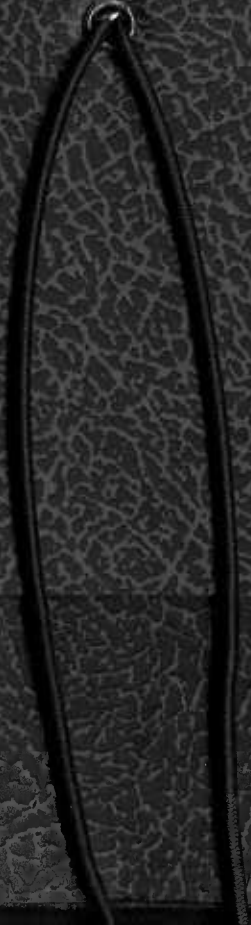


WC 171-07 ^{John Burbage} Salt Grass Point Farms
~~2008~~ Conceptual Approval

51829-6898



Martin O'Malley
Governor

Anthony G. Brown
Lt. Governor



Margaret G. McHale
Chair

Ren Serey
Executive Director

STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

November 25, 2008

Ms. Janet Davis, Critical Area Planner
Department of Review and Permitting
Worcester County
One West Market Street, Room 1201
Snow Hill, MD 21863

Re: Salt Grass Point Farms Subdivision

Dear Ms. ^{Janet} Davis:

Thank you for submitting the revised site plans for the above referenced project. The applicant proposes to create twelve lots, five of which are in the Critical Area Resource Conservation Area (RCA). An updated site plan and Buffer Management Plan (BMP) have been submitted addressing the issues listed in Marshall Johnson's July 1, 2007 letter. A plat note regarding pier length and community pier has been added to sheet 1. The species mix updated on the BMP has identified an increased diversity.

A general note has been added to sheet 1 stating that outlots shall not be used for development purposes without the award of growth allocation. While that statement is needed and accurate we would like to emphasize that the practice of creating outlots has proved to be problematic.

Thank you for the opportunity to provide comments. Please contact me with any questions at 410-260-3479.

Sincerely,

A handwritten signature in black ink, appearing to read "Roby Hurley".

Roby Hurley
Natural Resources Planner

cc: WC 171-07

Martin O'Malley
Governor

Anthony G. Brown
Lt. Governor



Margaret G. McHale
Chair

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July 1, 2008

Ms. Janet Davis, Critical Area Planner
Department of Review and Permitting
Worcester County
One West Market Street, Room 1201
Snow Hill, MD 21863

Re: Salt Grass Point Farms Subdivision

Dear Ms. Davis:

Thank you for submitting the revised site plans for the above referenced project. The applicant proposes to create twelve lots, five of which are in the Critical Area Resource Conservation Area (RCA). Materials have been submitted addressing some of the issues listed in my May 24, 2007 Letter; however the items listed below are still outstanding. I have reviewed the resubmitted information and have the following comments:

1. To help ensure that future property owners are aware of pier restrictions for this site, please have the applicant add a note to the plat stating that Worcester Code NR 3-125(b) limits private piers or docks to no more than 100 feet in length over State or private wetlands. Given the extensive tidal wetlands along the shorelines of the proposed lots, we recommend that if a pier is created, the applicant provide a single community pier with 5 slips (in which case this office would not support variances for additional private piers at this site).
on sheet 1 (10/22/08)
2. The established Buffer should resemble areas of existing forest which is a mix of loblolly pine, sweet gum, and red maple. I recommend a greater diversity of trees be planted in the Buffer than just loblolly.
BMP (8/27/08)

Thank you for the opportunity to provide comments. Please contact me with any questions at 410-260-3479.

Sincerely,

A handwritten signature in black ink, appearing to read "Marshall Johnson".

Marshall Johnson
Natural Resources Planner

cc: WC 171-07

TTY for the Deaf

Annapolis: (410) 974-2609 D.C. Metro: (301) 586-0450



STATE OF MARYLAND
CRITICAL AREA COMMISSION
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May 24, 2007

Ms. Janet Davis, Critical Area Planner
Department of Review and Permitting
Worcester County
One West Market Street, Room 1201
Snow Hill, MD 21863

Re: Salt Grass Point Farms Subdivision

Dear Ms. Davis:

Thank you for submitting the revised site plans for the above referenced project. The applicant proposes to create twelve lots, five of which are in the Critical Area Resource Conservation Area (RCA). I have reviewed the resubmitted information and have the following comments:

