

QC 560-07 Chesterwye Center  
Site Plan 05-07-07-0001

S1829-6742

Martin O'Malley  
Governor

Anthony G. Brown  
Lt. Governor



Margaret G. McHale  
Chair

Ren Serey  
Executive Director

**STATE OF MARYLAND  
CRITICAL AREA COMMISSION  
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401  
(410) 260-3460 Fax: (410) 974-5338  
[www.dnr.state.md.us/criticalarea/](http://www.dnr.state.md.us/criticalarea/)

October 15, 2007

Ms. Jean Fabi  
Queen Anne's County  
Department of Land Use, Growth Management and Environment  
160 Coursevall Drive  
Centerville, MD 21617

**Re: 05-07-07-0001-C  
Chesterwyne Center**

Dear Ms. Fabi:

Thank you for providing information on the above referenced project. This site is not within the Critical Area. This office has no comments. Please telephone me if you have any questions at (410) 260-3479.

Sincerely,

A handwritten signature in black ink, appearing to read "Marshall Johnson".

Marshall Johnson  
Natural Resources Planner

cc: QC 560-07



# MINOR SITE PLAN FOR

# CHESTERWYE CENTER, INC.

## FIFTH ELECTION DISTRICT, QUEEN ANNE'S COUNTY, MARYLAND

### PREPARED FOR : CHESTERWYE CENTER, INC.

SEP 18 2007

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#### PURPOSE AND INTENT STATEMENT AND ZONING ACTIONS PRIOR TO SITE PLAN

THE PURPOSE OF THIS MINOR SITE PLAN IS TO RECEIVE APPROVAL FROM THE PLANNING DIRECTOR FOR A 6,605 SQUARE FOOT, SINGLE STORY ADDITION TO AN EXISTING ONE STORY BUILDING SERVING AS A FACILITY FOR A NON-PROFIT ORGANIZATION FOR DEVELOPMENTALLY DISABLED ADULTS. THESE PROPOSED SITE IMPROVEMENTS QUALIFY AS A MINOR SITE PLAN UNDER SECTION 18-1-141.A.(2) OF THE COUNTY CODE IN THAT THE PROPOSED ADDITIONAL FLOOR AREA IS LESS THAN 10,000 SQ. FT. THE PROPOSED ADDITION WILL PROVIDE A NURSE'S STATION, KITCHEN, LAUNDRY, STORAGE AREAS AND RESTROOMS TO THE BUILDING PROVIDING DAY SERVICES. IN ADDITION, THERE ARE TWO ONE-STORY GROUP DWELLINGS, FOUR UTILITY SHEDS, ONE TO BE REMOVED AND TWO TO BE RELOCATED BACK WITHIN THE MINIMUM BUILDING RESTRICTION LINES.

BOARD OF APPEALS: AS REQUIRED BY SECTION 18-1-19.C.(7) OF THE COUNTY CODE, RESIDENTIAL INSTITUTIONAL USES ARE CONDITIONAL USES PERMITTED ONLY BY THE QUEEN ANNE'S COUNTY BOARD OF APPEALS. THE OWNER/APPLICANT OF THE PROPERTY, CHESTERWYE CENTER, INC. RECEIVED APPROVAL FOR THE CONDITIONAL USE ENABLING THE EXPANSION OF AN INSTITUTIONAL USE IN THE NC-207 ZONE AND THE VARIANCES TO PROVIDE LESS THAN THE REQUIRED NUMBER OF PARKING SPACES (18-1-83.E.(1)(7)), AND TO EXCEED THE MAXIMUM IMPERVIOUS SURFACE COVERAGE PERMITTED IN THE NC-207 ZONE BY 5,000 SQ. FT. (SEE 18-1-19.E.(2)(a)(1)). SEE QUEEN ANNE'S COUNTY BOARD OF APPEALS CASE NUMBER CU-020006 WHICH WAS APPROVED AT ITS HEARING ON APRIL 25, 2007.

ADEQUATE PUBLIC FACILITIES ORDINANCE: THE APPLICANT REQUEST FOR EXEMPTION FROM THE INTERIM ADEQUATE PUBLIC FACILITIES SECTION 28-4.B.(2) WAS REQUESTED AND GRANTED BY THE DEPARTMENT OF LAND USE, GROWTH MANAGEMENT & ENVIRONMENT ON AUGUST 31, 2007, BASED ON THE FINDINGS OF THE TRAFFIC CONSULTANT THAT WEEKDAY AM AND PM PEAK HOUR TRIP GENERATION WILL NOT EXCEED TWENTY-FIVE VEHICLE TRIPS.

#### NOTES

- THE SITE'S PHYSICAL ADDRESS IS 436 CEMETERY LANE, GRASONVILLE, MARYLAND, 21638.
- PROPERTY LINE INFORMATION SHOWN HEREON IS TAKEN FROM A FIELD RUN SURVEY BY MICHAEL A. SCOTT, INC. IN NOVEMBER, 2005.
- FOR DEED REFERENCE, SEE LIBER M.W.M. 149, FOLIO 557 AND LIBER M.W.M. 183, FOLIO 466.
- CURRENT ZONING CLASSIFICATION IS "NC-207"
- THE PROPERTY IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
- SITE IS NOT LOCATED WITHIN 100 YEAR FLOODPLAIN AS SCALED FROM FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 240054 0047 B. (ZONE "C")
- TOPOGRAPHICAL CONTOURS INDICATING THE ABSENCE OF STEEP SLOPES, THE LIMITS OF THE EXISTING WOODLANDS, AND THE LOCATION OF EXISTING IMPROVEMENTS SHOWN HEREON ARE THE RESULT OF FIELD RUN TOPOGRAPHY BY MICHAEL A. SCOTT, INC., REGISTERED SURVEYOR, DATED NOVEMBER, 2005.
- NONTRIAL WETLANDS SHOWN HEREON WERE IDENTIFIED BY ENVIRONMENTAL CONSULTANT MCCARTHY & ASSOCIATES IN FEBRUARY, 2007, AND FIELD LOCATED BY MICHAEL A. SCOTT, INC. ON JULY 10, 2007. AN APPLICATION FOR A PERMIT TO DISTURB 3,115 SQ. FT. OF NONTRIAL WETLAND BUFFER HAS BEEN FILED WITH THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, WATER MANAGEMENT ADMINISTRATION ON SEPTEMBER 7, 2007. NO RESPONSE HAS BEEN RECEIVED AS OF THIS SUBMITTAL.
- SOILS ON SITE ARE CORSICA MUCKY LOAM (Co), HURLOCK SANDY LOAM (Hr) AND PINEYNECK SILT LOAM (PIA) AS SCALED FROM SOILS SURVEY MAP NO. 32 OF QUEEN ANNE'S COUNTY, MARYLAND COMPLETED IN 1994.
- THIS SITE WILL BE SERVED BY THE QUEEN ANNE'S SANITARY DISTRICT SUBDISTRICT "M" LOCATED IN THE GRASONVILLE AREA. PUBLIC SEWER WILL BE UTILIZED FOR SEWAGE DISPOSAL AND PUBLIC WATER WILL BE UTILIZED FOR POTABLE WATER SUPPLY. THE TWO EXISTING WELLS ARE TO BE ABANDONED AND SEALED BY A LICENSED WELL DRILLER.
- THE ENVIRONMENTAL REVIEW BY THE MD DNR, WILDLIFE AND HERITAGE SERVICE, ENVIRONMENTAL REVIEW COORDINATOR INDICATED THE POSSIBLE PRESENCE OF THE ENDANGERED DELMARVA FOX SQUIRREL AND THE POSSIBLE EXISTENCE OF A BALD EAGLE NEST WITHIN 1/4 MILE OF THE SITE. A SUBMITTAL WAS MADE TO THE USFS, JUNE 29, 2007, REQUESTING A DETERMINATION THAT THIS PROJECT WILL NOT HAVE A NEGATIVE IMPACT ON THE FOX SQUIRREL OR ITS HABITAT AS NO DEVELOPMENT OR DISTURBANCE IS PROPOSED TO ITS HABITAT. THE FORESTED AREAS ON THE PROPERTY. ALL NEW DEVELOPMENT IS PROPOSED IN AREAS OF THE SITE EXISTING AS DEVELOPED OR MAINTAINED AS LAWN. TO DATE A RESPONSE FROM THE USFS HAS NOT BEEN RECEIVED. THE LOCATION OF THE BALD EAGLE'S NEST WAS VERIFIED BY A VISIT TO THE SITE BY GLENN THERRES, ASSOCIATE DIRECTOR OF THE WILDLIFE AND HERITAGE SERVICE (WDR) AND DMS & ASSOCIATES. IT WAS ESTABLISHED FROM THE VISIT THAT THE NEST WAS LOCATED WITHIN 1/4 MILE, BEYOND THE 660 FEET, PLACING THE PROJECT IN ZONE 3 OF THE STANDARD BALD EAGLE NEST PROTECTION ZONES. PROTECTION ZONES 2 AND 3 SHOWN ON THIS PLAN WERE ESTABLISHED AS A RESULT OF THE FIELD VISIT. AS PER A LETTER FROM GLENN THERRES, THE CHESTERWYE CENTER WILL NOT BE SUBJECT TO THE TIME-OF-YEAR RESTRICTION BECAUSE THE PAIR OF NESTING EAGLES HAVE ADAPTED TO HUMAN ACTIVITIES IN CLOSER PROXIMITY TO THE NEST THAN THE ACTIVITIES PROPOSED WITH THIS DEVELOPMENT.
- THIS SITE IS SUBJECT TO THE FOREST CONSERVATION ACT, SEE SECTION 18-2-4 OF THE COUNTY CODE, IN THAT IT IS A REGULATED ACTIVITY OCCURRING ON AN AREA GREATER THAN 40,000 SQUARE FEET.

