remain informed of the changes to the MDSPGP-3. When changes to the MDSPGP-3 occur, a public notice announcing the changes will be issued. If you have commenced construction or are under contract to commence construction of this authorized work prior to the expiration, modification, or revocation date of the MDSPGP-3 itself, you have 12 months from the effective date of the MDSPGP-3's expiration, modification or revocation to complete the work under the present terms and conditions of this MDSPGP-3.

In order for this authorization to be valid, you must obtain all required Federal, State, and local permits.

Signature of the Permitting Authority
Chief, Regulatory Branch

TRANSFEREE SIGNATURE

DATE

AREA CODE / TELEPHONE NO.

PRINTED NAME

ADDRESS



DEPARTMENT OF THE ARMY
BALTIMORE DISTRICT, U.S. ARMY CORPS OF ENGINEERS
P.O. BOX 1715
BALTIMORE, MD 21203-1715

REPLY TO
ATTENTION OF

Effective October 1, 2006

200861877/08-NT-2079
Corps Permit Number

CENAB-OP-R-MDSPGP-3 (MARYLAND STATE PROGRAMMATIC GENERAL PERMIT-3)

TO WHOM IT MAY CONCERN:

Upon the recommendation of the Chief of Engineers, and under the provisions of Section 404 of the Clean Water Act, as amended, and Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. 403), the Secretary of the Army hereby authorizes the discharge of dredged or fill material or the placement of structures into Waters of the United States, including wetlands and navigable waters. These discharges and structures must comply with all the terms and conditions identified in this MDSPGP-3. It has been determined that the project qualifies for the MDSPGP-3. Accordingly, you are authorized to undertake the activity pursuant to:

1. Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. 403); and/or
2. Section 404 of the Clean Water Act (33 U.S.C. 1344).

You are authorized to perform work in accordance with the terms and conditions specified in Section VI of the MDSPGP-3 effective on October 1, 2006.

VI. General Conditions: To qualify for MDSPGP-3 authorization, the prospective permittee must comply with the following general conditions, as appropriate, in addition to any activity-specific conditions in the MDSPGP-3 category list and any case-specific special conditions imposed by the Corps.

A. General Requirements:

1. **Other Permits:** Authorization under the MDSPGP-3 does not obviate the need to obtain other Federal, State, or local authorizations required by law.
2. **Applicability:** Applicability of the MDSPGP-3 shall be reviewed with reference to the Corps definition of waters of the United States, including wetlands, and navigable waters of the United States. Applicants are responsible for delineating boundaries of all waters of the United States, including wetland boundaries. The delineation of wetland boundaries shall be accomplished in accordance with the current Federal manual for identifying jurisdictional wetlands and appropriate guidance issued by the Corps of Engineers.
3. **Minimal Effects:** Projects authorized by the MDSPGP-3 shall have no more than minimal individual and cumulative adverse environmental effects.
4. **Discretionary Authority:** Notwithstanding compliance with the terms and conditions of the MDSPGP-3, the Corps retains discretionary authority to require an alternate Corps permit review for any project under all categories of the MDSPGP-3 based on concerns for the aquatic environment or for any other factor of the public interest. This authority may be invoked on a case-by-case basis during the review process for Category III activities whenever the Corps determines that, based on the concerns stated above, the potential consequences of the proposed project warrant individual review. In some rare instances, the Corps may have concerns for the aquatic environment or for any other public interest factor pertaining to a specific proposed project, which has already received a case-specific verification as a Category I activity. In order to evaluate this project under an alternate Corps permit review, the verification must be suspended in accordance with Section VII.E of the MDSPGP-3.

Whenever the Corps notifies an applicant that an alternate Corps permit may be required, authorization under the MDSPGP-3 is voided. No work may be conducted until the individual Corps permit is obtained, or until the Corps notifies the applicant that further review has demonstrated that the work may proceed under the MDSPGP-3.

5. Single and Complete Projects: The MDSPGP-3 shall not be used for piecemeal work and shall be applied to single and complete projects, including maintenance activities. All components of a project, including all attendant features both temporary and permanent, shall be reviewed together as constituting one single and complete project. All planned phases of multi-phased projects (e.g., subdivisions should include all work such as roads, utilities, and lot development) shall be applied for and reviewed together as constituting one single and complete project. The MDSPGP-3 shall not be used for any activity or portion of a project, e.g., a pier or boat ramp, that is part of, or dependent on, an overall project, e.g., the dredging of a main navigation channel or a spur channel, for which an individual permit or some other alternate Corps permit is required.

6. Use of Multiple MDSPGP-3 Category I Activities: More than one Category I activity may be used to authorize a single and complete project under the MDSPGP-3. However the project must meet the specific requirements of each Category I activity and the total extent of project impacts must not exceed the acreage limit of the Category I activity with the highest specified acreage limit (e.g., if armoring the toe of an existing culvert is constructed under Category I.b(2) with an associated nontidal bank stabilization authorized under Category I.f(1), the maximum total impact limits to waters of the United States for the single and complete project may not exceed 1.0 acre (43,560 square feet).

7. Authorized Activities in Navigable Waters Subject to Section 10 of the Rivers and Harbors Act of 1899:

a. If future operations by the United States require removal, relocation, or other alteration, of the structure or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable water, the permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.

b. The U.S. Code of Federal Regulations, Title 33, Part 64 states that all structures erected in navigable waters in depths in excess of three feet at mean low water (MLW) require obstruction lights unless the applicant is advised to the contrary by the Coast Guard District Commander. If the structures authorized by this permit are to be built in water depths in excess of three feet at MLW, the permittee must contact the Commander (AOWW), Fifth Coast Guard District, Federal Building, 431 Crawford Street, Portsmouth, Virginia, 23704, to ascertain the need for obstruction lights.

B. National Concern:

1. Historic Properties: Any activity authorized by the MDSPGP-3 shall comply with Section 106 of the National Historic Preservation Act. MDE, in cooperation with the Maryland Historic Preservation Office, shall conduct an initial review and notify the Corps if any archaeological or other cultural resources are in the vicinity of the project. The Corps may require applicants to perform a survey of archaeological and historical resources in the project area. The Corps shall determine if consultation under Section 106 with MHT or the Advisory Council on Historic Preservation is required. The applicant must notify the Corps if the activity may affect any historic properties listed or eligible for listing, or that the applicant has reason to believe may be eligible for listing on the National Register of Historic Places. If the permittee, during construction of work authorized herein, encounters a previously unidentified archaeological or other cultural resource within the permit area subject to DA jurisdiction that might be eligible for listing in the National Register of Historic Places, the permittee shall immediately stop work in the permit area and notify the District Engineer. The permittee shall not begin or continue work until notified by the District Engineer that the requirements of the National Historic Preservation Act have been satisfied and that the activity may proceed. Information on the location and existence of historical resources can be obtained from the Maryland Historic Trust, Office of Preservation Services, and the National Register of Historic Places.

2. National Lands: Activities authorized by the MDSPGP-3 shall not impinge upon the value of any Federal land, including but not limited to, National Wildlife Refuges, National Forests, National Marine Sanctuaries or any area administered by the National Park Service (e.g., Assateague Island National Seashore).

3. Endangered Species: The MDSPGP-3 does not authorize any activity that may affect a threatened or endangered species or a species proposed for such designation, as identified under the Federal Endangered Species Act

(ESA); or which may destroy or adversely modify the critical habitat of such species unless and until appropriate coordination with the applicable resource agency(s) is complete and all such issues are resolved in accordance with the applicable regulations and the procedures outlined in the MDSPGP-3 Standard Operating Procedures. MDE, in cooperation with DNR, shall conduct an initial review and notify the Corps and FWS or NMFS if any Federally-listed species or critical habitat is likely to be in the vicinity of the project. The Corps shall determine if consultation with FWS or NMFS is required under Section 7 of the ESA. If consultation is required, the applicant, after notification, shall not begin or continue work until notified by the Corps that the requirements of the ESA have been satisfied and that the activity is eligible for authorization. Information on the location of threatened and endangered species and their critical habitat can be obtained from the FWS and NMFS.

4. Essential Fish Habitat (EFH): Section 305(b)(2) of the Magnuson-Stevens Fishery Conservation and Management Act requires an EFH consultation with the NMFS for any action or proposed action authorized, funded, or undertaken by a Federal agency that may adversely affect EFH. EFH has been defined by Congress as "those waters and substrate necessary to fish for spawning, breeding, feeding or growth to maturity." The designation and conservation of EFH seeks to minimize adverse effects on habitat caused by fishing and non-fishing activities. NMFS has determined that many of the MDSPGP-3 Category I activities are eligible for EFH general or programmatic concurrence and require no further EFH consultation. NMFS, in consultation with the District, has determined that individual EFH consultation is needed for some projects potentially eligible for authorization under Category I (includes those projects requiring EFH screening process under Category II) and all Category III projects of the MDSPGP-3 that may adversely affect EFH. The Corps will coordinate with NMFS as part of the Category II and Category III review procedures. EFH conservation recommendations made by NMFS will normally be included as a permit requirement by the Corps. If the EFH coordination and consultation requirements can not be resolved under the MDSPGP-3 process, an alternate Corps permit review is required for the project.

5. Wild and Scenic Rivers: No activity is authorized under the MDSPGP-3 that occurs in a component of the National Wild and Scenic River System, including rivers officially designated by Congress as study rivers for possible inclusion in the system, while such rivers are in an official study status, unless the appropriate Federal agency, with direct management responsibility for the river, has determined in writing that the proposed activity will not adversely affect any National Wild and Scenic River, including study rivers. Information on Wild and Scenic Rivers may be obtained from the appropriate Federal land management agency in the area (e.g., National Park Service, U. S. Forest Service, Bureau of Land Management, or U. S. Fish and Wildlife Service.)

6. Federally Authorized Civil Works Projects:

a. Federal Navigation Projects: The MDSPGP-3 does not authorize interference with any Federal navigation project. The permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structure or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration. (See VI.A.7.a. above)

b. Other Federally Authorized Civil Work Projects (i.e., flood control, dams, and reservoirs): The MDSPGP-3 does not authorize interference with any proposed or existing Federally-authorized civil works project.

7. Federal Liability: In issuing this permit, the Federal Government does not assume any liability for the following:

a. Damages to the permitted project, or uses thereof, as a result of other permitted or unpermitted activities or from natural causes;

b. Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the United States in the public interest;

- c. Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit;
- d. Design or construction deficiencies associated with the permitted work; and
- e. Damage claims associated with any future modification, suspension or revocation of the MDSPGP-3 or any specific MDSPGP-3 verification.

8. **Navigation:** Projects authorized under the MDSPGP-3 shall not cause interference with navigation, and no attempt shall be made by the permittee to prevent the full and free use by the public of all navigable waters at or adjacent to projects authorized under the MDSPGP-3. Nothing in the MDSPGP-3 shall in any way restrict the District Engineer, U. S. Army Engineer District, Baltimore, from exercising his legal authority to protect the public interest in navigation or from exercising his authority under the Navigation Servitude of the United States. (See VI.A.7.a. above)

C. Minimization of Environmental Impacts:

1. **Minimization:** Discharges of dredged or fill material into waters of the United States and adverse impacts of such discharges on the aquatic ecosystem shall be avoided and minimized to the maximum extent practicable on-site.