1. The Critical Area Density note on the Critical Area Site Plan should include a figure for the upland area of the Outlot A Openspace, which is being used to achieve the required eight acres of upland per dwelling. Please have the applicant include this figure on the Critical Area Site Plan to confirm that density requirements of Worcester Code § NR 3-108(c)(3) and § NR 3-108(c)(9) are met.
2. The applicant should add a note to the plat indicating that density requirements of the Critical Area RCA are met by this subdivision using the provisions of Natural Resources Article Title 8-1808.1(e)(ii) and Worcester Code section NR 3-108(c)(9) and that for these purposes only, non-tidal wetlands may be used to meet density requirements.
3. Worcester County Code § NR 3-104 (c)(2) states that the Buffer shall be expanded beyond one hundred feet to include contiguous sensitive areas including hydric soils or highly erodible soils whose development or disturbance may impact streams, wetlands or other aquatic environments. There appear to be significant areas of hydric Falsington (Fa) soils on the proposed lots in the RCA that are contiguous with the Buffer. Please have the applicant revise the expanded buffer on the Critical Area Site Plan and plat to meet this requirement, or otherwise address how § NR 3-104(c)(2) is met.

4. Worcester County Code § NR 3-104(c)(3) states that the Buffer shall also be required along both sides of all drainage ditches if adjacent agricultural lands do not have in place best management practices cited and approved under the agricultural protection section of this Subtitle. The submitted plans show "agricultural ditches" on Outlot A and between Lots 8 and 9. Please have the applicant address § NR 3-104(c)(3).
5. The Critical Area 100-foot Buffer line and Expanded Buffer should be labeled as a single continuous line as "Critical Area Buffer" on the Critical Area Site Plan and plat. In order to ensure that the Buffer location is clear for all of the project related activities, please have the applicant correctly label the line on all sheets of the plat where it occurs.
6. The applicant has stated that impervious area will be limited to 15% for the development on the lots in the Critical Area. The plat should include a note that development on the lots in the RCA will be limited to 15% impervious surfaces, referring to the lot numbers as designated on the final plat.
7. To help ensure that future property owners are aware of pier restrictions for this site, please have the applicant add a note to the plat stating that Worcester Code NR 3-125(b) limits private piers or docks to no more than 100 feet in length over State or private wetlands. Given the extensive tidal wetlands along the shorelines of the proposed lots, we recommend that if a pier is created, the applicant provide a single community pier with 5 slips (in which case this office would not support variances for additional private piers at this site).

Thank you for the opportunity to provide comments. Please contact me with any questions at 410-260-3479.

Sincerely,



Marshall Johnson
Natural Resources Planner

cc: WC 171-07



**STATE OF MARYLAND
CRITICAL AREA COMMISSION
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www.dnr.state.md.us/criticalarea/

April 6, 2007

Ms. Janet Davis, Critical Area Planner
Department of Review and Permitting
Worcester County
One West Market Street, Room 1201
Snow Hill, MD 21863

Re: Salt Grass Point Farms

Dear Ms. Davis:

Thank you for submitting the site plans for the above referenced project. The proposed subdivision includes twelve residences, five of which are in the Critical Area and zoned as Resource Conservation Area (RCA). The total subdivision area is 133.515 acres: total roads = 1.408 acres; total outlots = 39.337; and total lots = 92.770. I have reviewed the information provided and have the following comments:

Letters

1. A letter from a Licensed Professional Forester has been provided detailing the conditions of the forest stands present on the property.
2. A letter from the Department of Natural Resources Wildlife and Heritage Division dated December 11, 2006 has been provided.
3. A letter from the Board of Public Works Wetlands Administration has been provided, as well as detailed information regarding the differentiation of state and private tidal wetlands. This information has been incorporated into the applicant's site plans.

Critical Area Information

4. Each plat should be checked for consistency regarding acreage. The arithmetic is incorrect on the Critical Area site plan for lot break down. Lots 8-12 in this break down are shown to equal what is the total lot acreage (lots 1-12) of 92.770.
5. The applicant has not included the acreage of uplands, non-tidal wetlands and private tidal wetlands for Outlot A in the Critical Area. It is not clear if this has been included in Critical Area density calculations.

The calculation of 1-in-20 acre density:

6. The total Critical Area must be at least 100 acres for 5 lots. Additionally, Critical Area Code section 8-1808.1(e)(ii) indicates that

“a local jurisdiction may permit the area of any private wetlands located on the property to be included, under the following conditions: (that) 1. The density of development on the upland portion of the parcel may not exceed 1 dwelling unit per 8 acres; and 2. The area of private wetlands shall be estimated on the basis of vegetative information as designated on the State wetlands maps.” (Worcester Code section NR 3-108(c)(9))

For these purposes only, non-tidal wetlands may be used to meet density requirements. It appears that the applicant has satisfied this density requirement, but plat note should be added which clearly states this information.