#### SITE STATISTICS

CURRENT USE - INSTITUTIONAL		
PROPOSED USE - INSTITUTIONAL		
GROSS AREA	= 153,123 sq. ft.±	(3.515 ac.±)
CRITICAL AREA	= 0,000 sq. ft.±	
BASE SITE AREA	= 153,123 sq. ft.±	(3.515 ac.±)
AREA IN BUFFERYARDS	= 3,018 sq. ft.±	(0.069 ac.±)
AREA WITHIN 100 Yr. FLOODPLAIN	= 0,000 ac.±	
AREA WITHIN RESOURCE PROTECTION		
STEEP SLOPES:	0.000 ac.±	
STREAMS/STREAM BUFFERS:	0.000 ac.±	
WETLANDS:	0.003 ac.±	
EROSION HAZARDS:	0.000 ac.±	
MATURE HARDWOODS:	0.243 ac.±	
MAXIMUM FLOOR AREA ALLOWED (30%)	= 45,937 sq. ft.±	(1.055 ac.±)
FLOOR AREA (EXISTING)	= 12,667 sq. ft.±	(0.291 ac.±)
FLOOR AREA TO BE REMOVED (EXISTING)	= 826 sq. ft.±	(0.019 ac.±)
FLOOR AREA (PROPOSED)	= 6,605 sq. ft.±	(0.152 ac.±)
FLOOR AREA (TOTAL)	= 18,446 sq. ft.±	(0.424 ac.±)
MAXIMUM IMPERVIOUS AREA ALLOWED (50%)	= 76,561 sq. ft.±	(1.757 ac.±)
IMPERVIOUS AREA WITHIN BUFFERYARD	= 1,509 sq. ft.±	(0.035 ac.±)
IMPERVIOUS AREA (EXISTING)	= 47,524 sq. ft.±	(1.091 ac.±)
IMPERVIOUS AREA TO BE REMOVED (EXISTING)	= 12,502 sq. ft.±	(0.287 ac.±)
IMPERVIOUS AREA (PROPOSED)	= 32,025 sq. ft.±	(0.735 ac.±)
IMPERVIOUS AREA (TOTAL)	= 67,047 sq. ft.±	(1.539 ac.±) (43.8%)
LANDSCAPE AREA (REQUIRED) (50%)	= 76,562 sq. ft.±	(1.758 ac.±)
LANDSCAPE AREA (EXISTING)	= 105,590 sq. ft.±	(2.424 ac.±)
LANDSCAPE AREA (PROPOSED)	= 86,076 sq. ft.±	(1.976 ac.±) (56.2%)

#### PARKING REQUIREMENTS

EXISTING PARKING (PRIOR TO REDEVELOPMENT)		46 SPACES
BUSINESS (SECTION 18-1-83.C.(1)(a)):	REQUIRED	PRACTICAL
1 space/350 sq. ft. of FLOOR AREA		
1 space/350 sq. ft. X 7,610 sq. ft.	22 SPACES	22 SPACES
GROUP DWELLING (SECTION 18-1-83.E.(7)):		
1 space/dwelling room		
EWING (6 sleeping rooms)	6 SPACES	(1 driving)
RIDGES (5 sleeping rooms)	5 SPACES	(1 driving)
INSTITUTIONAL (SECTION 18-1-83.E.(1)(a)(b)):		
1 space/3 patrons + 1/employee		
ASSEMBLY	77 SPACES	132 SPACES
I-4	89 SPACES	52 SPACES
STAFF	30 SPACES	30 SPACES
	30 daily staff members	
PARKING (REQUIRED)	180 SPACES	87 SPACES
PARKING (PROVIDED)		89 SPACES
		(18 EXISTING SPACES)
		(71 PROPOSED SPACES)

#### FOREST PROTECTION/CLEARING

TOTAL TRACT AREA:	= 3.52 ac.±
EXISTING WOODLANDS	= 0.24 ac.±
REQUIRED FOREST AFForestation (15%)	= 0.53 ac.±
REQUIRED FOREST CONSERVATION (20%)	= 0.70 ac.±
PROPOSED WOODLANDS CLEARING	= 0.00 ac.±
REFORESTATION REQUIRED	= 0.00 ac.±
AFForestation REQUIRED	= 0.29 ac.±
TOTAL AFForestation REQUIRED	= 0.29 ac.±

NOTE:  
SEE FOREST CONSERVATION PLAN FOR PROPOSED AFForestation AREAS AND REQUIRED FOREST PROTECTION SIGNAGE AND FENCING.