2. **Mitigation:**

a. Generally, compensatory mitigation will be required for all permanent tidal or nontidal wetland impacts either through the State's tidal or nontidal wetland compensation fund or by the permittee as required by special condition of the MDSPGP-3 or the State authorization.

b. Generally, compensatory mitigation will be required for all permanent impacts of 200 linear feet or greater to stream channels, rivers, and other open waters as appropriate under Federal guidance and to the extent necessary to ensure that the impacts are minimal. A proposed compensatory mitigation proposal may be submitted with the application to expedite the process. The Corps will determine if the project is eligible for authorization under the MDSPGP-3 subject to the applicant's submittal of a compensatory mitigation proposal for stream impacts. Compensatory mitigation plans for projects in or near streams or other open waters will generally include a requirement for the establishment, maintenance, and legal protection (e.g., conservation easements) of riparian areas next to open waters. Riparian areas should consist of native species. The width of the required riparian area will address documented water quality or aquatic habitat impact concerns.

3. **Work in Wetlands:** Heavy equipment working in wetlands shall be avoided if possible and, if required, soil and vegetation disturbance shall be minimized by using techniques such as timber mats, geotextile fabric, and vehicles with low-pressure tires. Disturbed areas in wetlands shall be restored to preconstruction contours and elevations upon completion of the work.

4. **Temporary Fill and Mats:** Temporary fill and the use of mats are both considered a discharge of fill material and must be included in the quantification of impact area authorized by the MDSPGP-3. Temporary fill (e.g., access roads, cofferdams) in waters and wetlands authorized by the MDSPGP-3 shall be properly stabilized during use to prevent erosion. Temporary fill in wetlands shall be placed on geotextile fabric laid on the existing wetland grade. Upon completion of the work, all temporary fills shall be disposed of at an upland site, suitably contained to prevent erosion and transport to a waterway or wetland. Temporary fill areas shall be restored to their original, pre-construction contours and revegetated with native wetland species.

5. **Erosion and Sediment Control:** Adequate erosion and sediment control measures, practices and devices, such as vegetated filter strips, geotextile silt fences, phased construction, or other devices or methods, shall be used to reduce erosion and retain sediment on-site during and after construction. These devices and methods shall be capable of (a) preventing erosion, (b) collecting sediment and suspended and floating materials, and (c) filtering fine sediment. Erosion and sediment control devices shall be removed when the work is complete and the site has been successfully stabilized. The sediment collected by these devices shall be removed and placed at an upland location, in a manner that will prevent its

later erosion into a waterway or wetland. All exposed soil and other fills shall be permanently stabilized at the earliest practicable date. In-stream work shall be conducted "in the dry" whenever practicable. This should be accomplished using stream diversion devices, other than earthen or stone cofferdams. In addition, work in waters of the United States should be performed during periods of low-flow or no-flow, whenever practicable.

6. Aquatic Life Movements: No activity may substantially disrupt the necessary life-cycle movements of those species of aquatic life indigenous to the waterbody, including those species that normally migrate through the area, unless the activity's primary purpose is to impound water. Culverts placed in streams must be installed to maintain low flow conditions. A low flow channel must be maintained through any discharges placed for armoring across the channel so as to not impede flow in the waterway and/or not to block or impede the movements of anadromous, estuarine and resident fish. **NOTE:** Please refer to Appendix C for an expanded version of General Condition VI.C.6 entitled, "Guidance for Constructing Man-Made Stream Crossings and Scour Protection for Man-Made Stream Crossings to Pass Migratory Fish in The Coastal Plain Region of Maryland, and Lower Piedmont Region of Cecil, Harford, and Baltimore Counties, Maryland". This document includes recommended guidance on fish passage and hydrological parameters to ensure that man-made stream crossings do not adversely affect migratory fish.

7. Water Crossings:

a. All temporary and permanent crossings of waterbodies shall be suitably bridged, culverted or otherwise constructed to withstand and to prevent the restriction of high flows and tidal flows; to maintain existing low flows; and to prevent the obstruction of movement by aquatic life indigenous to the water body, including anadromous, estuarine, and resident fish species.

b. All water crossings (e.g., utility lines and road crossings) must be constructed roughly perpendicular to waters of the United States, including streams and wetlands. Where a utility line or access road is constructed parallel to a stream corridor, an undisturbed buffer shall be maintained between the utility line/access road and the waterway to avoid or minimize potential future impacts to waters of the United States. These potential impacts would include such issues as sewer line leaks or failures, future stream channel meandering, stream bank instability and failure, and right-of-way maintenance.

c. Water crossings must be constructed "in the dry" whenever practicable. This should be accomplished by using stream diversion devices other than earthen or stone cofferdams.

d. Equipment shall cross streams only at suitably constructed permanent or temporary crossings.

e. Temporary structures and fills shall be removed and the area restored to its original contours and elevations, or to the conditions specified in the approved plans. The temporary structures and the areas of fill associated with these structures must be included in the total waterway/ wetlands impacts.

8. Discharge of Pollutants: All activities that are authorized under the MDSPGP-3 and that involve any discharge or relocation of pollutants into waters of the United States shall be consistent with applicable water quality standards, effluent limitations, standards of performance, prohibitions, and pretreatment standards and management practices established pursuant to the CWA (33 U.S.C. 1251 et. Seq.), and applicable State and local laws and regulations.

9. Spawning Areas: Activities, including structures and work in navigable waters of the United States or discharges of dredged or fill materials, in fish and shellfish spawning or nursery areas during spawning seasons shall be avoided. Impacts to these areas shall be avoided or minimized to the maximum extent practicable during all other times of year. Activities that result in the physical destruction (e.g., excavate, fill, or smother downstream by substantial turbidity) of an important spawning area are not authorized.

10. Waterfowl Breeding and Wintering Areas: Discharges into breeding and wintering areas for migratory waterfowl shall be avoided to the maximum extent practicable.

11. Environmental Values: The permittee shall make every reasonable effort to construct or operate the work authorized under the MDSPGP-3 in a manner that maintains as many environmental values as practicable, and that avoids or minimizes any adverse impacts on existing fish, wildlife, and natural environmental values.

D. Procedural Conditions:

1. Inspections: The permittee shall permit the District Engineer or his authorized representative(s) to make periodic inspections at any time deemed necessary to ensure that the work is being performed in accordance with the terms and conditions of the MDSPGP-3. The District Engineer may also require post-construction engineering drawings (as-built plans) for completed work, and post-dredging survey drawings for any dredging work.

2. Compliance Certification: Every permittee who receives a written MDSPGP-3 verification shall submit a signed Compliance Certification Form within 60 days following completion of the authorized work and any required mitigation (but not mitigation monitoring, which requires separate submittals). Failure to submit the Compliance Certification Form by the permittee could result in the Corps taking appropriate non-compliance enforcement action against the permit holder. The blank Compliance Certification Form will be forwarded to the permittee with the MDSPGP-3 verification. The completed form will include the following:

a. A statement that the authorized work either was or was not done in accordance with the MDSPGP-3 verification, including any general and/or specific conditions. If the activity was not done in accordance with the MDSPGP-3 verification, including any general and/or specific conditions, the permittee shall describe the specifics of the deviation from the authorized activity.

b. A statement that any required mitigation was or was not completed in accordance with the permit conditions. If the mitigation was not completed in accordance with the permit conditions, the permittee shall describe the specifics of the deviation from the permit conditions.

c. The signature of the permittee, certifying the completion of the work and compensatory mitigation.

After the project is completed, the certification shall be sent to the Baltimore District at the following address:

**U. S. Army Corps of Engineers
Baltimore District
Attn: CENAB-OP-R
P. O. Box 1715
Baltimore, MD 21203-1715**

3. Transfer of MDSPGP-3 Verifications: If the permittee sells the property associated with a MDSPGP-3 verification, the permittee may transfer the MDSPGP-3 verification to the new owner by submitting a letter to the Baltimore District Corps of Engineers office to validate the transfer. A copy of the MDSPGP-3 verification must be attached to the letter, and the letter must contain the following statement and signature:

“When the structures or work authorized by this MDSPGP-3 are still in existence at the time the property is transferred, the terms and conditions of this MDSPGP-3, including special conditions, will continue to be binding on the new owner(s) of the property. To validate the transfer of this MDSPGP-3 permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date below.”

(Transferee)

(Date)

4. Maintenance: The permittee shall maintain the work or structure authorized by the MDSPGP-3 in good condition and in compliance with the terms and conditions of the MDSPGP-3.

5. Property Rights: The MDSPGP-3 does not convey any property rights, either in real estate or material, or any exclusive privileges, nor does it authorize any injury to property or invasion of rights or any infringement of Federal, State, or local laws or regulations.

6. **Modification, Suspension and Revocation:** The MDSPGP-3, or any verification under it, may be either modified, suspended, or revoked, in whole or in part, pursuant to DA policies and procedures and any such action shall not be the basis for any claim for damages against the United States.

7. **Restoration:** The permittee, upon receipt of a notice of revocation of authorization under the MDSPGP-3, shall restore the wetland or waterway to its former condition, without expense to the United States and as directed by the Secretary of the Army or his authorized representative. If the permittee fails to comply with such a directive, the Secretary or his designee may restore the wetland or waterway to its former condition, by contract or otherwise, and recover the cost from the permittee.

8. **Special Conditions:** The Corps may impose special conditions on any project authorized under the MDSPGP-3, in cases where the Corps determines that special conditions are necessary to avoid or minimize adverse effects on the environment or on any other factor of the public interest. Failure to comply with all conditions of the authorization/verification, including special conditions, will constitute a permit violation/unauthorized work and may subject the permittee to criminal, civil, or administrative penalties, and/or restoration.

9. **False or Incomplete Information:** If the project is verified by the Corps or MDE under the MDSPGP-3 and subsequently discovers that it has relied on false, incomplete, or inaccurate information provided by the permittee, the MDSPGP-3 verification may be revoked and the Government may institute appropriate legal proceedings.

10. **Compliance:** Any activity performed in waters of the United States, including wetlands and navigable waters, that is not in compliance with all the terms and conditions of the MDSPGP-3 that includes the MDSPGP-3 Category List activity-specific conditions, constitutes unauthorized work and is subject to an enforcement action by the Corps or the EPA. Furthermore, the MDSPGP-3 does not delegate any Section 404 enforcement or regulatory authority. When unauthorized work occurs in waters of the United States, including wetlands and navigable waters, it is subject to one or more of the following responses by EPA and/or the Corps:

- a. A Cease and Desist order and/or an administrative compliance order requiring remedial action.
- b. Initiation and assessment of a Class I administrative penalty order pursuant to Section 309(g) of the CWA.
- c. Initiation and assessment of a Class II administrative penalty for continuing violation pursuant to Section 309(g) of the CWA.
- d. Referral of the case to the U. S. Attorney with a recommendation for a civil or criminal action.
- e. If the Corps determines that an after-the-fact application is appropriate, it will be reviewed following the appropriate procedures.
- f. Any other appropriate response.



DEPARTMENT OF THE ARMY
BALTIMORE DISTRICT, U.S. ARMY CORPS OF ENGINEERS
 P.O. BOX 1715
 BALTIMORE, MD 21203-1715

MDSPGP-3 PERMIT COMPLIANCE, SELF-CERTIFICATION FORM (10/1/06)

Corps Permit Tracking No. 200861877/08-NT-2079 Category & Activity Number I (e)(1)

Project Name Pocomoke City Applicant Name Pocomoke City

Waterway N/A County Worcester

Dear Permittee:

In accordance with the compliance certification condition of your MDSPGP-3 authorization, you are required upon completion of all permitted work, or if mitigation/compensation is required, within 60 days following completion of the authorized work and any required mitigation (but not the mitigation monitoring, which requires separate submittals), to complete and sign this certification form and return it to the Corps of Engineers, Baltimore District to the address shown above and include ATTN: CENAB-OP-R.

Please note that the permitted activity is subject to compliance inspections by U.S. Army Corps of Engineers representatives. As a condition of this permit, failure to return this notification form, provide the required information below, or to perform the authorized work in compliance with the permit, can result in suspension, modification or revocation of your authorization in accordance with 33 CFR Part 325.7 and/or administrative, civil, and/or criminal penalties, in accordance with 33 CFR part 326.