7. In regards to Outlot A, a legally binding plat note should be included which prohibits any development on the outlot unless growth allocation is awarded.

Impervious Surfaces

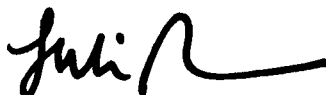
8. The applicant has submitted that impervious area will be limited to 15% or below.

Piers

9. Worcester Code NR 3-125 (b) indicates that new private piers or docks shall not extend more than 100 feet in length over State or private wetlands. Given the extensive tidal wetlands along the shorelines of all the proposed lots, we recommend that the applicant provide a community pier with 5 slips. This office will not support variances for private piers on these new lots. Future property owners should be made aware of the pier restrictions.

Thank you for the opportunity to provide comments. Please contact me with any questions at 410-260-3476.

Sincerely,



Julie Roberts
Natural Resources Planner

Cc: WC 171-07

SALT GRASS POINT FARMS

A RESIDENTIAL CLUSTER SUBDIVISION

SOILS LEGEND

Fa	FALSTINGTON
WdB	WOODSTOWN
Mu	MULLUCA
HbB	HAMBROOK
Br	BROADKILL
Tp	TRANSQUACKING

LEGEND

	DENOTES BUFFER / EXPANDED BUFFER AREAS
	DENOTES BUFFER / EXPANDED BUFFER TO BE ESTABLISHED = ± 218,274 S.F. / 5.01 ACRES
	NON-TIDAL WETLAND LINE
	NON-TIDAL WETLAND BUFFER LINE
	TIDAL WETLAND LINE
	100' BUFFER LINE
	SOILS BOUNDARY
	CRITICAL AREA BUFFER LINE
	CRITICAL AREA SIGN LOCATION

LOT AREA BREAK DOWN

LOT	UPLAND	N.T.W.	PRIVATE TIDAL	TOTAL
OUTLOT A	± 10.866 ACRES	± 12.825 ACRES	0.931 ACRES	± 24.622 ACRES
8	± 10.146 ACRES	± 0.269 ACRES	0.013 ACRES	± 10.428 ACRES
9	± 9.056 ACRES	± 0.830 ACRES	2.936 ACRES	± 12.822 ACRES
10	± 7.507 ACRES	± 1.163 ACRES	3.027 ACRES	± 11.697 ACRES
11	± 5.669 ACRES	± 2.480 ACRES	5.300 ACRES	± 13.449 ACRES
12	± 4.745 ACRES	± 2.564 ACRES	21.522 ACRES	± 28.831 ACRES
TOTAL	47.989 ACRES	20.131 ACRES	33.729 ACRES	± 101.849 ACRES

SITE DATA

PARCEL DESCRIPTION
TAX MAP 10, PARCELS 31
TAX MAP 16, P/O PARCEL 1
WORCESTER COUNTY MARYLAND

PROPOSED USE
PROPOSED CLUSTER SUBDIVISION

ZONING
E-1, ESTATE
LOT SIZES = ± 20,000 S.F.
LOT WIDTH = 80'
SETBACKS: FRONT = 15'
SIDE = 8'
REAR = 20'

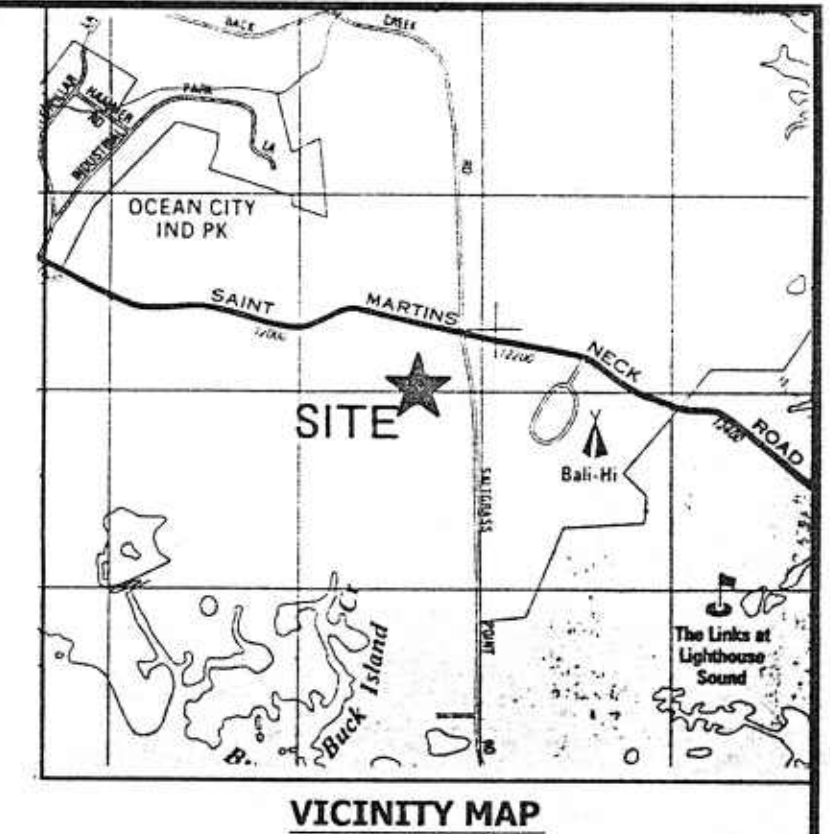
SITE AREA
± 67.29 ACRES UPLAND
± 32.50 ACRES NON-TIDAL WETLAND
± 34.39 ACRES PRIVATE TIDAL WETLAND
± 134.18 ACRES TOTAL