VICINITY MAP  
SCALE 1" = 2000'

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#### OWNER/DEVELOPER:

CHESTERWYE CENTER, INC.  
ATTENTION: MR. DANIEL BUNCORI  
P.O. BOX 96  
GRASONVILLE, MARYLAND 21638  
PHONE: 410-827-7048

#### ENGINEER:

DMS & ASSOCIATES, LLC  
P.O. BOX 80  
CENTREVILLE, MARYLAND 21617  
PHONE No. 1-443-262-9130

#### INSPECTION REQUIREMENTS DURING CONSTRUCTION

- FOR PONDS:
  - UPON COMPLETION OF EXCAVATION TO SUB-FOUNDATION AND WHEN REQUIRED, INSTALLATION OF STRUCTURAL SUPPORTS OR REINFORCEMENT FOR STRUCTURES, INCLUDING BUT NOT LIMITED TO:
    - CORE TRENCHES FOR STRUCTURAL EMBANKMENTS
    - INLET AND OUTLET STRUCTURES, ANTI-SEEP COLLARS OR DIAPHRAGMS, AND WATER TIGHT CONNECTORS ON PIPES, AND
    - TRENCHES FOR ENCLOSED STORM DRAINAGE FACILITIES;
  - DURING PLACEMENT OF STRUCTURAL FILL, CONCRETE, AND INSTALLATION OF PIPING AND CATCH BASINS;
  - DURING BACKFILL OF FOUNDATIONS AND TRENCHES;
  - DURING EMBANKMENT CONSTRUCTION; AND
  - UPON COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF PERMANENT STABILIZATION.
- NOTE:  
AN AS-BUILT SURVEY OF THE STORMWATER MANAGEMENT FACILITY WILL BE PERFORMED AND IF THE AS-BUILT DOES NOT SUBSTANTIALLY REFLECT THE STORMWATER FACILITY DESIGN, THE CONTRACTOR SHALL MAKE ANY CHANGES OR ADDITIONS TO BRING THE STORMWATER POND IN COMPLIANCE WITH THE DESIGN AS DIRECTED BY THE ENGINEER OF QUEEN ANNE'S COUNTY DEPARTMENT OF PUBLIC WORKS.

#### MAINTENANCE SCHEDULE

THE OWNER OF THE PROPERTY WILL ESTABLISH AN INSPECTION AND MAINTENANCE LOG. UPON COMPLETION OF THE STORM WATER MANAGEMENT FACILITIES, THE LOG WILL BE UPDATED QUARTERLY OR AFTER ANY MAJOR STORM. THIS LOG WILL BE MADE AVAILABLE FOR REVIEW UPON REQUEST BY THE QUEEN ANNE'S CO. DEPARTMENT OF PUBLIC WORKS INSPECTION DIVISION.

STORMWATER POND  
THE INSPECTION WILL CONSIST OF, BUT NOT BE LIMITED TO, TRASH AND DEBRIS REMOVAL ON OR BLOCKING OUTLET GRITICE, INVASION OF INVASIVE PLANTS OR GRASSES, I.E. PHRAGMITES, REMOVAL OF DEAD PLANTINGS. THOSE AREAS IN THE IMMEDIATE VICINITY OF THE BASIN AND NOT PLANTED WITH LANDSCAPE MATERIAL, WILL CONSIST OF A MAINTAINED LAWN. THE HEADWALL STRUCTURE AND OUTFALL PIPES WILL BE INSPECTED FOR ANY SIGNS OF DAMAGE OR DEBRIS. THE RIP RAP PAD WILL HAVE ALL WEEDS AND UNSIGHTLY VEGETATION REMOVED WHEN NECESSARY.

#### ASBUILT CERTIFICATION

I HEREBY CERTIFY THAT THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THE "ASBUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

SIGNATURE \_\_\_\_\_ P.E. No. \_\_\_\_\_  
DATE \_\_\_\_\_

#### POND CONSTRUCTION CERTIFICATION

I HEREBY CERTIFY AN "AS-BUILT" SURVEY OF THE STORMWATER MANAGEMENT FACILITY WILL BE PERFORMED AND IN THE EVENT THE "AS-BUILT" FACILITY DOES NOT SUBSTANTIALLY REFLECT THE STORMWATER FACILITY DESIGN, I SHALL HAVE THE CONTRACTOR AND/OR THE SUBCONTRACTOR, MAKE THE NECESSARY CHANGES OR MODIFICATIONS TO BRING THE STORMWATER FACILITY IN COMPLIANCE WITH THE DESIGN AS DIRECTED BY THE ENGINEER OF QUEEN ANNE'S COUNTY DEPARTMENT OF PUBLIC WORKS.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
JOSEPH DOWNEY  
P.O. BOX 80  
CENTREVILLE, MARYLAND 21638

#### CERTIFICATION BY DEPARTMENT OF LAND USE, GROWTH MANAGEMENT & ENVIRONMENT

THIS IS TO CERTIFY THAT THIS MINOR SITE PLAN MSP#05-07-07-0001 WAS APPROVED BY THE DEPARTMENT OF LAND USE, GROWTH MANAGEMENT & ENVIRONMENT OF QUEEN ANNE'S COUNTY ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2007.

J. STEVEN COHOON, CHIEF OF LAND USE AND ZONING DATE \_\_\_\_\_

#### GENERAL NOTES

- THE EXISTING UTILITIES SHOWN WERE TAKEN FROM THE BEST AVAILABLE RECORDS. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATION PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE INCURRED TO SUCH UTILITIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL TEST PIT AS TO VERIFY THE LOCATION AND INVERT OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION AND SHALL COORDINATE CONSTRUCTION WITH THE UTILITY COMPANIES INVOLVED:
 