Please provide the following information:

1. Date authorized work commenced: _____ 2. Date authorized work completed: _____

3. Was all work and any required mitigation, completed in accordance with your MDSPGP-3 authorization, including all general and/or specific conditions? YES ___ NO ___

4. Explain in detail any deviations to the authorized work and/or mitigation (use additional sheets if necessary)

5. Was mitigation accomplished through a contribution to the Maryland Nontidal Wetlands Compensation Fund?
 YES ___ NO ___ (if NO complete Nos. 6 and 7 below).

6. Wetland Mitigation: Required? YES ___ NO ___ Required Completion Date _____
 Completed? YES ___ NO ___ Mitigation Monitoring Reports Required? YES ___ NO ___

7. Attach labeled photographs showing completed work including mitigation area(s).

I hereby certify that, except as noted above, that all work, including mitigation, has been completed in accordance with the terms and conditions, including special conditions of the above referenced permit.

Signature of Permittee _____ Date _____

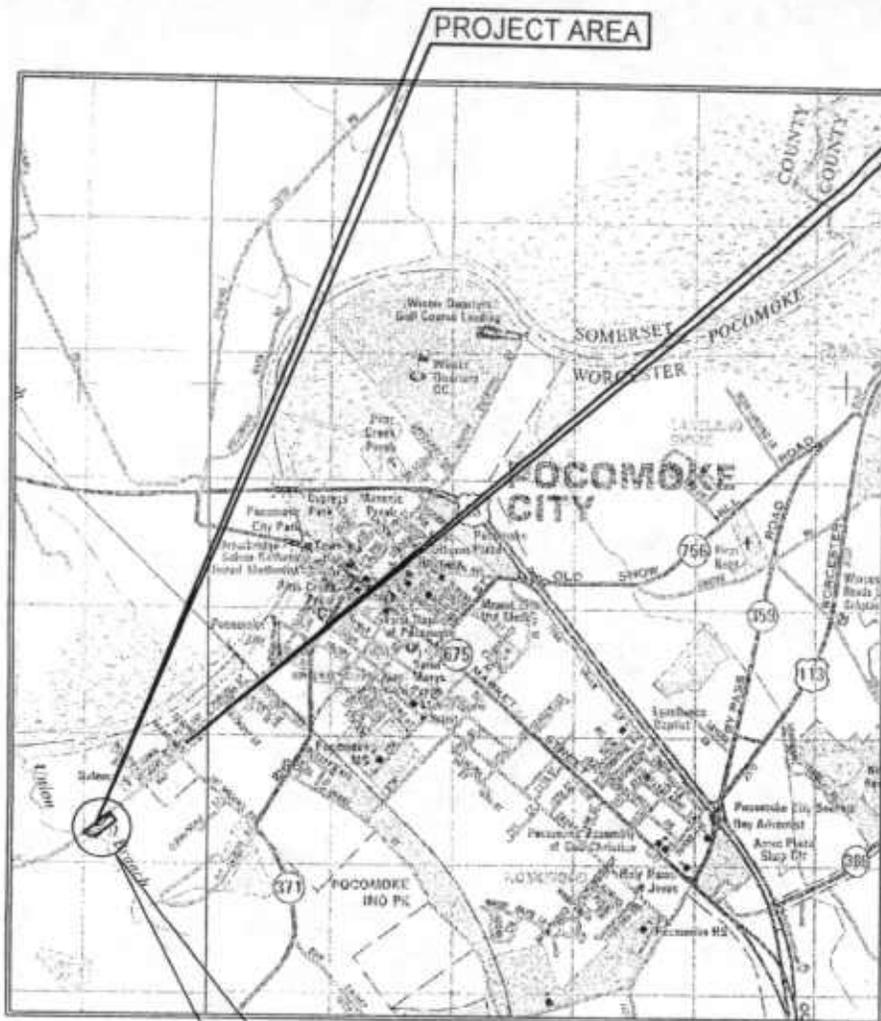
Signature of Contractor/Agent _____ Date _____

Address: _____

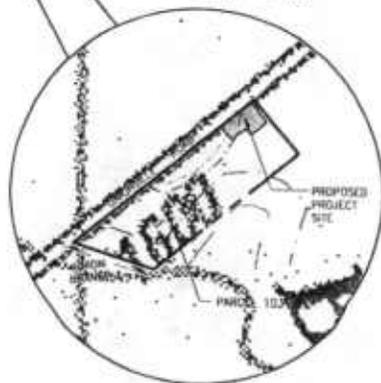
Address: _____

Telephone: _____

Telephone: _____



LOCATION MAP
SCALE: 1" = 4000'



ENLARGED VIEW
NO SCALE

EXISTING WATER
TREATMENT FACILITY

LIST OF DRAWINGS

GENERAL

G-1 COVER SHEET

CML

C-1 SITE/PIPING PLAN

C-2 NOTES AND DETAILS

C-3 SEDIMENT AND CONTROL NOTES

C-4 SECTIONS AND DETAILS

ELECTRICAL

E-1 SITE PLAN AND DETAILS

E-2 ONE LINE DIAGRAM AND SCHEDULES

E-3 ELECTRICAL SCHEMATIC

E-4 SCADA SCHEMATIC AND DETAILS

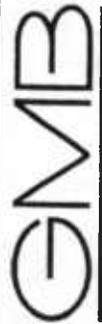
WETLANDS LEGEND

- 25' NDN-TIDAL WETLAND BUFFER
- - - NDN-TIDAL WETLANDS
- 100' TIDAL WETLAND BUFFER
- TIDAL WETLAND

Approved By: *Allen Brown*
7/7/08

CLARKE AVENUE EXTENDED
PRODUCTION WELL

POCOMOKE CITY, MARYLAND



GEORGE, MILES & BUHR, LLP
ARCHITECTS & ENGINEERS
SALISBURY BALTIMORE LEWES SEACROFT YORK
www.gmbnet.com

DRAWN BY: RLC

CK BY: PBM

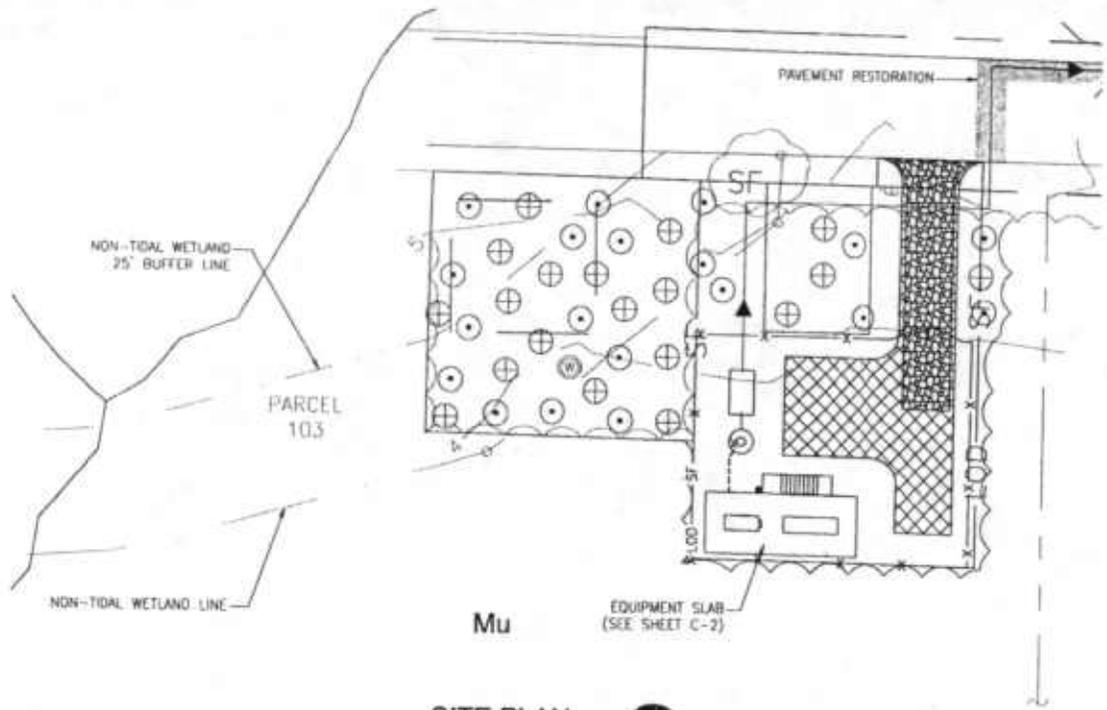
JOB NO.: 2005094.A

SCALE: AS NOTED

DATE: MAY 2008

SK-1

DRAWING NO.



SITE PLAN
SCALE: 1" = 40'

PLANTING GENERAL NOTES:

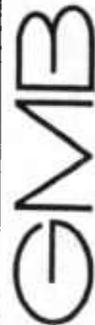
1. PLANTS SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY AMERICAN ASSOCIATION OF NURSERYMEN (AAN). PARTICULARLY WITH REGARDS TO SITE, GROWTH AND SIZE OF BALL AND DENSITY OF BRANCH STRUCTURE.
2. PLANT TREES IN RANDOM PATTERN TO AVOID GRID LIKE APPEARANCE.
3. CONTRACTOR TO ENSURE A ONE YEAR GUARANTEE ON ALL PLANTS.
4. 1:1 MITIGATION RATIO.

PLANT SCHEDULE:

SYM.	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	CREDITS	TOTAL CREDITS
⊙	19	RED MAPLE	ACER RUBRUM	1.5" CAL.	200	3,800
⊕	19	LOBLOLLY PINE	PINUS TAEDA	1.5" CAL.	200	3,800
					TOTAL MITIGATION CREDITS	7,600
					• PROPOSED CLEARING (INCLUDING AREA PREVIOUSLY CLEARED FOR TEST WELL)	7,500
					• BALANCE TO BE PAID VIA FEE IN LIEU	0

CLARKE AVENUE EXTENDED
REDUCTION WELL

POCOMOKE CITY, MARYLAND



GEORGE, MILES & BUHR, LLP
ARCHITECTS & ENGINEERS
SALISBURY BALTIMORE LEWES SCAFFORD YORK
www.gmbnet.com

DRAWN BY: RLC

CK. BY: PBM

JOB NO.: 2005094.A

SCALE: AS NOTED

DATE: MAY 2008

SK-3

DRAWING NO.

GENERAL NOTES

1. PRODUCTION WELL TO BE INSTALLED A MAXIMUM OF 50' FROM EXISTING TEST WELL. PER MDE PROVISIONS SPECIFIC TO THIS PROJECT, CERTAIN WATER QUALITY TESTS RECENTLY PERFORMED ON THE TEST WELL WILL NOT BE REQUIRED TO BE REPEATED PROVIDED THAT THE DISTANCE REQUIREMENT IS MET.
2. TIDAL WETLAND BOUNDARY LINE SOURCED FROM CHESAPEAKE BAY CRITICAL AREA COMMISSION; TAX MAPS, MARYLAND DEPARTMENT OF PLANNING, 2006.
3. CONTRACTOR SHALL ADJUST TO FINISH GRADE, AS REQUIRED, VALVE BOXES, ETC. BEFORE RESTORATION.
4. PROJECT SITE IS DESIGNATED AS A "ZONE A" FLOOD ZONE AS DELINEATED BY FIRM MAP OF WORCESTER COUNTY, MARYLAND, PANEL 225 OF 250, COMMUNITY PANEL NUMBER 240083 0225 A.
5. PROJECT SITE HAS AN UNDETERMINED BASE FLOOD ELEVATION. BASE FLOOD ELEVATION LINE SHOWN EAST OF WILLIAMS STREET DOES NOT PERTAIN TO PROJECT SITE. PER WORCESTER COUNTY CODE BR 2-304 (C) (2), THE SAME ELEVATION WILL BE USED TO DETERMINE THE BASE FLOOD ELEVATION FOR THE PROJECT SITE.
6. SITE DISTURBANCE NOT TO EXCEED 5,000 FT² WITHIN NON-TIDAL WETLAND BOUNDARY.