CRITICAL AREA DENSITY
± 47.916 ACRES UPLAND
± 20.211 ACRES NON-TIDAL WETLAND
± 33.731 ACRES PRIVATE TIDAL WETLAND
± 101.858 ACRES TOTAL
5 LOTS PROPOSED = 1 LOT PER ± 20.3 TOTAL ACRES
1 LOT PER ± 13.625 UPLAND ACRES

CRITICAL AREA FOREST DATA
± 27.43 ACRES EXISTING FOREST
± 26.9% OF CRITICAL AREA

ALL FORESTED AREAS ONSITE WILL BE RETAINED. NO EXISTING FOREST WILL BE DISTURBED

AGRICULTURAL DITCHES (NON REGULATED)
UPON DEVELOPMENT OF EACH LOT A MINIMUM 25' GRASS FILTER STRIP WILL BE PLANTED FROM THE TOP OF THE DITCH BANK. THIS IS CONSISTENT WITH BEST MANAGEMENT PRACTICE IN NR 3-119(C)(8).



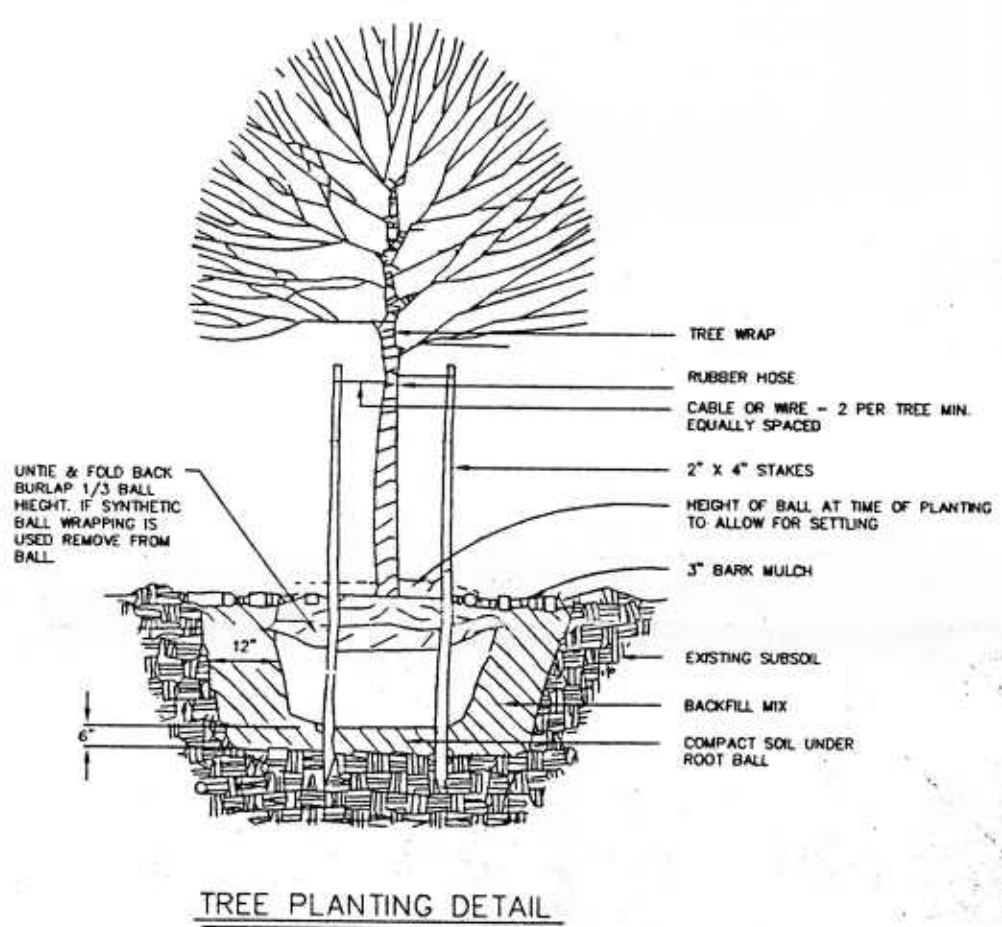
BUFFER ESTABLISHMENT PLANTING PLAN

THE BUFFER TO BE ESTABLISHED (5.01 ACRES) SHALL BE PLANTED WITH RED MAPLE (*Acer rubrum*), SWEET GUM (*Liquidambar styraciflua*) AND LOBLOLLY PINE (*Pinus taeda*) AT A RATIO OF 1 PER 200 S.F. (± 14' ON CENTER). THE PLANT MATERIAL MUST BE A MINIMUM OF 1 1/2" CALIPER AT TIME OF PLANTING. THE QUANTITY SHALL BE A MINIMUM OF 1,092 PLANTS.