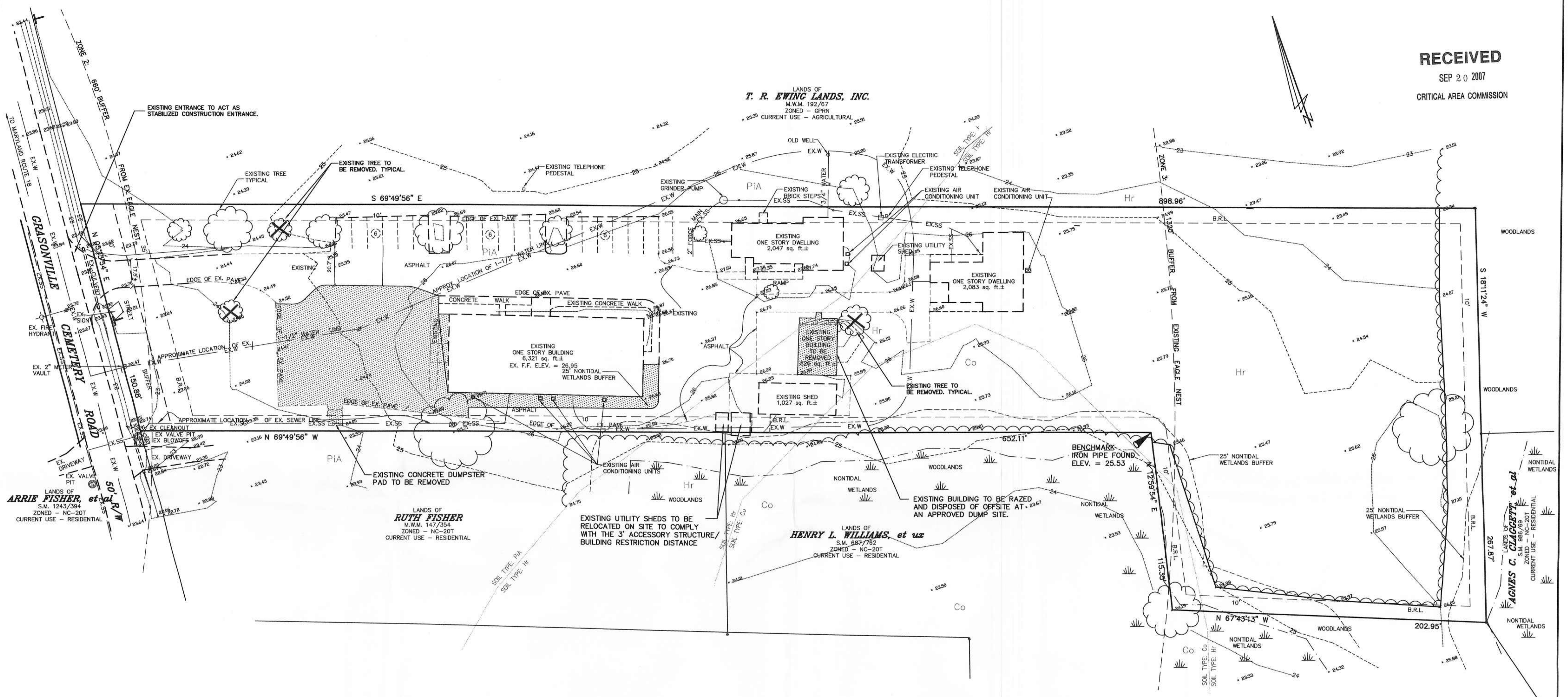
DELMARVA POWER & LIGHT COMPANY	1-800-375-7117
MISS UTILITY	1-800-441-8355
DMS & ASSOCIATES, LLC	1-443-262-9130
DEPARTMENT OF ENVIRONMENT	1-410-901-4020
O.A. COUNTY DEPT. OF PUBLIC WORKS	1-410-758-0925
O.A. COUNTY SANITARY DISTRICT	1-410-643-3535
- THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, LABOR, AND MATERIALS FOR ANY MISCELLANEOUS OR TEST PIT EXCAVATIONS REQUIRED BY THE ENGINEER.
- ALL CONSTRUCTION SHALL BE MARKED FOR TRAFFIC AND PEDESTRIAN SAFETY. ALL SIGNS SHALL BE PLACED IN ACCORDANCE WITH SECTION VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH QUEEN ANNE'S COUNTY STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR ASSUMES ALL RESPONSIBILITIES FOR ANY DEVIATIONS FROM THESE PLANS, UNLESS SAID DEVIATION IS APPROVED BY THE ENGINEER. THE CONTRACTOR SHALL RECEIVE WRITTEN PERMISSION FROM THE ENGINEER IF A DEVIATION OF THE PLAN IS NECESSARY.
- ALL DISTURBED AREAS SHALL BE SMOOTHLY GRADED TO PROVIDE POSITIVE DRAINAGE IN THE DIRECTION OF FLOW ARROWS HEREIN AND STABILIZED WITH TOPSOIL, SEED, AND MULCH. IF SETTLEMENT OCCURS, TOPSOIL, SEEDING AND MULCHING SHALL BE REPEATED UNTIL SETTLEMENT SUBSIDES (SEE EROSION AND SEDIMENT CONTROL SPECIFICATIONS).
- ALL TRASH, TREES, AND UNDERBRUSH ARE TO BE CLEARED AND REMOVED OFF SITE TO AN APPROVED DUMP SITE BY THE CONTRACTOR.
- ANY EXCESS EXCAVATED MATERIAL SHALL BE REMOVED OFF SITE BY THE CONTRACTOR OR MATERIAL SHALL BE PLACED ON SITE AS DIRECTED BY THE ENGINEER AND/OR OWNER.
- ANY EXISTING SURVEY MONUMENTATION THAT IS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY A REGISTERED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- ALL FILL AREAS WITHIN LIMITS OF ROADWAY CONSTRUCTION AND OTHER AREAS AS DESIGNATED ON THESE PLANS SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY AND LAID AND COMPACTED IN 8" LIFTS MAXIMUM.
- TRENCHES SHALL NOT REMAIN OPEN OVERNIGHT. IF IT IS NECESSARY FOR TRENCHES TO REMAIN OPEN, STEEL PLATES, CAPABLE OF TRAFFIC BEARING, SHALL BE USED TO COMPLETELY COVER THE TRENCH.
- SEE ADDITIONAL SPECIFICATIONS PREPARED JANUARY, 1998, EDITION OF "SPECIFICATIONS FOR CONSTRUCTION OF SEWER COLLECTION, SEWER TRANSMISSION AND WATER DISTRIBUTION LINES", ON FILE WITH THE QUEEN ANNE'S COUNTY SANITARY DISTRICT. IN ADDITION, ALL HARDWARE (I.E., NUTS, BOLTS, WASHERS, RESTRAINING RODS, ETC.) SHALL BE 304 STAINLESS STEEL. CONTRACTOR IS TO REPLACE ANY PLAIN OR GALVANIZED STEEL HARDWARE SUPPLIED BY THE MANUFACTURER, INCLUDING BONNET BOLTS ON DIVISION VALVE, WITH STAINLESS STEEL.
- ALL SEWER VALVES, BOXES AND FRAMES & COVERS SHALL BE SET AND ADJUSTED TO FINISHED GRADE.
- CONTRACTOR IS TO SCHEDULE A PRECONSTRUCTION MEETING WITH QUEEN ANNE'S COUNTY ENGINEERS AND OTHER INVOLVED PARTIES AT LEAST TWO (2) WEEKS BEFORE CONSTRUCTION.
- CONTRACTOR MUST PROVIDE MONUMENTED SURVEY MARKERS PER PUBLIC WORKS AGREEMENT.
- THE DEVELOPER SHALL COORDINATE WITH THE COUNTY TO SCHEDULE INSTALLATION OF ALL NECESSARY ROADWAY SAFETY SIGNAGE AND ROAD NAME BLADES. SIGNAGE SHALL BE INSTALLED AT THE START OF CONSTRUCTION AND MAINTAINED BY THE COUNTY THROUGHOUT THE COMPLETION OF THE WORK AT THE EXPENSE OF THE DEVELOPER. THE DEVELOPER SHALL PAY INVOICES UPON RECEIPT FROM THE COUNTY.
- ALL PVC, PE, AND HDPE PIPE, OTHER THAN PIPE RUNS BETWEEN GRAVITY SEWER MANHOLES, SHALL HAVE A CONTINUOUS, SINGLE STRAND, 8-GAUGE UNCOATED COPPER TRACER WIRE LOCATED BENEATH THE PIPE. THE WIRE SHALL BE STUBBED INTO ALL METER PITS, VACUUM VALVE PITS, CLEANOUTS, AND DIVISION VALVE BOXES.
- ONCE CONSTRUCTION IS COMPLETE, AS-BUILT PLAN CERTIFICATION SHALL BE SUBMITTED BY EITHER A PROFESSIONAL ENGINEER OR PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF MARYLAND TO ENSURE ALL CONSTRUCTION IS IN COMPLIANCE WITH THE SPECIFICATIONS AND APPROVED PLANS.

MINOR SITE PLAN #05-07-07-0001

FOR SEDIMENT AND EROSION CONTROL, REVIEW ONLY	QUEEN ANNE'S COUNTY DEPARTMENT OF PUBLIC WORKS	PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAND SURVEYING BOARD OF MARYLAND, LICENSE NO. 17660. DATE: 9-18-07 SEAL:	<b>DAVIS, MOORE, SHEARON &amp; ASSOCIATES, LLC</b> ENGINEERING, DRAFTING/DESIGN, ENVIRONMENTAL SERVICES & SURVEYING P.O. BOX 80 CENTREVILLE, MARYLAND 21617 PHONE: 1-443-262-9130 FAX: 1-443-262-9148	DATE	REVISION	TITLE SHEET FOR <b>CHESTERWYE CENTER, INC.</b> TAX MAP - 58, GRID - 23, PARCEL - 484 FIFTH ELECTION DISTRICT, QUEEN ANNE'S COUNTY, MARYLAND PREPARED FOR : CHESTERWYE CENTER, INC.	DATE	SCALE
	U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE			QUEEN ANNE SOIL CONSERVATION DISTRICT	9-14-07		PER LUMBE COMMENTS OF 8-9-07	JUNE '07
						JOB No. 2005114		DRAWN BY WJM
						FOLDER Ref. 58-2005114		DESIGNED BY WTD, Jr.
						SHEET No. - C-1		
						CADD FILE - 05114-C1		