SITE DATA

FLOOD ZONE: A

NOTE: AREAS OF 100-YEAR; BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS NOT DETERMINED.

AS DEFINED BY FEMA FIRM:
PANEL #: 240083 0225 A DATED: FEBRUARY 15, 1979

TAX MAP: B3
PARCEL: 103
GRID: 17

TOTAL AREA OF SITE (PARCEL 103): 3.0 ACRES
TOTAL AREA OF PARCEL 103 = 3.0 ACRES
(LESS TIDAL WETLANDS)

AREA TO BE DISTURBED (PARCEL 103): 0.17 ACRES (7,500 FT²)
(INCLUDING AREA PREVIOUSLY CLEARED FOR TEST WELL)
PROPOSED IMPERVIOUS SURFACE: 0.028 ACRES (1,200 FT²)
(GRASS PAVERS ASSUMED TO BE 50% IMPERVIOUS)

NON-TIDAL WETLAND AREA TO BE DISTURBED: 0.114 ACRES (4,957 FT²)
PERMANENT DISTURBANCE: (3,516 FT² OR 71%)
TEMPORARY DISTURBANCE: (1,441 FT² OR 29%)

NON-TIDAL WETLAND BUFFER IMPACT: 0.041 ACRES (1,804 FT²)
(TEMPORARY)

EpB Evesboro loamy sand, clayey substratum, 0 to 5 percent slopes
NoA Norfolk loamy sand, 0 to 2 percent slopes

NOTE: VOLUMES PROVIDED ARE FOR SOIL CONSERVATION PURPOSES ONLY AND NOT TO BE USED BY THE CONTRACTOR FOR ESTIMATING.

OWNER / DEVELOPER / APPLICANT:
POCOMOKE CITY

POCOMOKE CITY
CITY HALL
101 CLARKE AVENUE
POCOMOKE CITY, MARYLAND 21851
CONTACT: RUSSELL BLAKE
PHONE: (410) 957-1333

WATER QUALITY VOLUME

STORMWATER QUALITY WILL BE ACHIEVED THROUGH THE USE OF THE SHEET FLOW TO BUFFER CREDIT AS DESCRIBED IN THE 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME 1, CHAPTER 5. THE SITE EXCEEDS THE REQUIREMENTS OF THE SHEET FLOW TO BUFFER CREDIT BY HAVING A MAXIMUM CONTRIBUTING IMPERVIOUS LENGTH LESS THAN 75' AND A BUFFER WIDTH GREATER THAN 50'.

STORMWATER MANAGEMENT

ALL PHASES OF STORMWATER MANAGEMENT CALCULATIONS, STRUCTURE DESIGN AND CONSTRUCTION WILL ADHERE TO CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR STORMWATER MANAGEMENT AND THE STORMWATER MANAGEMENT PLAN FOR THIS SITE.

ALL INFORMATION SET FORTH IN THIS PLAN ACCURATELY CONVEYS THIS SITE'S CONDITIONS TO THE BEST OF MY KNOWLEDGE.

ALL STRUCTURAL DEVICES FOR STORMWATER MANAGEMENT WILL BE PROTECTED BY PROPER SOIL EROSION AND SEDIMENT CONTROL DEVICES UNTIL ALL CONTRIBUTING AREAS HAVE PASSED FINAL STABILIZATION INSPECTION.

ON ALL SITES (EXCEPT INDIVIDUAL SINGLE FAMILY DWELLINGS):

*UPON COMPLETION OF THE PROJECT, AN AS-CONSTRUCTED SURVEY, NOTICE OF CONSTRUCTION COMPLETION (NOCC), AND LETTER OF CERTIFICATION MUST BE SUBMITTED TO THE DEPARTMENT, ONCE REVIEW IS COMPLETE AND APPROVED, A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

DATE:

10/9/07

APPLICANT SIGNATURE:

Russell W. Blake

CLARKE AVENUE EXTENDED
REDUCTION WELL

POCOMOKE CITY, MARYLAND

GMB

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DRAWN BY: RLC

CK. BY: PBM

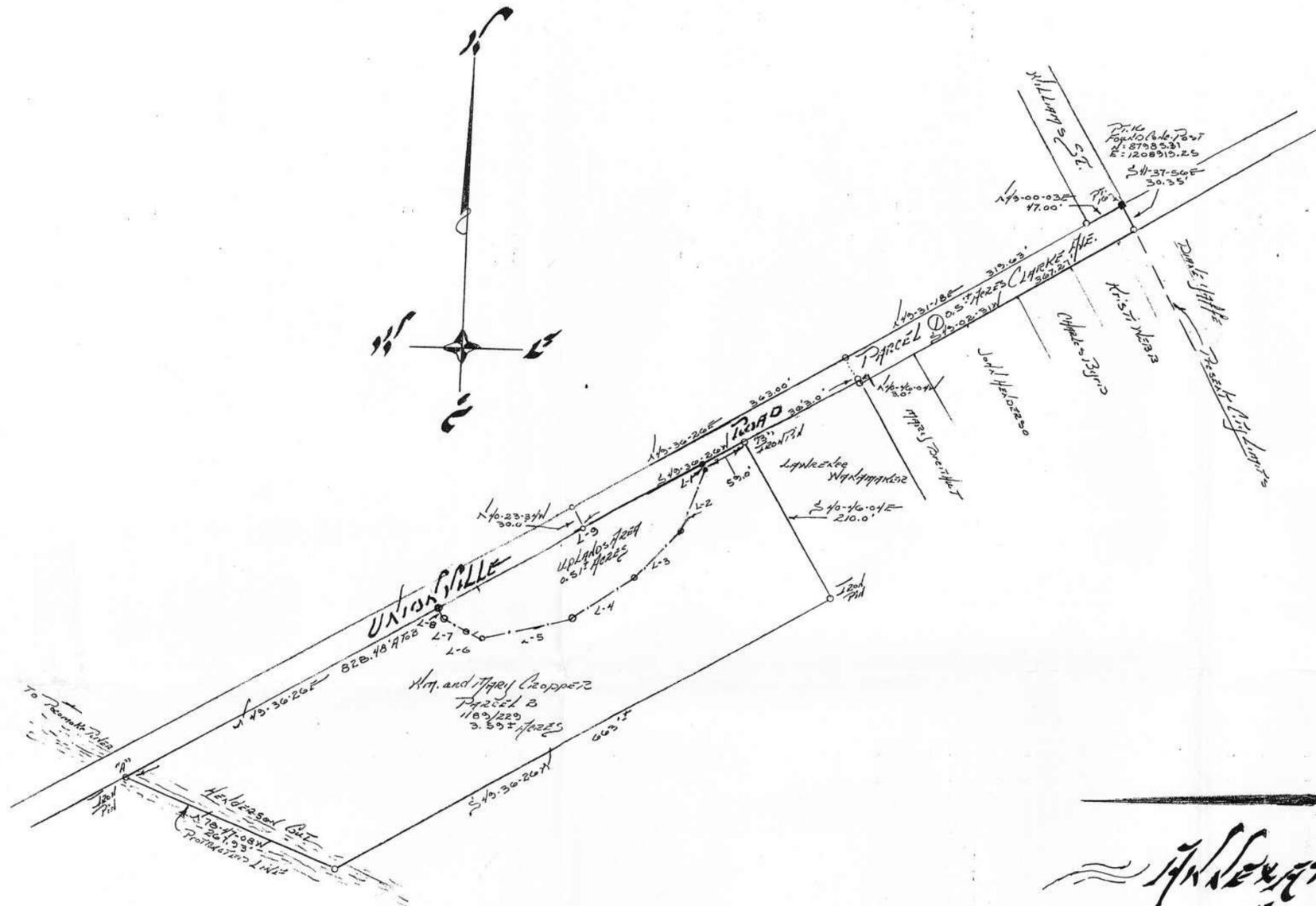
JOB NO.: 2005094.A

SCALE: AS NOTED

DATE: MAY 2008

SK-4

DRAWING NO.



Non-Tidal Wetlands Line

Regulation of points 540-36-26W 50.0' from 75' to 60' with following bearings.

L-1	S 30-23-46E	4.10'
L-2	S 6-04-51W	77.42'
L-3	S 33-57-56W	80.93'
L-4	S 74-24-48W	83.05'
L-5	S 65-17-12W	109.20'
L-6	N 71-11-03W	20.84'
L-7	N 72-23-48W	31.08'
L-8	N 40-23-40W	12.99' to Unionville Rd.
L-9	N 40-36-33E	379.07' with said Rd. to Beginning

~ Alexander Tract ~
 Partition in Pacomake City
 Worcester County Maryland

Scale 1"=100'
 Decd Ref. 1189/229
 Date 11/5/08 Relatd 2/9/08

Harvey Wm. Pesterly
 4012 Fleming Mill Rd
 Pacomake MD. 21851
 Phone 410-957-0110