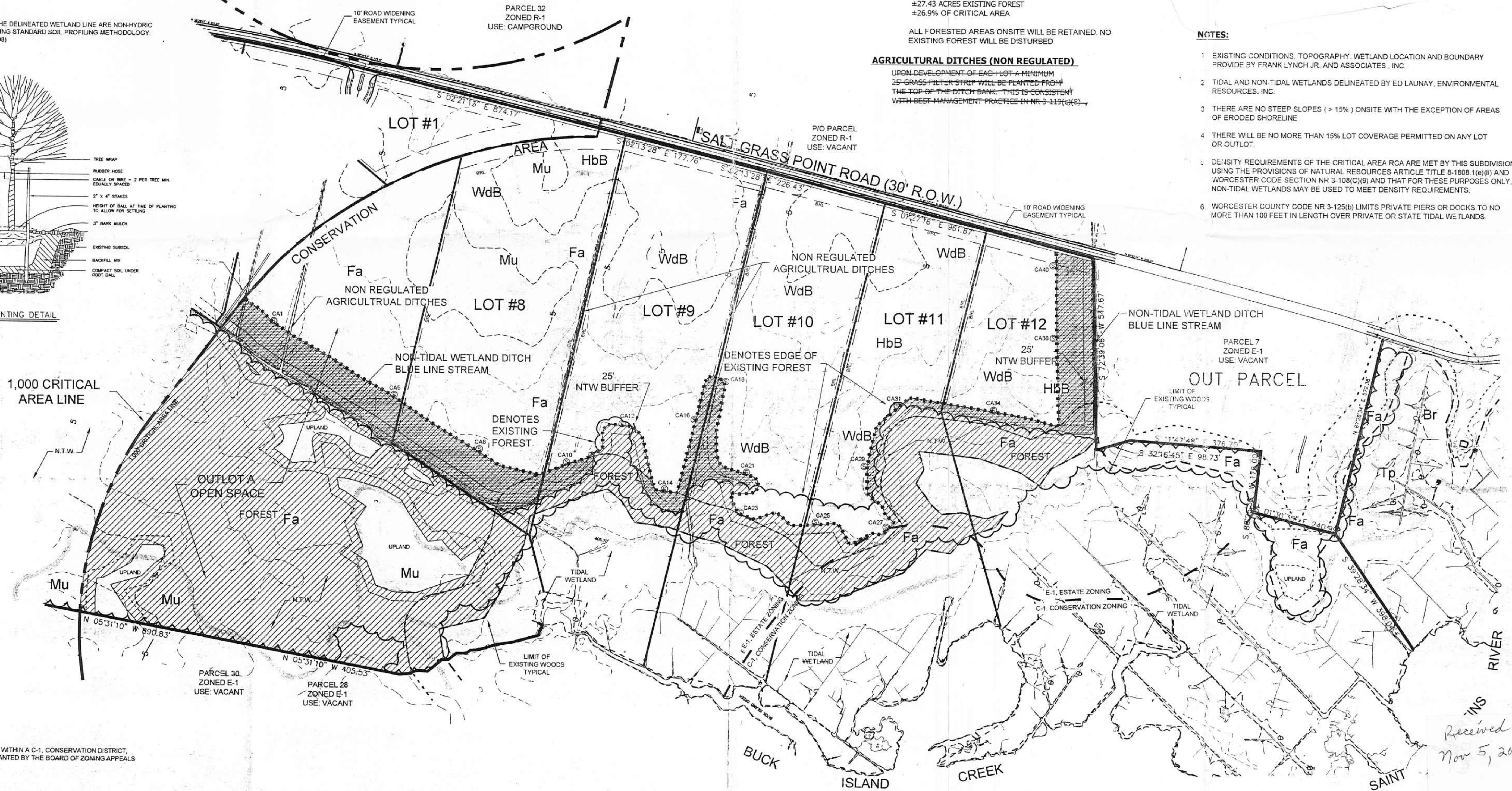
- NOTES:**
- EXISTING CONDITIONS, TOPOGRAPHY, WETLAND LOCATION AND BOUNDARY PROVIDE BY FRANK LYNCH JR. AND ASSOCIATES, INC.
 - TIDAL AND NON-TIDAL WETLANDS DELINEATED BY ED LAUNAY, ENVIRONMENTAL RESOURCES, INC.
 - THERE ARE NO STEEP SLOPES (> 15%) ONSITE WITH THE EXCEPTION OF AREAS OF ERODED SHORELINE
 - THERE WILL BE NO MORE THAN 15% LOT COVERAGE PERMITTED ON ANY LOT OR OUTLOT.
 - DENSITY REQUIREMENTS OF THE CRITICAL AREA RCA ARE MET BY THIS SUBDIVISION USING THE PROVISIONS OF NATURAL RESOURCES ARTICLE TITLE 8-1808.1(e)(ii) AND WORCESTER CODE SECTION NR 3-108(C)(9) AND THAT FOR THESE PURPOSES ONLY, NON-TIDAL WETLANDS MAY BE USED TO MEET DENSITY REQUIREMENTS.
 - WORCESTER COUNTY CODE NR 3-125(b) LIMITS PRIVATE PIERS OR DOCKS TO NO MORE THAN 100 FEET IN LENGTH OVER PRIVATE OR STATE TIDAL WETLANDS.