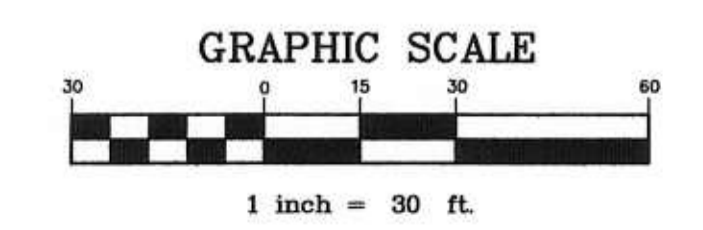
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**LEGEND**

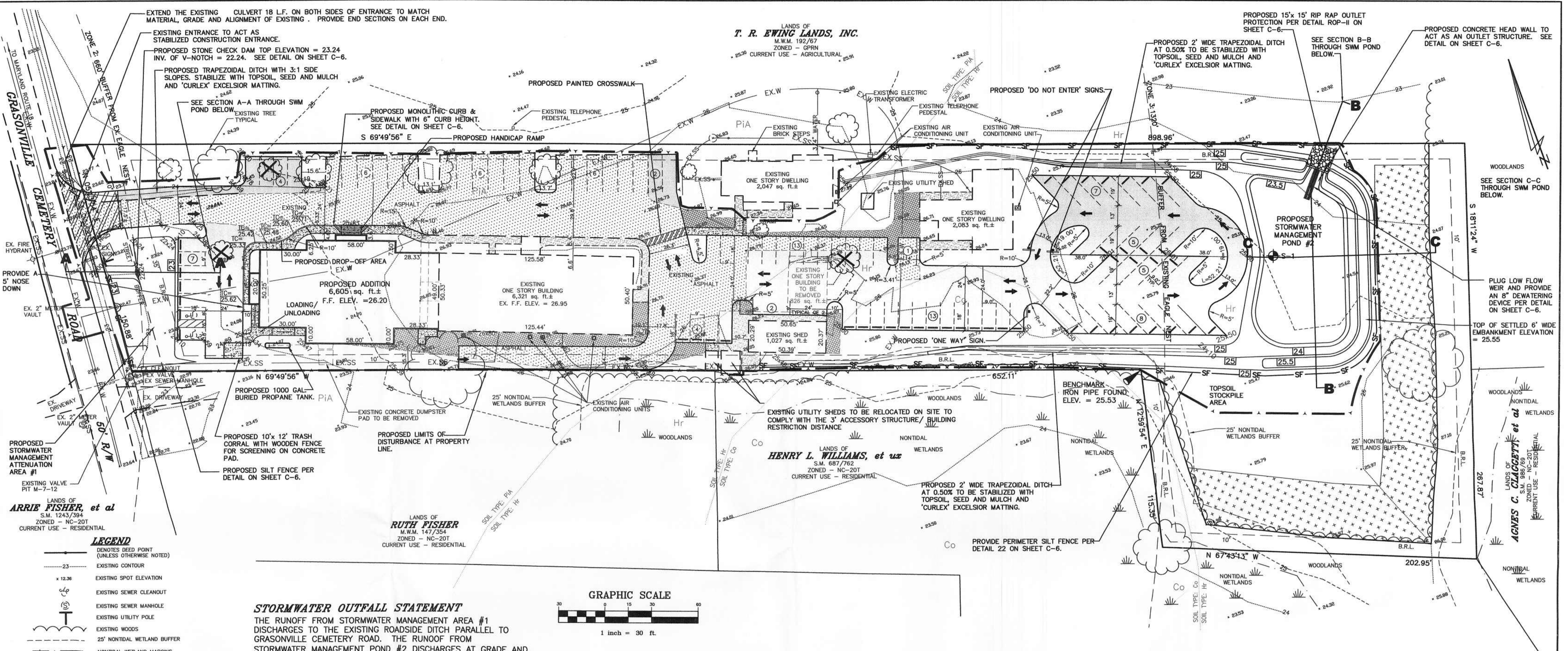
- DENOTES DEED POINT (UNLESS OTHERWISE NOTED)
- 23— EXISTING CONTOUR
- x 12.36 EXISTING SPOT ELEVATION
- Co EXISTING SEWER CLEANOUT
- Co EXISTING SEWER MANHOLE
- T EXISTING UTILITY POLE
- W EXISTING WOODS
- - - 25' NONTIDAL WETLAND BUFFER
- W NONTIDAL WETLAND MARGINS
- (6) NUMBER OF EXISTING PARKING SPACES
- ☼ EXISTING TREE
- ☼ EXISTING TREE TO BE REMOVED

AREA SHOWN [Hatched Box] DENOTES EXISTING PAVEMENT TO BE REMOVED AND DISPOSED OF OFFSITE AT AN APPROVED LANDFILL



FOR SEDIMENT AND EROSION CONTROL REVIEW ONLY	QUEEN ANNE'S COUNTY DEPARTMENT OF PUBLIC WORKS	PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17660	<b>DAVIS, MOORE, SHEARON &amp; ASSOCIATES, LLC</b> ENGINEERING, DRAFTING/DESIGN, ENVIRONMENTAL SERVICES & SURVEYING P.O. BOX 80 CENTREVILLE, MARYLAND 21617 PHONE : 1-443-262-9130 FAX : 1-443-262-9148	DATE 9-14-07	REVISION PER LOG SHEET COMMENTS OF 8-9-07
U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE	QUEEN ANNE'S COUNTY SOIL CONSERVATION DISTRICT	STATE OF MARYLAND WILLIAM THOMAS DRISCOLL REGISTERED PROFESSIONAL ENGINEER 9-18-07 DATE SEAL			
EXISTING CONDITIONS AND DEMOLITION PLAN			DATE JUNE '07		SCALE 1" = 30'
FOR			JOB No. 2005114	DRAWN BY W.M.	
<b>CHESTERWYE CENTER, INC.</b>			FOLDER Ref. 58-2005114	DESIGNED BY WTD, Jr.	
TAX MAP - 58, GRID - 23, PARCEL - 484			SHEET No. - C-2		
FIFTH ELECTION DISTRICT, QUEEN ANNE'S COUNTY, MARYLAND			CADD FILE - 05114-C2		
PREPARED FOR : CHESTERWYE CENTER, INC.					