Worcester County



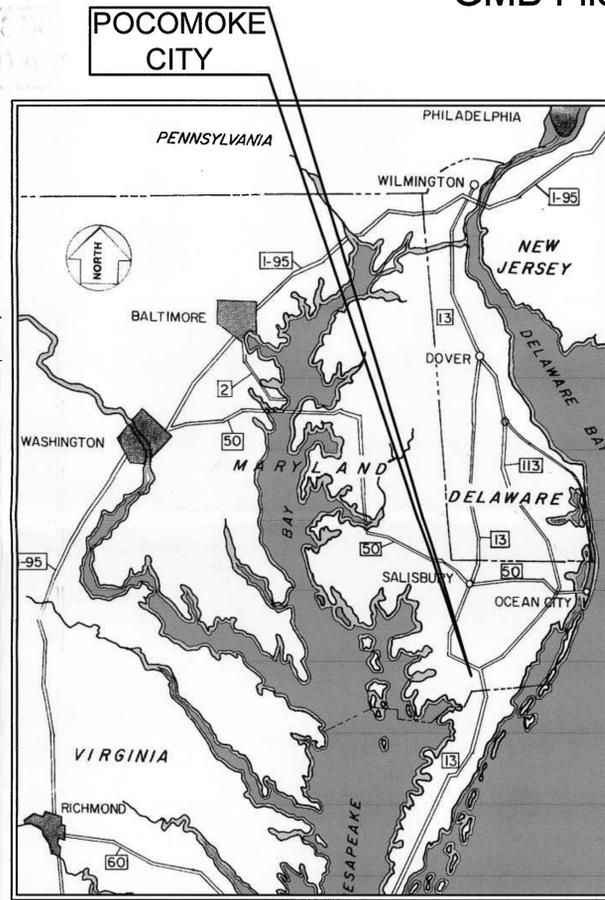
1 inch equals 500 feet

GENERAL NOTES

- BENCHMARK ELEVATION 6.34 IS LOCATED ON FLNG. NUT ABOVE STEAMER VALVE BASED ON NGVD 27 DATUM SURVEY COMPLETED BY GMB, APRIL 2007 (SEE SHEET C-4 FOR BENCHMARK CLARIFICATION.)
- EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE BASED ON THE BEST AVAILABLE RECORDS AND ARE FOR THE CONTRACTOR'S CONVENIENCE. THERE IS NO GUARANTEE AS TO THEIR ACCURACY IN PLAN AND PROFILE. THE CONTRACTOR SHALL MAKE HIS OWN INVESTIGATION AND TEST-PIT EXISTING UTILITIES AS REQUIRED. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY TO HIS OWN SATISFACTION, THE DEPTH AND LOCATION OF UNDERGROUND UTILITIES BEFORE CONSTRUCTION BEGINS AND PROVIDE TIMELY ADVANCE NOTICE TO OWNER OF ANY CONFLICT. ALL DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL NOTIFY MISS UTILITY 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO EXCAVATION TO HAVE UNDERGROUND UTILITIES LOCATED AND MARKED. THE CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS PRIOR TO ANY EXCAVATION.
- ALL MATERIALS AND PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION AND APPROVED STANDARDS.
- PROVIDE A MINIMUM SEPARATION BETWEEN WATER AND SANITARY SEWER LINES OF 10'-0". PROVIDE A MINIMUM OF 12" VERTICAL CLEARANCE FOR PERPENDICULAR CROSSINGS. IF MINIMUM CLEARANCE CANNOT BE OBTAINED, A CONCRETE ENCASUREMENT SHALL BE INSTALLED ON THE LOWER UTILITY A MINIMUM OF 10 FT. ON EITHER SIDE.
- CONTRACTOR IS RESPONSIBLE FOR SECURING AND PROTECTING UTILITY POLES BEFORE AND DURING CONSTRUCTION ACTIVITIES. COORDINATE WITH APPROPRIATE UTILITY BEFORE WORKING NEAR POLES. COST SHALL BE INCIDENTAL TO OTHER BID ITEMS. CONTRACTOR SHALL HAVE NO CLAIM FOR ADDITIONAL WORK ASSOCIATED WITH SECURING UTILITY POLES.
- CONTRACTOR SHALL DETERMINE ALL RIGHT-OF-WAY AND PROPERTY LINES TO HIS OWN SATISFACTION. ALL CONSTRUCTION ACTIVITIES ARE TO TAKE PLACE WITHIN THE RIGHT-OF-WAY.
- ANY DISTURBED AREAS OUTSIDE THE RIGHT-OF-WAY SHALL BE RESTORED TO THEIR ORIGINAL CONDITION IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL REMOVE AND IMMEDIATELY RELOCATE/ RESET/RECONSTRUCT IN KIND ALL MAIL BOXES, SIGNS, PLANTERS, HOUSE LAMPS, STREET SIGNS, CULVERTS, DRIVEWAYS, PARKING LOTS, CURBS, GUTTERS AND ANY OTHER TYPES OF OBSTRUCTIONS, WHETHER NATURAL OR MAN MADE, ETC., WHENEVER REQUIRED AS DIRECTED BY THE OWNER. THE COST SHALL BE INCIDENTAL TO OTHER BID ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF TRAFFIC AND TRAFFIC CONTROL IN ALL WORK AREAS IN ACCORDANCE WITH THE MARYLAND DEPARTMENT OF TRANSPORTATION REQUIREMENTS. ANY PAVEMENT MARKINGS OR PAINTED LINES DISTURBED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED IN KIND AFTER COMPLETION OF PAVEMENT RESTORATION. CONTRACTOR SHALL SUBMIT TRAFFIC CONTROL PLAN TO ENGINEER FOR REVIEW PRIOR TO START OF CONSTRUCTION. TRAFFIC CONTROL SIGNS SHALL REMAIN FUNCTIONAL AND VISIBLE TO THE APPROPRIATE LANES OF TRAFFIC AT ALL TIMES. THE COST OF TRAFFIC CONTROL AND MAINTENANCE SHALL BE INCLUDED IN THE PRICES BID. THE CONTRACTOR SHALL KEEP ONE LANE OF TRAFFIC OPEN AT ALL TIMES. NOTIFY POCOMOKE CITY POLICE AND ALL OTHER APPLICABLE AGENCIES OF ANY TRAFFIC FLOW CHANGES. COORDINATE TRAFFIC CONTROL WITH APPLICABLE STATE, COUNTY, OR CITY STANDARDS.
- CONTRACTOR SHALL ADJUST TO FINISH GRADE, AS REQUIRED, VALVE BOXES, ETC. BEFORE RESTORATION.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THESE PLANS, NOTES AND SPECIFICATIONS, THE REQUIREMENTS OF THE SOIL CONSERVATION DISTRICT, MARYLAND HIGHWAY ADMINISTRATION, AND THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
- THE CONTRACTOR SHALL REPAIR OR REPLACE IN KIND ANY EXISTING FEATURES DAMAGED OR DESTROYED DURING CONSTRUCTION UNLESS OTHERWISE NOTED FOR REMOVAL. SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER BID ITEMS. ALL EXISTING CURB AND SIDEWALK SHALL BE PRESERVED WITHOUT DAMAGE OR REPLACED AT THE CONTRACTOR'S COSTS, UNLESS OTHERWISE NOTED FOR REMOVAL.
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS TO ALL PERMITS SECURED, WHICH TAKE PRECEDENCE OVER SPECIFICATIONS.
- THIS SITE IS LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA AND IS SUBJECT TO APPROVAL BY THE APPROPRIATE REGULATORY AGENCY. SITE IS DESIGNATED AS RESOURCE CONSERVATION AREA (RCA) BY THE CRITICAL AREA COMMISSION.
- IN ACCORDANCE WITH SUBTITLE IV, SECTION 1-403(b)(8) OF THE NATURAL RESOURCES ARTICLE OF THE WORCESTER COUNTY CODE OF PUBLIC LOCAL LAWS, THIS SITE PLAN IS EXEMPT FROM THE COUNTY'S FOREST CONSERVATION LAW SINCE THE ACTIVITY DOES NOT RESULT IN THE CUTTING, CLEARING, OR GRADING OF MORE THAN 40,000 SQUARE FEET OF FOREST AND IS THE SUBJECT OF A DECLARATION OF INTENT FILED WITH THE COUNTY. THE DECLARATION OF INTENT - SINGLE LOT SHALL REMAIN VALID FOR A PERIOD OF FIVE YEARS FROM THE DATE OF LOCAL AUTHORIZATION. FURTHERMORE, ANY FUTURE APPROVAL OF THIS LAND FOR A REGULATED ACTIVITY SHALL BE SUBJECT TO THE COUNTY'S FOREST CONSERVATION LAW.

CLARKE AVENUE EXTENDED PRODUCTION WELL POCOMOKE CITY, MARYLAND

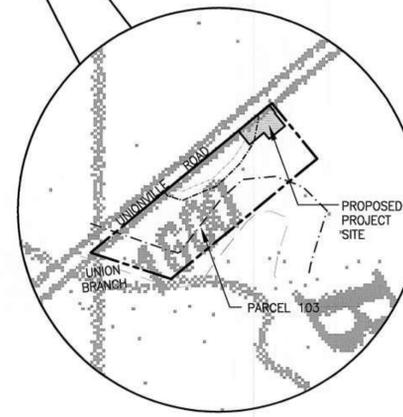
GMB File No. 2005094.A



VICINITY MAP
SCALE: 1" = 20 MILES



LOCATION MAP
SCALE: 1" = 2000'



ENLARGED VIEW
SCALE: 1" = 250'

EXISTING WATER TREATMENT FACILITY

LIST OF DRAWINGS

- GENERAL**
- G-1 COVER SHEET
- CIVIL**
- C-1 SITE/PIPING PLAN
 - C-2 NOTES AND DETAILS
 - C-3 SEDIMENT AND CONTROL NOTES
 - C-4 SECTIONS AND DETAILS
- ELECTRICAL**
- E-1 SITE PLAN AND DETAILS
 - E-2 ONE LINE DIAGRAM AND SCHEDULES
 - E-3 ELECTRICAL SCHEMATIC
 - E-4 SCADA SCHEMATIC AND DETAILS

WETLANDS LEGEND

- 25' NON-TIDAL WETLAND BUFFER/ TIDAL WETLAND EXPANDED BUFFER
- NON-TIDAL WETLANDS
- 100' TIDAL WETLAND BUFFER
- TIDAL WETLAND

PRINTS ISSUED FOR: • WORCESTER COUNTY VARIANCE	
DATE	
REVISIONS	
NO.	

RECEIVED
AUG - 7 2008
CRITICAL AREA COMMISSION
Chesapeake & Atlantic Coastal Bays

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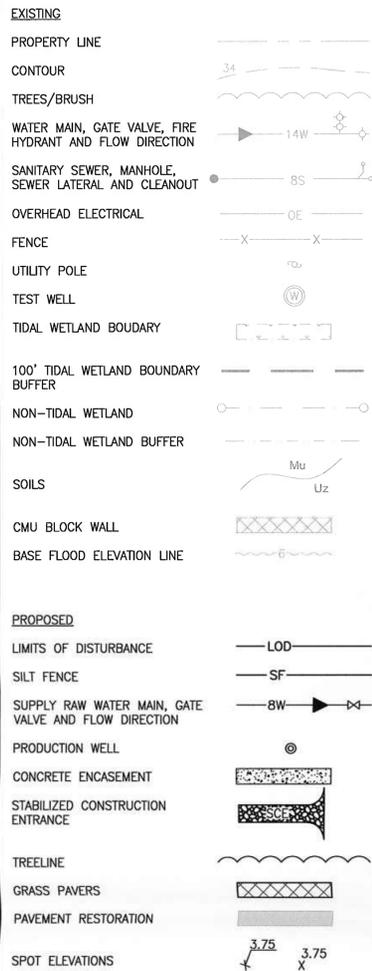
CLARKE AVENUE EXTENDED
PRODUCTION WELL
POCOMOKE CITY, MARYLAND

COVER SHEET

SCALE : AS NOTED	SHEET NO.
DESIGN BY : PBM	G-1
DRAWN BY : RLC	
CHECKED BY :	
GMB FILE : 2005094.A	
DATE : JULY 2008	

PINK-WHITE 30X INCHES (1:5000)
 PINK-MAGENTA 30X INCHES (1:5000)
 PINK-BLUE 30X INCHES (1:5000)
 PINK-CYAN 30X INCHES (1:5000)
 PINK-GREEN 30X INCHES (1:5000)
 PINK-YELLOW 30X INCHES (1:5000)
 PINK-RED 30X INCHES (1:5000)

LEGEND



SITE DATA

FLOOD ZONE: A
 NOTE: AREAS OF 100-YEAR; BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS NOT DETERMINED.
 AS DEFINED BY FEMA FIRM: PANEL #: 240083 0225 A DATED: FEBRUARY 15, 1979
 TAX MAP: 83
 PARCEL: 103
 GRID: 17
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 TOTAL AREA OF PARCEL 103 = 3.0 ACRES (LESS TIDAL WETLANDS)
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 NOTE: VOLUMES PROVIDED ARE FOR SOIL CONSERVATION PURPOSES ONLY AND NOT TO BE USED BY THE CONTRACTOR FOR ESTIMATING.
 OWNER / DEVELOPER / APPLICANT: POCOMOKE CITY
 POCOMOKE CITY CITY HALL
 101 CLARKE AVENUE
 POCOMOKE CITY, MARYLAND 21851
 CONTACT: RUSSELL BLAKE
 PHONE: (410) 957-1333