HYDRIC SOILS

UNDISTURBED SOILS OUTSIDE OF THE DELINEATED WETLAND LINE ARE NON-HYDRIC BASED ON FIELD INVESTIGATION USING STANDARD SOIL PROFILING METHODOLOGY. (SEE ERI REPORT DATED JULY 2, 2008)



THE INFORMATION CONTAINED ON THESE PLANS, PLATS OR OTHER DOCUMENTS IS PROVIDED FOR THE EXCLUSIVE USE OF THE CLIENT NAMED HEREON, AND IS SUBJECT TO THE CLIENT'S AND OUR WORK PRODUCT PRIVILEGE. ANY REVISIONS, CORRECTIONS, COPIES OR DISTRIBUTION IS STRICTLY PROHIBITED UNLESS AUTHORIZED IN WRITING BY R.D. HAND AND ASSOCIATES, INC.



NOTES:

IN ORDER TO CREATE A MINOR SUBDIVISION WITHIN A C-1, CONSERVATION DISTRICT, A SPECIAL EXCEPTION WILL HAVE TO BE GRANTED BY THE BOARD OF ZONING APPEALS IN ACCORDANCE WITH ZS 1-213(c)(10)

CRITICAL AREA SITE PLAN / BUFFER MANAGEMENT PLAN
TAX MAP 10, PARCEL 31 & TAX MAP 16 P/O PARCEL 1
WORCESTER COUNTY MARYLAND

R.D. HAND AND ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE, SITE PLANNING AND FEASIBILITY
12302 COLLINS ROAD BISHOPVILLE, MD. 21013 410-352-5623

DATE	9/21/08
REV. DATE	8/27/08
DRAWN BY	J. MAYHUE
CHK'D BY	R.D. HAND
DRAWING	CA-BM
SCALE	1"=150'

SHEET
1

Received
Nov 5, 2008

SALT GRASS POINT FARMS

A RESIDENTIAL CLUSTER SUBDIVISION

SOILS LEGEND

- Fa FALSINGTON
- WdB WOODSTOWN
- Mu MULLUCA
- HbB HAMBROOK
- Br BROADKILL
- Tp TRANSQUACKING

LEGEND

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- TIDAL WETLAND LINE
- 100' BUFFER LINE
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- CRITICAL AREA SIGN LOCATION