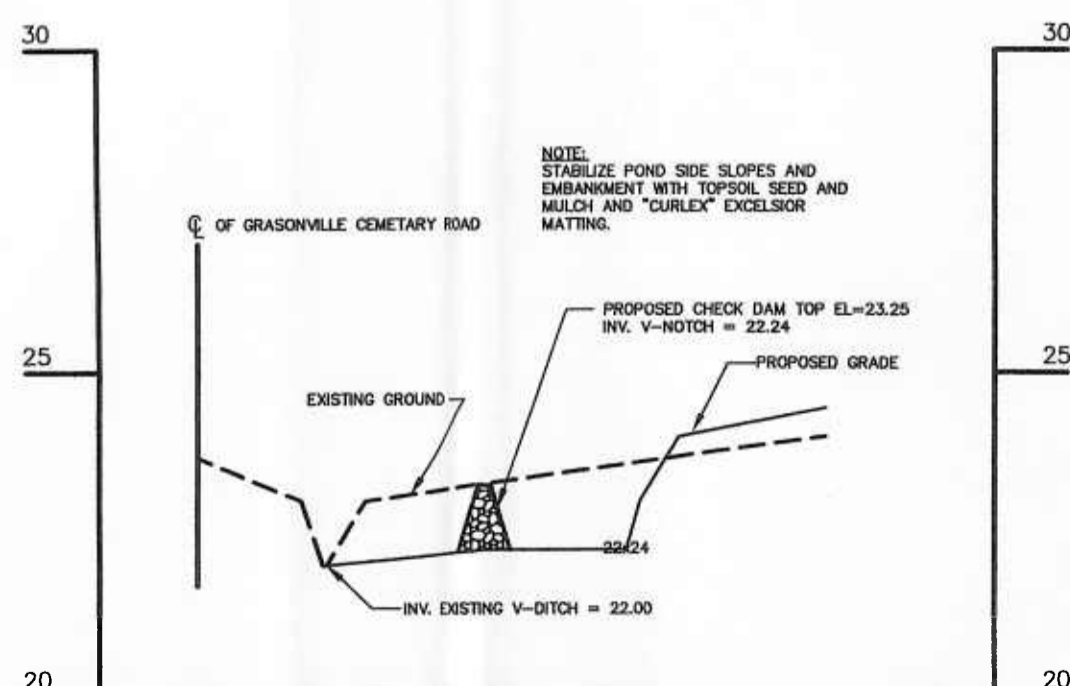
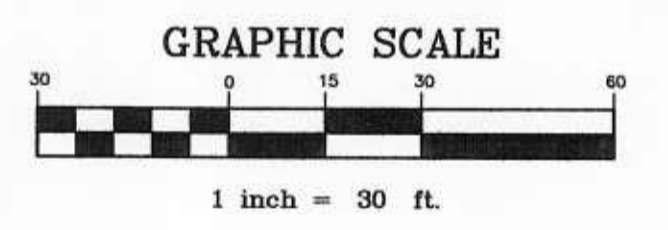




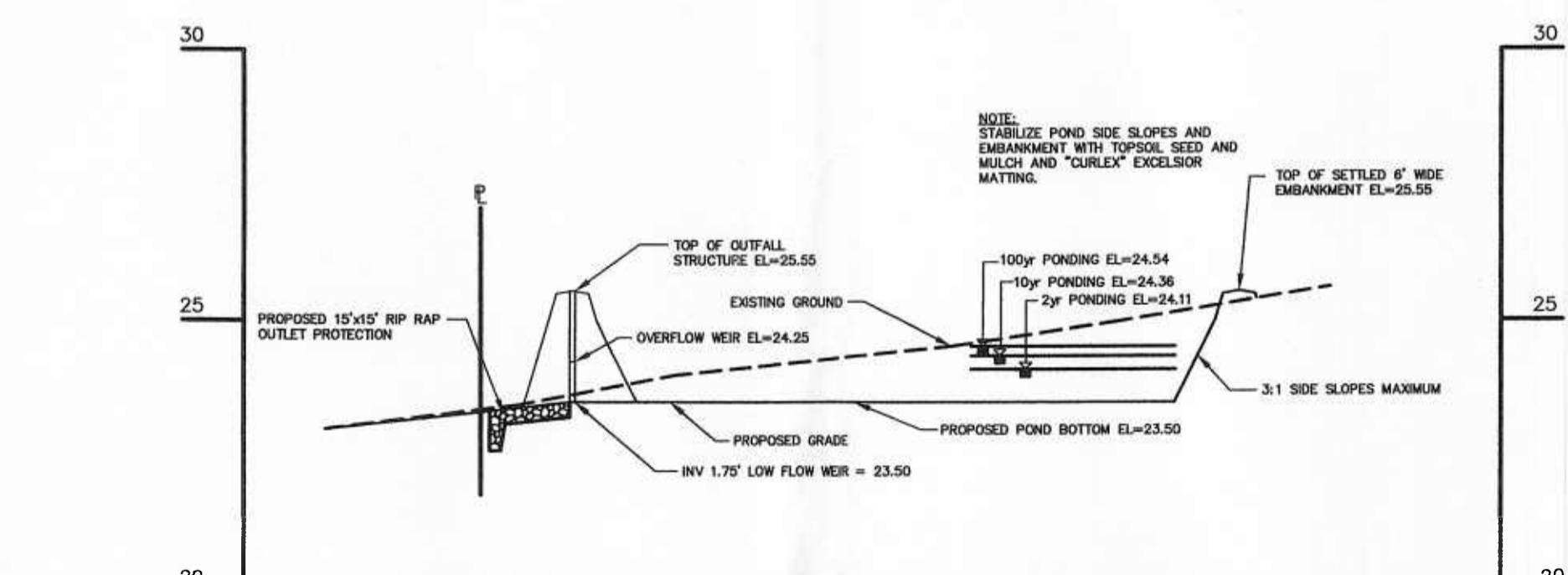
LANDS OF  
**ARRIE FISHER, et al**  
S.M. 1243/394  
ZONED - NC-207  
CURRENT USE - RESIDENTIAL

- LEGEND**
- DENOTES DEED POINT (UNLESS OTHERWISE NOTED)
  - 23 EXISTING CONTOUR
  - x 12.36 EXISTING SPOT ELEVATION
  - EXISTING SEWER CLEANOUT
  - EXISTING SEWER MANHOLE
  - EXISTING UTILITY POLE
  - EXISTING WOODS
  - 25' NONTIDAL WETLAND BUFFER
  - NONTIDAL WETLAND MARGINS
  - EX.SS EXISTING SANITARY SEWER LINES
  - EX.W EXISTING WATER LINES
  - PROPOSED CONTOUR
  - PROPOSED CONCENTRATED DRAINAGE FLOW
  - INTENDED SHEET FLOW
  - PROPOSED TRAFFIC FLOW
  - Y LIMITS OF DISTURBANCE
  - SF SILT FENCE
  - 25x83 PROPOSED SPOT ELEVATION
  - 2 NUMBER OF EXISTING PARKING SPACES
  - 2 NUMBER OF PROPOSED PARKING SPACES
  - EXISTING TREE
  - EXISTING TREE TO BE REMOVED
  - AREA SHOWN DENOTES EXISTING PAVEMENT TO BE REMOVED AND FILLED WITH TOPSOIL, SEEDED AND MULCHED.
  - AREA SHOWN SHALL BE 3-1/2" BITUMINOUS CONCRETE ON 6" CR-6, LAID AND COMPACTED ON COMPACTED FILL/SUBGRADE. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE QUEEN ANNE'S COUNTY DEPARTMENT OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
  - AREA SHOWN DENOTES EXISTING PAVEMENT TO BE MILLED TO A MINIMUM DEPTH OF 1-1/2" AND PAVED WITH A MINIMUM OF 1-1/2" BITUMINOUS CONCRETE SURFACE COURSE SHA MIX 9.5 mm. PROVIDE A LEVELING WEDGE AS NECESSARY TO RAISE EXISTING PAVE GRADES TO NEW DESIGN GRADES.
  - AREA SHOWN DENOTES EXISTING CONCRETE SIDEWALK
  - AREA SHOWN DENOTES PROPOSED CONCRETE SIDEWALK
  - AREA SHOWN DENOTES 0.29 ACRES OF PROTECTED AFFORESTATION TO MEET FOREST CONSERVATION REQUIREMENTS. SEE FOREST CONSERVATION PLAN FOR PLANTING AREA INFORMATION AND REQUIREMENTS.
  - AREA SHOWN DENOTES ENTRANCE PAVED IN ACCORDANCE WITH QUEEN ANNE'S CO. STANDARDS (3" BASE COURSE SHA MIX 19 mm AND 1-1/2" SURFACE COURSE SHA MIX 9.5 mm) ON 6" CR-6 ON COMPACT FILL/SUBGRADE.