SEQUENCE OF CONSTRUCTION

- CONTACT WORCESTER COUNTY DEPARTMENT OF DEVELOPMENT REVIEW AND PERMITTING @ (410) 632-1200, MDE AT (410) 901-4020 AND (410) 537-3510 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO SCHEDULE A PRECONSTRUCTION MEETING OR COMMENCING AND SITE WORK, FAILURE TO DO SO WILL RESULT IN AN IMMEDIATE STOP-WORK ORDER.
 - CONTACT "MISS UTILITY" AND POCOMOKE CITY 48 HOURS PRIOR TO CONSTRUCTION. 2 DAYS
 - CLEAR, GRUB AND INSTALL SILT FENCE. 1 WEEK
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE. 2 DAYS
 - DE-FOREST, CLEAR SITE, STRIP TOPSOIL AND STOCKPILE 2 WEEKS
 - PERFORM ROUGH GRADING. 2 DAYS
 - CONSTRUCT PRODUCTION WELL, SITE PIPING AND APPURTENANCES. 4 WEEKS
 - CONSTRUCT RAW WATER MAIN FROM PROPOSED WELL TO EXISTING WATER MAIN. COMPLETE CONNECTION TO EXISTING SUPPLY MAIN AND MAKE ROAD REPAIRS AS NECESSARY. 2 WEEKS
- SEDIMENT CONTROL FOR UTILITY CONSTRUCTION FOR AREAS OUTSIDE OF DESIGNED CONTROLS OR AS DIRECTED BY ENGINEER OR THE INSPECTOR.
- CALL "MISS UTILITY" AT 1-800-257-7777, FORTY-EIGHT (48) HOURS PRIOR TO THE START OF THE WORK.
 - EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH.
 - TRENCHES FOR UTILITY INSTALLATION SHALL BE BACKFILLED, COMPACTED AND STABILIZED AT THE END OF EACH WORKING DAY. NO MORE TRENCH SHALL BE OPENED THAN CAN BE COMPLETED THAT DAY.
 - TEMPORARY SILT FENCE SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO REMAIN DISTURBED FOR MORE THAN ONE DAY.
- COMPLETE SITE IMPROVEMENTS 1 WEEK
 - SPREAD SALVAGED TOPSOIL OVER ALL DISTURBED AREAS AND STABILIZE ALL SUCH AREAS IN ACCORDANCE WITH THOSE PROCEDURES AS LISTED IN SEDIMENT CONTROL NOTES. 2 DAYS
 - PERFORM FINAL GRADING TOPSOIL AND SEED ALL DISTURBED AREAS. 1 DAY
 - INSTALL PERIMETER FENCE. 3 DAYS
 - REMOVE SEDIMENT CONTROL DEVICES UPON OBTAINING APPROVAL OF MDE INSPECTOR. 2 DAYS
- START CONSTRUCTION: JULY 2008
 FINISH CONSTRUCTION: JANUARY 2009

DESCRIPTION OF PROPERTY LINES (METES AND BOUNDS)

SOURCE: WORCESTER COUNTY CIRCUIT COURT (LAND RECORDS) [MSA CE 31-1336] WCL 1189, P. 0229
 METES AND BOUNDS TEXT DESCRIPTION: BEGINNING FOR THE SAME ON THE SOUTHEAST SIDE OF CLARKE AVENUE, ON THE SOUTHWEST LINE OF A CERTAIN DONOWAY, AND RUNNING THENCE IN A SOUTHEASTERLY DIRECTION BY AND WITH SAID DONOWAY LINE SEVENTY YARDS; THENCE IN A SOUTHWESTERLY DIRECTION PARALLEL WITH SAID CLARKE AVENUE AND THE SAME DISTANCE, THEREFROM ALL THE WAY TO HENDERSON'S GUT; THENCE IN A NORTHWESTERLY DIRECTION BY AND WITH SAID GUT TO CLARKE AVENUE AFORESAID; THENCE IN A NORTHEASTERLY DIRECTION BY AND WITH SAID CLARKE AVENUE TO THE PLACE OF BEGINNING; EXCEPT, HOWEVER, THAT PORTION THEREOF THAT IS DESCRIBED AS FOLLOWS; "BEGINNING FOR THE SAME ON THE SOUTHEAST SIDE OF CLARKE AVENUE ON THE SOUTHWEST LINE OF OTHER PROPERTY OF THE GRANTEEES HEREIN AND RUNNING THENCE IN A SOUTHEASTERLY DIRECTION BY AND WITH THE LINE OF SAID OTHER PROPERTY OF THE GRANTEEES HEREIN 70 YARDS; THENCE SOUTHWESTERLY DIRECTION PARALLEL WITH SAID CLARKE AVENUE AND 70 YARDS DISTANT THEREFROM ALL THE WAY 153 FEET TO AN IRON PIN TO BE SETTLED IN THE GROUND; THENCE IN A NORTHWESTERLY DIRECTION PARALLEL WITH THE FIRST LINE OF THIS DESCRIPTION AND 153 FEET DISTANT THEREFROM ALL THE WAY 70 YARDS TO CLARKE AVENUE AFORESAID; THENCE IN A NORTHEASTERLY DIRECTION BY AND WITH SAID CLARKE AVENUE 153 FEET TO PLACE OF BEGINNING."

EXISTING NOTES

- SEWER MANHOLE
- SEWER MAIN
- 8" RAW WATER SUPPLY
- WATER MAIN VALVE BOX
- TEST WELL
- WATER LINE

PROPOSED NOTES

- 8" DUCTILE IRON WATER MAIN.
- PRODUCTION WELL
- FLOW METER VAULT
- PERIMETER FENCE (SEE DETAIL ON SHEET C-2)
- LIGHT POLE & 110V OUTLET RECEPTACLE (SEE DETAIL ON SHEET E-1)
- GRASS PAVERS (SEE DETAIL ON SHEET C-2)
- 15' WIDE ACCESS GATE
- GENERATOR
- CONTROL CABINET
- EQUIPMENT SLAB

CONSTRUCTION NOTES

- INSTALL 90° ELBOW
- CONTRACTOR TO TEST PIT AND DETERMINE LOCATION, SIZE, AND MATERIAL OF EXISTING RAW WATER MAIN AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCY. CONTRACTOR SHALL COORDINATE CONNECTION OF PROPOSED RAW WATER MAIN TO EXISTING RAW WATER MAIN WITH POCOMOKE CITY. (NOTIFY MIKE PHILLIPS @ 410-957-3311)
- CLEAR SITE IN ENTIRETY WITHIN LIMITS SHOWN.
- CUT-IN 8"x8"x8" D.I. TEE.
- INSTALL 8" M.J. GATE VALVE.
- PROPOSED PAVEMENT ELEVATION TO MATCH EXISTING EDGE OF ROAD ELEVATION.
- INSTALL 2 1/2" PVC AIR VENT PIPE FROM PITLESS ADAPTER TO T.O.S ELEVATION.
- CONTRACTOR TO BRACE UTILITY POLE AS NECESSARY DURING INSTALLATION OF WATER MAIN.

CONSTRUCTION NOTES CONT'

- CONTRACTOR TO BRACE WALL AS NECESSARY DURING INSTALLATION OF WATER MAIN.
- CONTRACTOR TO FIELD DETERMINE LOCATION OF WATER MAIN IN A MANNER TO REDUCE AMOUNT OF PAVEMENT RESTORATION WHILE TAKING PROXIMITY OF UTILITY POLES AND CEMETERY WALL INTO CONSIDERATION. CONTRACTOR NOT TO EXCEED A 1'-6" DISTANCE (INTO THE ROAD) FROM THE CENTER OF THE WATER MAIN TO THE EXISTING EDGE OF THE ROAD.

WATER QUALITY VOLUME

STORMWATER QUALITY WILL BE ACHIEVED THROUGH THE USE OF THE SHEET FLOW TO BUFFER CREDIT AS DESCRIBED IN THE 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME 1, CHAPTER 5. THE SITE EXCEEDS THE REQUIREMENTS OF THE SHEET FLOW TO BUFFER CREDIT BY HAVING A MAXIMUM CONTRIBUTING IMPERVIOUS LENGTH LESS THAN 75' AND A BUFFER WIDTH GREATER THAN 50'.

STORMWATER MANAGEMENT

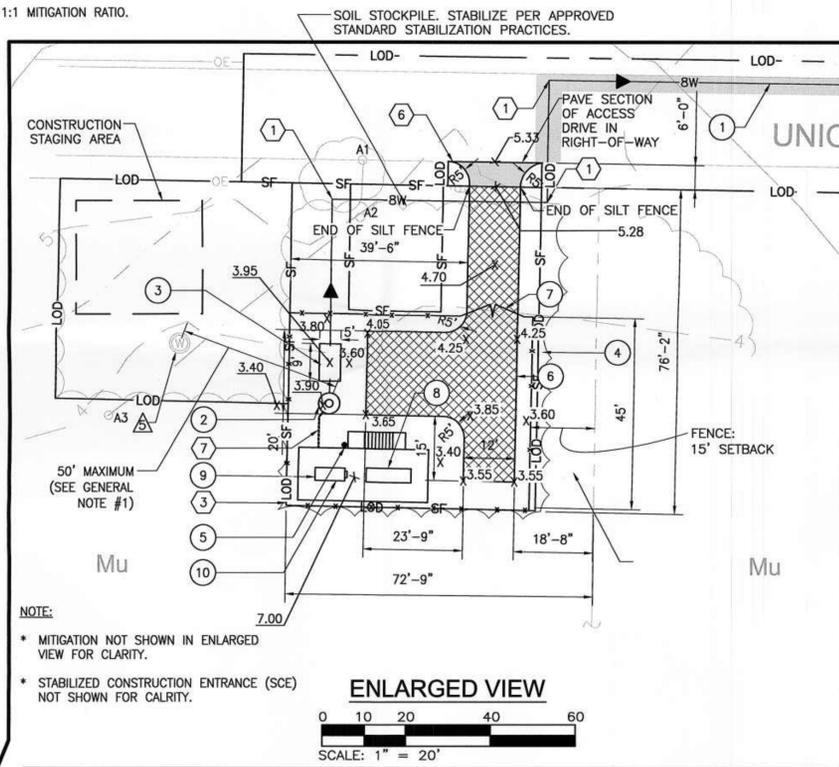
ALL PHASES OF STORMWATER MANAGEMENT CALCULATIONS, STRUCTURE DESIGN AND CONSTRUCTION WILL ADHERE TO CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR STORMWATER MANAGEMENT AND THE STORMWATER MANAGEMENT PLAN FOR THIS SITE.
 ALL INFORMATION SET FORTH IN THIS PLAN ACCURATELY CONVEYS THIS SITE'S CONDITIONS TO THE BEST OF MY KNOWLEDGE.
 ALL STRUCTURAL DEVICES FOR STORMWATER MANAGEMENT WILL BE PROTECTED BY PROPER SOIL EROSION AND SEDIMENT CONTROL DEVICES UNTIL ALL CONTRIBUTING AREAS HAVE PASSED FINAL STABILIZATION INSPECTION.
 ON ALL SITES (EXCEPT INDIVIDUAL SINGLE FAMILY DWELLINGS):
 *UPON COMPLETION OF THE PROJECT, AN AS-CONSTRUCTED SURVEY, NOTICE OF CONSTRUCTION COMPLETION (NOCC), AND LETTER OF CERTIFICATION MUST BE SUBMITTED TO THE DEPARTMENT, ONCE REVIEW IS COMPLETE AND APPROVED, A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

PLANTING GENERAL NOTES:

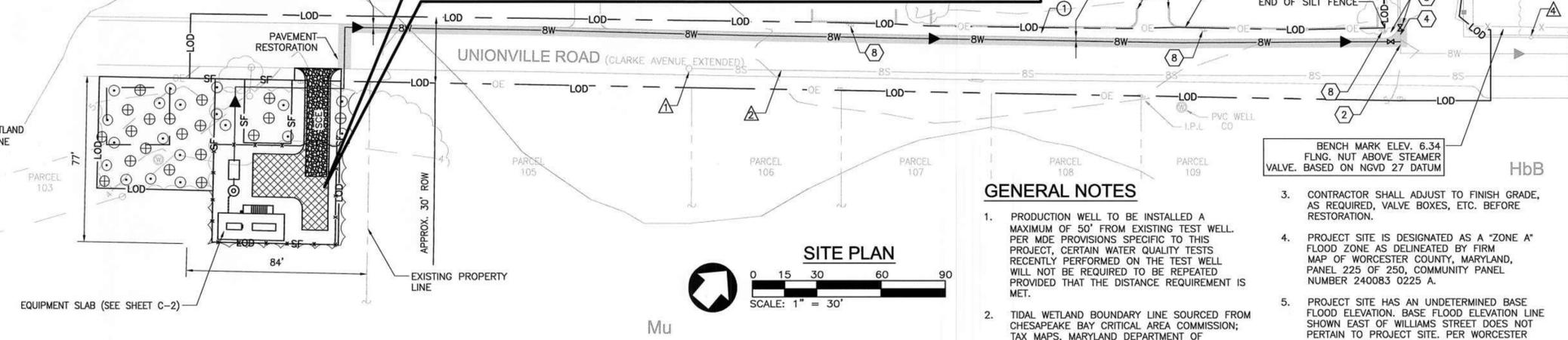
- PLANTS SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY AMERICAN ASSOCIATION OF NURSERYMEN (AAN), PARTICULARLY WITH REGARDS TO SITE, GROWTH AND SIZE OF BALL AND DENSITY OF BRANCH STRUCTURE.
- PLANT TREES IN RANDOM PATTERN TO AVOID GRID LIKE APPEARANCE.
- CONTRACTOR TO ENSURE A ONE YEAR GUARANTEE ON ALL PLANTS.
- 1:1 MITIGATION RATIO.