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 WORCESTER COUNTY MARYLAND

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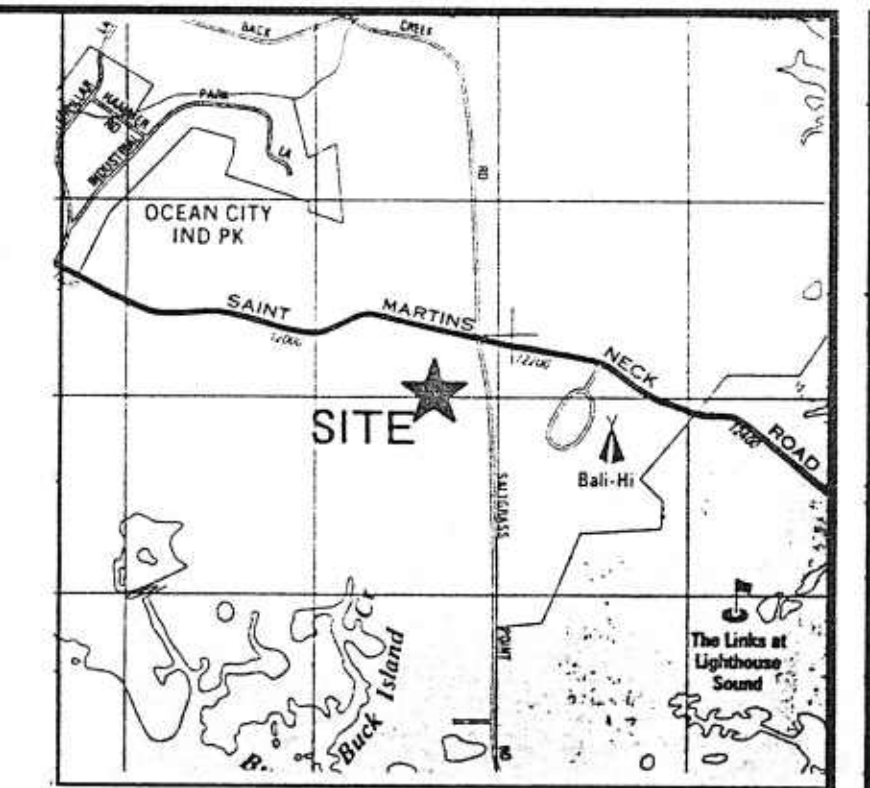
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VICINITY MAP