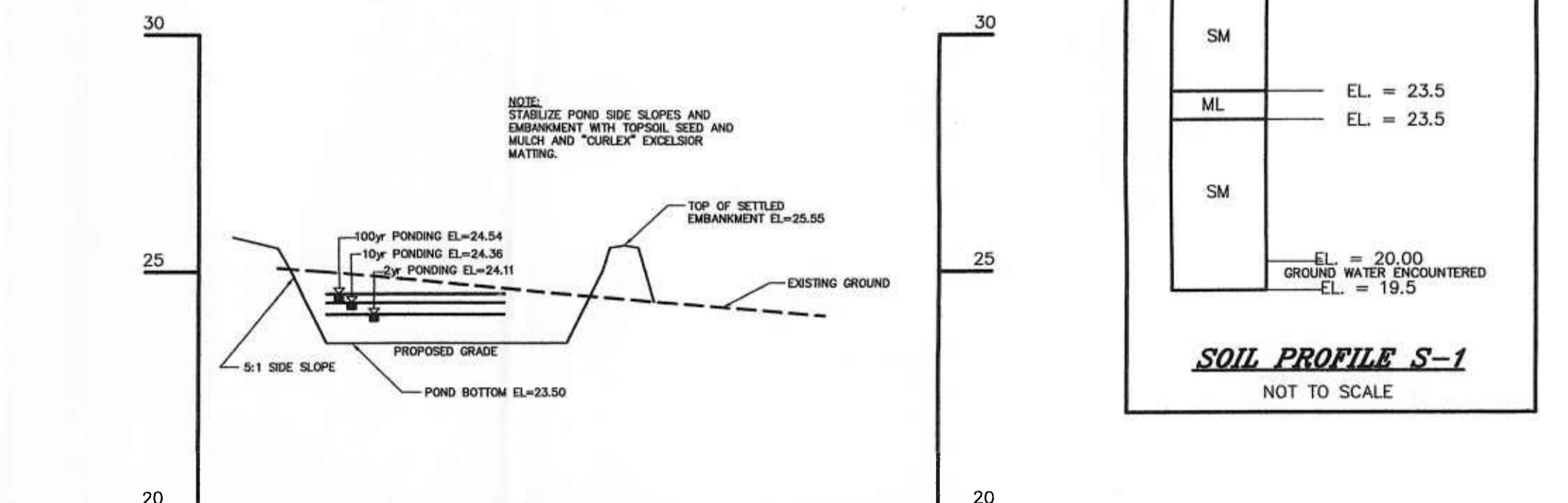
**STORMWATER OUTFALL STATEMENT**  
THE RUNOFF FROM STORMWATER MANAGEMENT AREA #1 DISCHARGES TO THE EXISTING ROADSIDE DITCH PARALLEL TO GRASONVILLE CEMETERY ROAD. THE RUNOFF FROM STORMWATER MANAGEMENT POND #2 DISCHARGES AT GRADE AND DRAINS ACROSS THE AGRICULTURAL FIELD ON THE LANDS OF EWING. A FIELD INVESTIGATION DONE BY DMS & ASSOCIATES, LLC DISCOVERED THAT THE EXISTING OUTFALLS ARE FREE FROM EROSION AND NO EROSION IS EXPECTED TO OCCUR AS A RESULT OF THE PROPOSED DEVELOPMENT AS THE RUNOFF FROM THE 2-YEAR 24-HOUR STORM EVENT IS CONTROLLED TO WITHIN +/- 10% OF EXISTING LEVELS.