PLANT SCHEDULE:

SYM.	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	CREDITS	TOTAL CREDITS
⊙	19	RED MAPLE	ACER RUBRUM	1.5" CAL.	200	3,800
⊕	19	LOBLOLLY PINE	PINUS TAEDA	1.5" CAL.	200	3,800
					* TOTAL MITIGATION CREDITS	7,600
					* PROPOSED CLEARING (INCLUDING AREA PREVIOUSLY CLEARED FOR TEST WELL)	7,500
					* BALANCE TO BE PAID VIA FEE IN LIEU	0



- NOTE:
- MITIGATION NOT SHOWN IN ENLARGED VIEW FOR CLARITY.
 - STABILIZED CONSTRUCTION ENTRANCE (SCE) NOT SHOWN FOR CLARITY.



GENERAL NOTES

- PRODUCTION WELL TO BE INSTALLED A MAXIMUM OF 50' FROM EXISTING TEST WELL. PER MDE PROVISIONS SPECIFIC TO THIS PROJECT, CERTAIN WATER QUALITY TESTS RECENTLY PERFORMED ON THE TEST WELL WILL NOT BE REQUIRED TO BE REPEATED PROVIDED THAT THE DISTANCE REQUIREMENT IS MET.
- TIDAL WETLAND BOUNDARY LINE SOURCED FROM CHESAPEAKE BAY CRITICAL AREA COMMISSION; TAX MAPS, MARYLAND DEPARTMENT OF PLANNING, 2006.
- CONTRACTOR SHALL ADJUST TO FINISH GRADE, AS REQUIRED, VALVE BOXES, ETC. BEFORE RESTORATION.
- PROJECT SITE IS DESIGNATED AS A "ZONE A" FLOOD ZONE AS DELINEATED BY FIRM MAP OF WORCESTER COUNTY, MARYLAND, PANEL 225 OF 250, COMMUNITY PANEL NUMBER 240083 0225 A.
- PROJECT SITE HAS AN UNDETERMINED BASE FLOOD ELEVATION. BASE FLOOD ELEVATION LINE SHOWN EAST OF WILLIAMS STREET DOES NOT PERTAIN TO PROJECT SITE. PER WORCESTER COUNTY CODE BR 2-304 (C) (2), THE SAME ELEVATION WILL BE USED TO DETERMINE THE BASE FLOOD ELEVATION FOR THE PROJECT SITE.
- SITE DISTURBANCE NOT TO EXCEED 5,000 FT² WITHIN NON-TIDAL WETLAND BOUNDARY.

PRINTS ISSUED FOR:
 • MARYLAND CRITICAL AREA COMMISSION APPROVAL

DATE	REVISIONS	NO.

GMB
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CLARKE AVENUE EXTENDED PRODUCTION WELL

POCOMOKE CITY, MARYLAND

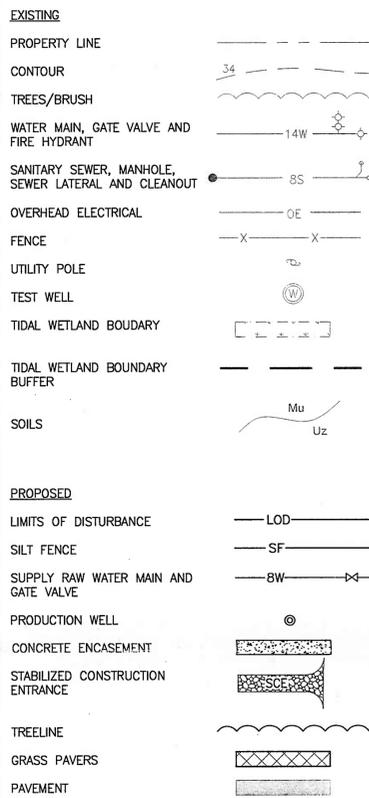
SITE/PIPING PLAN

SCALE: AS NOTED
 DESIGN BY: PBM/DJR
 DRAWN BY: RLC
 CHECKED BY:
 GMB FILE #: 2005094-A
 DATE: APR 2008

SHEET NO. **C-1**

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LEGEND



SEQUENCE OF CONSTRUCTION

- CONTACT WORCESTER COUNTY DEPARTMENT OF DEVELOPMENT REVIEW AND PERMITTING @ (410) 632-1200, MDE AT (410) 901-4020 AND (410) 537-3510 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO SCHEDULE A PRECONSTRUCTION MEETING OR COMMENCING AND SITE WORK. FAILURE TO DO SO WILL RESULT IN AN IMMEDIATE STOP-WORK ORDER.
 - CONTACT "MISS UTILITY" AND POCOMOKE CITY 48 HOURS PRIOR TO CONSTRUCTION. 2 DAYS
 - CLEAR, GRUB AND INSTALL SILT FENCE. 1 WEEK
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE. 2 DAYS
 - DE-FOREST, CLEAR SITE, STRIP TOPSOIL AND STOCKPILE 2 WEEKS
 - PERFORM ROUGH GRADING. 2 DAYS
 - CONSTRUCT PRODUCTION WELL, SITE PIPING AND APPURTENANCES. 4 WEEKS
 - CONSTRUCT RAW WATER MAIN FROM PROPOSED WELL TO EXISTING WATER MAIN. COMPLETE CONNECTION TO EXISTING SUPPLY MAIN AND MAKE ROAD REPAIRS AS NECESSARY. 2 WEEKS
- SEDIMENT CONTROL FOR UTILITY CONSTRUCTION FOR AREAS OUTSIDE OF DESIGNED CONTROLS OR AS DIRECTED BY ENGINEER OR THE INSPECTOR.
- CALL "MISS UTILITY" AT 1-800-257-7777. FORTY-EIGHT (48) HOURS PRIOR TO THE START OF THE WORK.
 - EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH.
 - TRENCHES FOR UTILITY INSTALLATION SHALL BE BACKFILLED, COMPACTED AND STABILIZED AT THE END OF EACH WORKING DAY. NO MORE TRENCH SHALL BE OPENED THAN CAN BE COMPLETED THAT DAY.
 - TEMPORARY SILT FENCE SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO REMAIN DISTURBED FOR MORE THAN ONE DAY.
- COMPLETE SITE IMPROVEMENTS 1 WEEK
 - SPREAD SALVAGED TOPSOIL OVER ALL DISTURBED AREAS AND STABILIZE ALL SUCH AREAS IN ACCORDANCE WITH THOSE PROCEDURES AS LISTED IN SEDIMENT CONTROL NOTES. 2 DAYS
 - PERFORM FINAL GRADING TOPSOIL AND SEED ALL DISTURBED AREAS. 1 DAY
 - INSTALL PERIMETER FENCE. 3 DAYS
 - REMOVE SEDIMENT CONTROL DEVICES UPON OBTAINING APPROVAL OF MDE INSPECTOR. 2 DAYS
- START CONSTRUCTION: JANUARY 2007
FINISH CONSTRUCTION: APRIL 2008

EXISTING NOTES

- ▲ SEWER MANHOLE
- ▲ SEWER MAIN
- ▲ 8" RAW WATER SUPPLY
- ▲ WATER MAIN VALVE BOX
- ▲ TEST WELL
- ▲ WATER LINE

PROPOSED NOTES

- 8" DUCTILE IRON WATER MAIN.
- PRODUCTION WELL
- FLOW METER VAULT
- PERIMETER FENCE (SEE DETAIL ON SHEET C-2)
- LIGHT POLE & 110V OUTLET RECEPTACLE (SEE DETAIL ON SHEET E-1)
- GRASS PAVERS (SEE DETAIL ON SHEET C-2)
- ACCESS GATE
- GENERATOR
- CONTROL CABINET
- WHEEL STOP

CONSTRUCTION NOTES

- INSTALL 90° ELBOW
- CONTRACTOR TO TEST PIT AND DETERMINE LOCATION, SIZE, AND MATERIAL OF EXISTING RAW WATER MAIN AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCY. CONTRACTOR SHALL COORDINATE CONNECTION OF PROPOSED RAW WATER MAIN TO EXISTING RAW WATER MAIN WITH POCOMOKE CITY. (NOTIFY MIKE PHILLIPS @ 410-957-3311)
- CLEAR SITE IN ENTIRETY WITHIN LIMITS SHOWN.
- CUT-IN 8"x8"x8" D.I. TEE.
- INSTALL 8" M.J. GATE VALVE.
- FINISH GRADE OF PAVERS TO MATCH EXISTING EDGE OF ROAD ELEVATION.

WATER QUALITY VOLUME

STORMWATER QUALITY WILL BE ACHIEVED THROUGH THE USE OF THE SHEET FLOW TO BUFFER CREDIT AS DESCRIBED IN THE 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME 1, CHAPTER 5. THE SITE EXCEEDS THE REQUIREMENTS OF THE SHEET FLOW TO BUFFER CREDIT BY HAVING A MAXIMUM CONTRIBUTING IMPERVIOUS LENGTH LESS THAN 75' AND A BUFFER WIDTH GREATER THAN 50'.

STORMWATER MANAGEMENT

ALL PHASES OF STORMWATER MANAGEMENT CALCULATIONS, STRUCTURE DESIGN AND CONSTRUCTION WILL ADHERE TO CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR STORMWATER MANAGEMENT AND THE STORMWATER MANAGEMENT PLAN FOR THIS SITE.

ALL INFORMATION SET FORTH IN THIS PLAN ACCURATELY CONVEYS THIS SITE'S CONDITIONS TO THE BEST OF MY KNOWLEDGE.

ALL STRUCTURAL DEVICES FOR STORMWATER MANAGEMENT WILL BE PROTECTED BY PROPER SOIL EROSION AND SEDIMENT CONTROL DEVICES UNTIL ALL CONTRIBUTING AREAS HAVE PASSED FINAL STABILIZATION INSPECTION.