BUFFER ESTABLISHMENT PLANTING PLAN

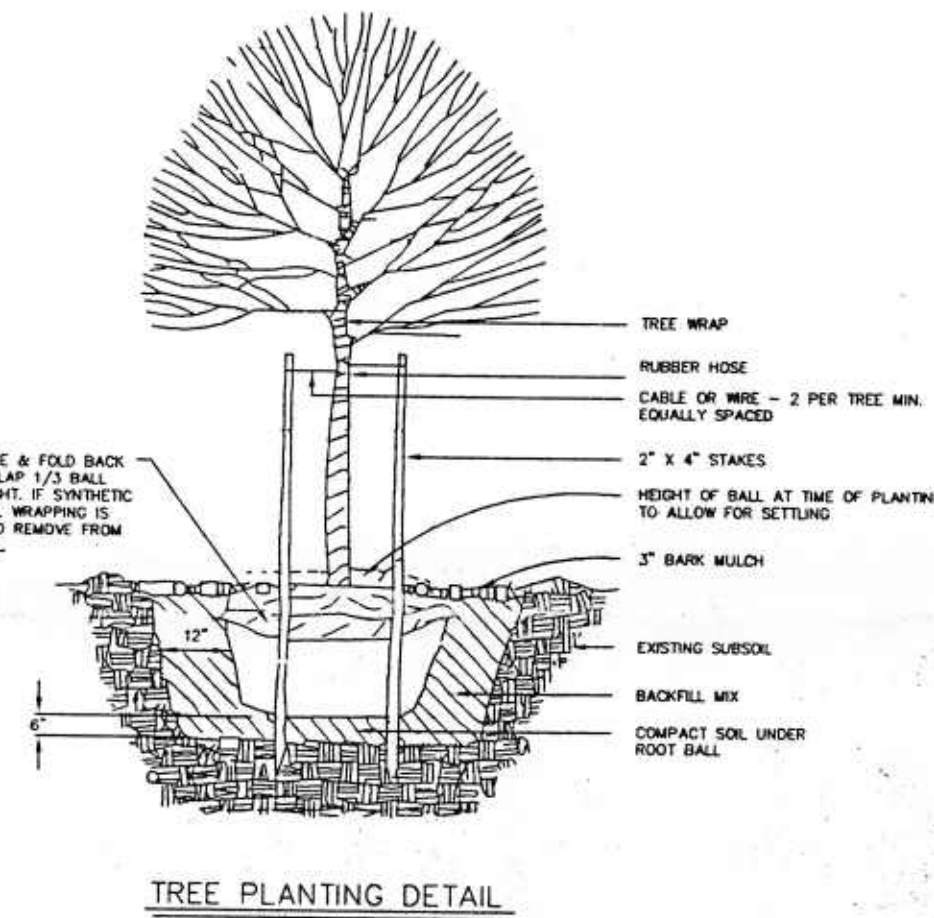
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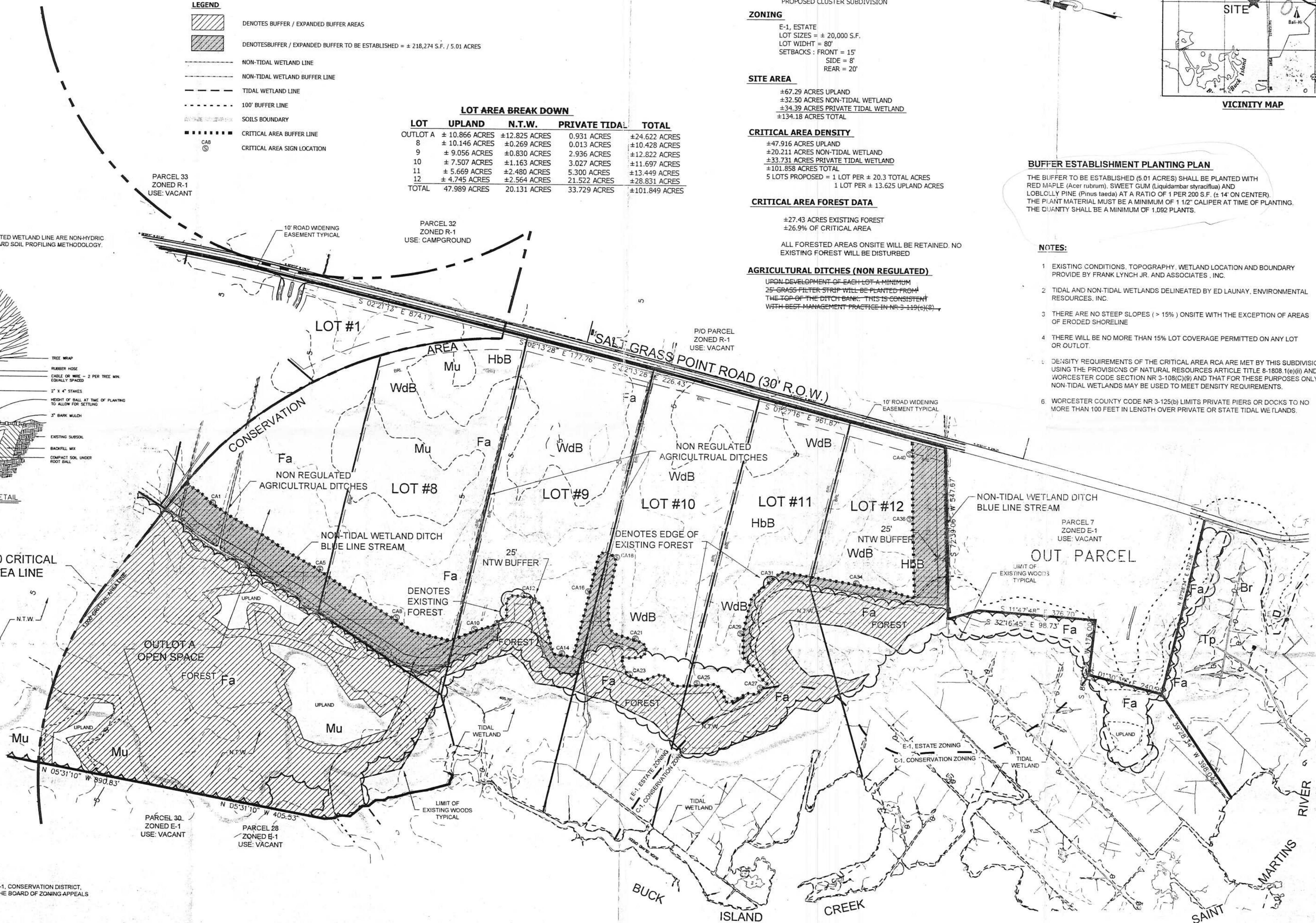
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1,000 CRITICAL AREA LINE



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 LANDSCAPE ARCHITECTURE, SITE PLANNING AND FEASIBILITY
 12302 COLLINS ROAD BISHOPVILLE, MD. 21813 410-352-5623

DATE: 9/21/06
 REV. DATE: 8/27/08
 DRAWN BY: J. MAYHUE
 CHK'D BY: R.D. HAND
 DRAWING: CA-BM
 SCALE: 1"=150'

SHEET 1