ON ALL SITES (EXCEPT INDIVIDUAL SINGLE FAMILY DWELLINGS):

*UPON COMPLETION OF THE PROJECT, AN AS-CONSTRUCTED SURVEY, NOTICE OF CONSTRUCTION COMPLETION (NOCC), AND LETTER OF CERTIFICATION MUST BE SUBMITTED TO THE DEPARTMENT, ONCE REVIEW IS COMPLETE AND APPROVED, A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

DATE: _____ APPLICANT SIGNATURE: _____

WORCESTER COUNTY CHESAPEAKE BAY CRITICAL AREA LAW

- THIS PROPERTY LIES WITHIN THE WORCESTER COUNTY CHESAPEAKE BAY CRITICAL AREA. ANY AND ALL PROPOSED DEVELOPMENT ACTIVITY MUST MEET THE REQUIREMENTS OF TITLE 3 (LAND AND WATER RESOURCES), SUBTITLE II (CHESAPEAKE BAY CRITICAL AREA) OF THE WORCESTER COUNTY CODE OF PUBLIC LOCAL LAWS IN EFFECT AT THE TIME OF THE PROPOSED DEVELOPMENT ACTIVITY.
- THIS PROPERTY IS FURTHER CLASSIFIED AS A RESOURCE CONSERVATION AREA (RCA) WITHIN THE CRITICAL BAY AREA DESIGNATION.

PLANTING GENERAL NOTES:

- PLANTS SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY AMERICAN ASSOCIATION OF NURSERMEN (AAN), PARTICULARLY WITH REGARDS TO SITE, GROWTH AND SIZE OF BALL AND DENSITY OF BRANCH STRUCTURE.
- PLANT TREES IN RANDOM PATTERN TO AVOID GRID LIKE APPEARANCE.
- CONTRACTOR TO ENSURE A ONE YEAR GUARANTEE ON ALL PLANTS.
- 1:1 MITIGATION RATIO.

PLANT SCHEDULE:

SYM.	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	CREDITS	TOTAL CREDITS
⊙	21	RED MAPLE	ACER RUBRUM	1.5" CAL.	200	4,200
⊕	21	LOBLOLLY PINE	PINUS TAEDA	1.5" CAL.	200	4,200
					* TOTAL MITIGATION CREDITS	8,400
					* PROPOSED CLEARING (INCLUDING AREA PREVIOUSLY CLEARED FOR TEST WELL)	8,400
					* BALANCE TO BE PAID VIA FEE IN LIEU	0

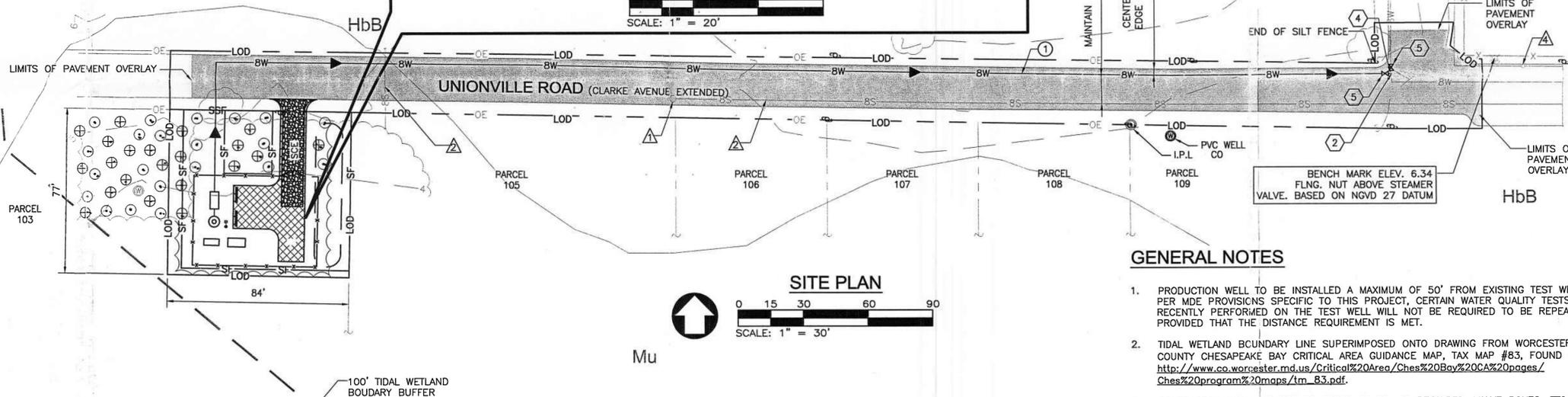
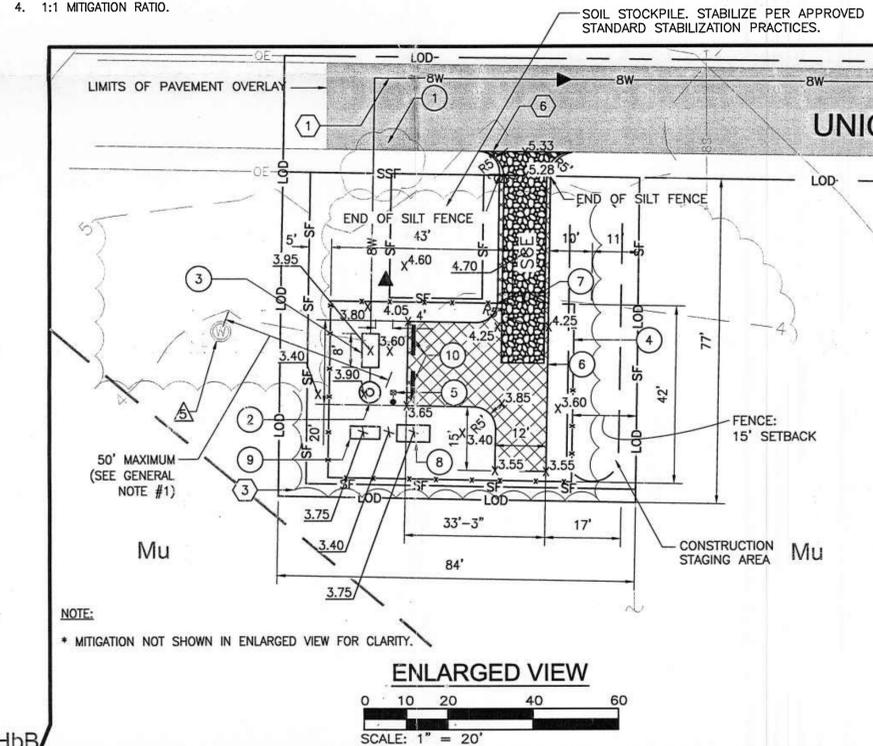
DESCRIPTION OF PROPERTY LINES (METES AND BOUNDS)

SOURCE: WORCESTER COUNTY CIRCUIT COURT (LAND RECORDS) [MSA CE 31-1336] WCL 1189, P. 0229

METES AND BOUNDS TEXT DESCRIPTION: BEGINNING FOR THE SAME ON THE SOUTHEAST SIDE OF CLARKE AVENUE, ON THE SOUTH-WEST LINE OF A CERTAIN DONOWAY, AND RUNNING THENCE IN A SOUTHEASTERLY DIRECTION BY AND WITH SAID DONOWAY LINE SEVENTY YARDS; THENCE IN A SOUTHWESTERLY DIRECTION PARALLEL WITH SAID CLARKE AVENUE AND THE SAME DISTANCE THEREFROM ALL THE WAY TO HENDERSON'S GUT; THENCE IN A NORTHWESTERLY DIRECTION BY AND WITH SAID GUT TO CLARKE AVENUE AFORESAID; THENCE IN A NORTHEASTERLY DIRECTION BY AND WITH SAID CLARKE AVENUE TO THE PLACE OF BEGINNING; EXCEPT, HOWEVER, THAT PORTION THEREOF THAT IS DESCRIBED AS FOLLOWS: "BEGINNING FOR THE SAME ON THE SOUTHEAST SIDE OF CLARKE AVENUE ON THE SOUTHWEST LINE OF OTHER PROPERTY OF THE GRANTEEES HEREIN AND RUNNING THENCE IN A SOUTHEASTERLY DIRECTION BY AND WITH THE LINE OF SAID OTHER PROPERTY OF THE GRANTEEES HEREIN 70 YARDS; THENCE SOUTHWESTERLY DIRECTION PARALLEL WITH SAID CLARKE AVENUE AND 70 YARDS DISTANT THEREFROM ALL THE WAY 153 FEET TO AN IRON PIN TO BE SETTLED IN THE GROUND; THENCE IN A NORTHWESTERLY DIRECTION PARALLEL WITH THE FIRST LINE OF THIS DESCRIPTION AND 153 FEET DISTANT THEREFROM ALL THE WAY 70 YARDS TO CLARKE AVENUE AFORESAID; THENCE IN A NORTHEASTERLY DIRECTION BY AND WITH SAID CLARKE AVENUE 153 FEET TO PLACE OF BEGINNING."

SITE DATA

FLOOD ZONE: A
NOTE: AREAS OF 100-YEAR, BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS NOT DETERMINED.
AS DEFINED BY FEMA FIRM: PANEL #: 240083 0225 A DATED: FEBRUARY 15, 1979
TAX MAP: 83
PARCEL: 103
GRID: 17
TOTAL AREA OF SITE (PARCEL 103): 3.0 ACRES
TOTAL AREA OF PARCEL 103 = 2.20 ACRES (LESS TIDAL WETLANDS)
AREA TO BE DISTURBED (PARCEL 103): 0.20 ACRES (8,400 FT²) (INCLUDING AREA PREVIOUSLY CLEARED FOR TEST WELL)
PROPOSED IMPERVIOUS SURFACE: 0.018 ACRES (800 FT²) (GRASS PAVERS ASSUMED TO BE 50% IMPERVIOUS)
VOLUME OF SPOIL MATERIAL = 0 C.Y.
VOLUME OF FILL MATERIAL = 0 C.Y.
EpB Evesboro loamy sand, clayey substratum, 0 to 5 percent slopes
NoA Norfolk loamy sand, 0 to 2 percent slopes
NOTE: VOLUMES PROVIDED ARE FOR SOIL CONSERVATION PURPOSES ONLY AND NOT TO BE USED BY THE CONTRACTOR FOR ESTIMATING.
OWNER / DEVELOPER / APPLICANT: POCOMOKE CITY
POCOMOKE CITY CITY HALL
101 CLARKE AVENUE
POCOMOKE CITY, MARYLAND 21851
CONTACT: RUSSELL BLAKE
PHONE: (410) 957-1333



GENERAL NOTES

- PRODUCTION WELL TO BE INSTALLED A MAXIMUM OF 50' FROM EXISTING TEST WELL. PER MDE PROVISIONS SPECIFIC TO THIS PROJECT, CERTAIN WATER QUALITY TESTS RECENTLY PERFORMED ON THE TEST WELL WILL NOT BE REQUIRED TO BE REPEATED PROVIDED THAT THE DISTANCE REQUIREMENT IS MET.
- TIDAL WETLAND BOUNDARY LINE SUPERIMPOSED ONTO DRAWING FROM WORCESTER COUNTY CHESAPEAKE BAY CRITICAL AREA GUIDANCE MAP, TAX MAP #83, FOUND AT http://www.co.worcester.md.us/Critical%20Area/Che%20Bay%20CA%20pages/Che%20Program%20maps/1m_83.pdf.
- CONTRACTOR SHALL ADJUST TO FINISH GRADE, AS REQUIRED, VALVE BOXES, ETC. BEFORE RESTORATION.

PRINTS ISSUED FOR: CONSISTENCY REPORT FOR LOCAL GOVERNMENT PROJECTS

NO.	REVISIONS	DATE

GMB
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CLARKE AVENUE EXTENDED
PRODUCTION WELL

POCOMOKE CITY, MARYLAND

CRITICAL AREA COMMISSION
Chesapeake & Atlantic Coastal Bays

SITE/PIPING PLAN

SCALE: AS NOTED	SHEET NO.
DESIGN BY: PBM/DJR	C-1
DRAWN BY: RLC	
CHECKED BY:	
GMB FILE: 2005094.A	
DATE: SEP 2007	