**SECTION A-A**  
STORMWATER MANAGEMENT AREA #1  
SCALE: VERTICAL: 1"=3'  
HORIZONTAL: 1"=30'



**SECTION B-B**  
STORMWATER MANAGEMENT AREA #2  
SCALE: VERTICAL: 1"=3'  
HORIZONTAL: 1"=30'



**SECTION C-C**  
STORMWATER MANAGEMENT AREA #2  
SCALE: VERTICAL: 1"=3'  
HORIZONTAL: 1"=30'

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#S-1 DENOTES SOIL PROFILE LOCATION  
EX. GROUND EL. = 25.0

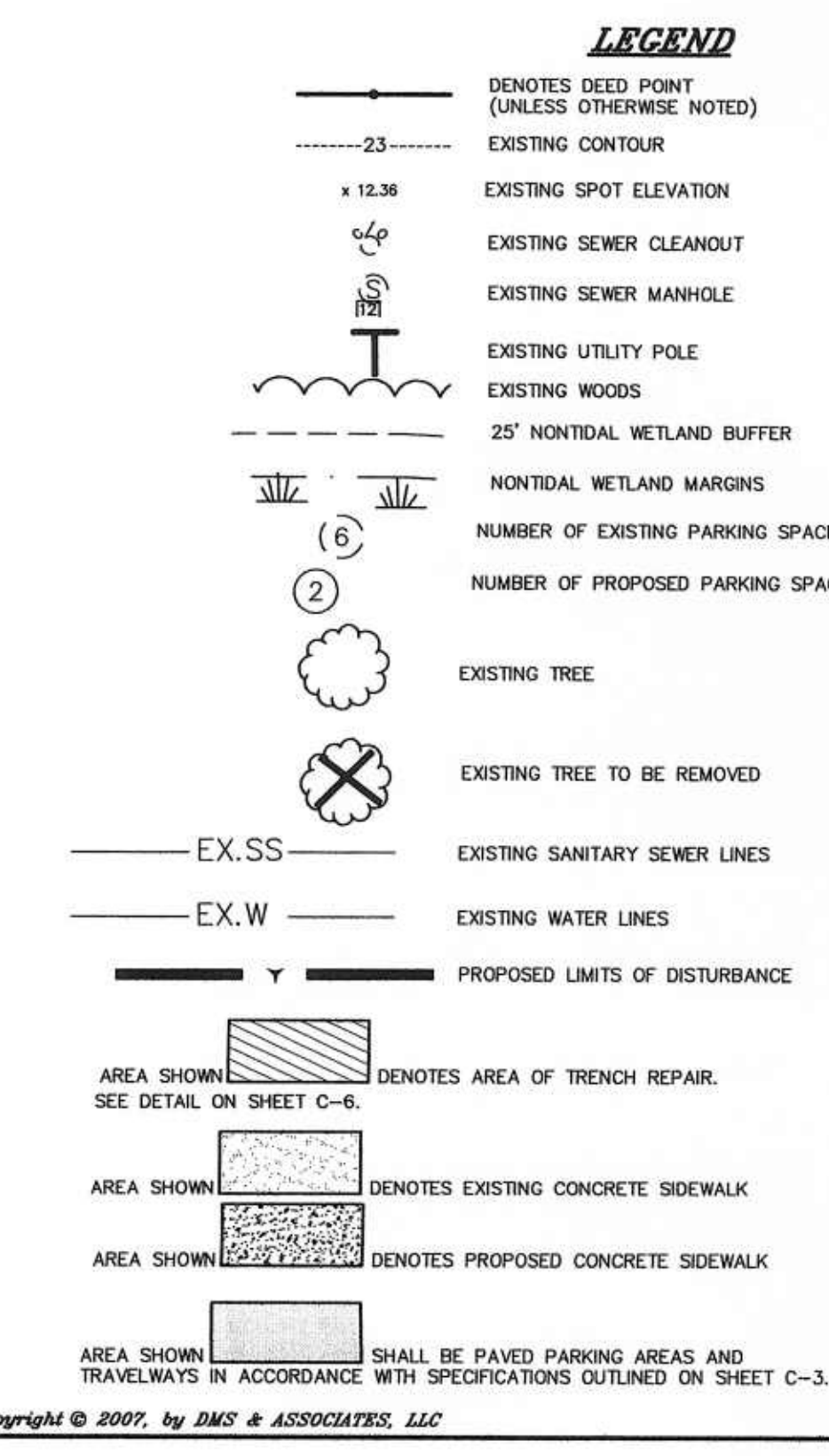
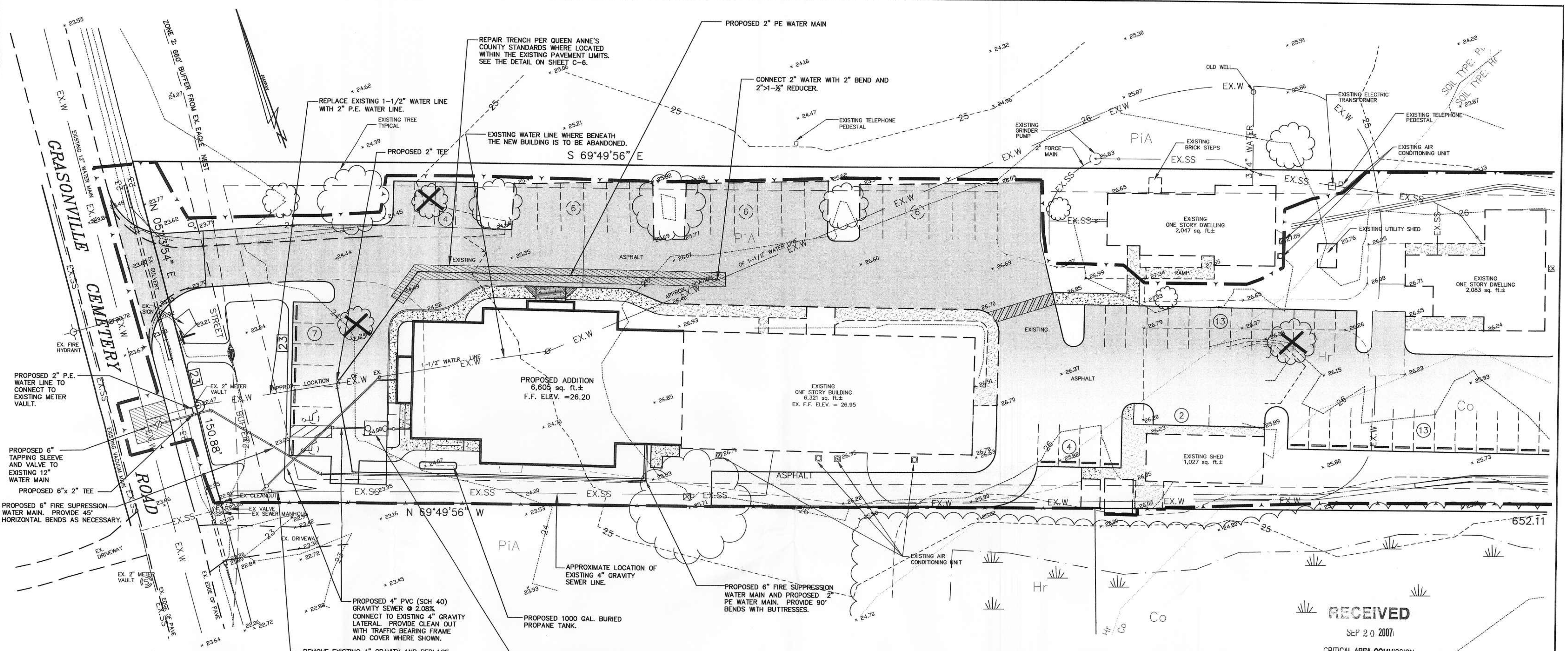
SM	EL. = 23.5
ML	EL. = 23.5
SM	EL. = 20.00
GROUND WATER ENCOUNTERED EL. = 19.5	

**SOIL PROFILE S-1**  
NOT TO SCALE

**NOTE:**  
FOLLOWING INITIAL DISTURBANCE, PERMANENT OR TEMPORARY, STABILIZATION SHALL BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS ON ALL PERIMETER CONTROLS AND SLOPES GREATER THAN 3:1 AND FOURTEEN (14) DAYS ON ALL OTHER DISTURBED AREAS ON THE SITE. SEDIMENT AND EROSION CONTROL WILL BE STRICTLY ENFORCED.

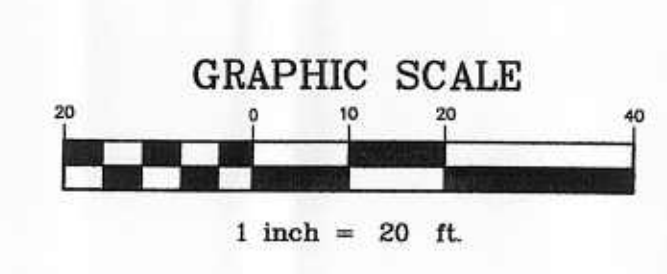
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17660.  DATE: 9-18-07 SEAL	DAVIS, MOORE, SHEARON & ASSOCIATES, LLC ENGINEERING, DRAFTING/DESIGN, ENVIRONMENTAL SERVICES & SURVEYING P.O. BOX 80 CENTREVILLE, MARYLAND 21617 PHONE: 1-443-262-9130 FAX: 1-443-262-9148	DATE: 9-14-07 REVISION: PER LUMBER COMMENTS OF 8-9-07 SITE AND GRADING PLAN	DATE: JUNE '07 SCALE: 1" = 30' JOB No.: 2005114 DRAWN BY: WJM FOLDER Ref.: 58-2005114 DESIGNED BY: WTD, Jr. SHEET No.: C-3 CADD FILE - 05114-C3
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**WATER CONNECTION NOTES**

- EXISTING 1-1/2" WATER TO BE ABANDONED. CLOSE THE EXISTING CORPORATION STOP AND CAP THE EXISTING 1-1/2" WATER LATERAL AT THE 12" MAIN.
- PROVIDE A 6" TAPPING SLEEVE AND VALVE TO CONNECT THE NEW WATER SERVICE TO THE EXISTING 12" MAIN.
- PROVIDE A 6"x 2" TEE AND CONNECT THE 2" LINE TO THE EXISTING 1-1/2" METER.
- CONNECT TO THE METER AND EXTEND THE 2" LINE FROM THE METER APPROXIMATELY 65' L.F. ON SITE TO A 2"x 2" TEE WITH A 2" LINE TO CONNECT TO THE NEW BUILDING AND A 2" LINE TO EXTEND AROUND THE NEW BUILDING TO CONNECT TO THE EXISTING 1-1/2" WATER SERVICE WITH A 2" 45° BEND AND A 2" > 1-1/2" REDUCER. REMOVE EXISTING 1-1/2" WATER LINE AS NECESSARY.



**General Notes**

- Two weeks prior to the intended start of construction, the Contractor shall notify the Sanitary District and shall schedule a pre construction meeting (410-643-3335).
- All materials and methods of construction shall be in accordance with the 1998 edition of "Specifications for Construction of Sewer Collection, Sewer Transmission, and Water Distribution Lines" available from the Sanitary District.
- Two days prior to initiating construction, Contractor to contact Miss Utility (1-800-441-8305) and the Sanitary District and submit all cut sheets and an approximate schedule of work.
- The Owner, via the Contractor, shall provide one division valve key and one fire hydrant wrench for every five, or fraction thereof, water division valves or fire hydrants placed in the project. One meter pit key shall be provided for every ten, or fraction thereof, meter pits placed in the project.
- No water construction may begin until site is excavated to subgrade.
- Refer to Sanitary District Specifications for allowable water main and service lateral materials.

**Testing Requirements**

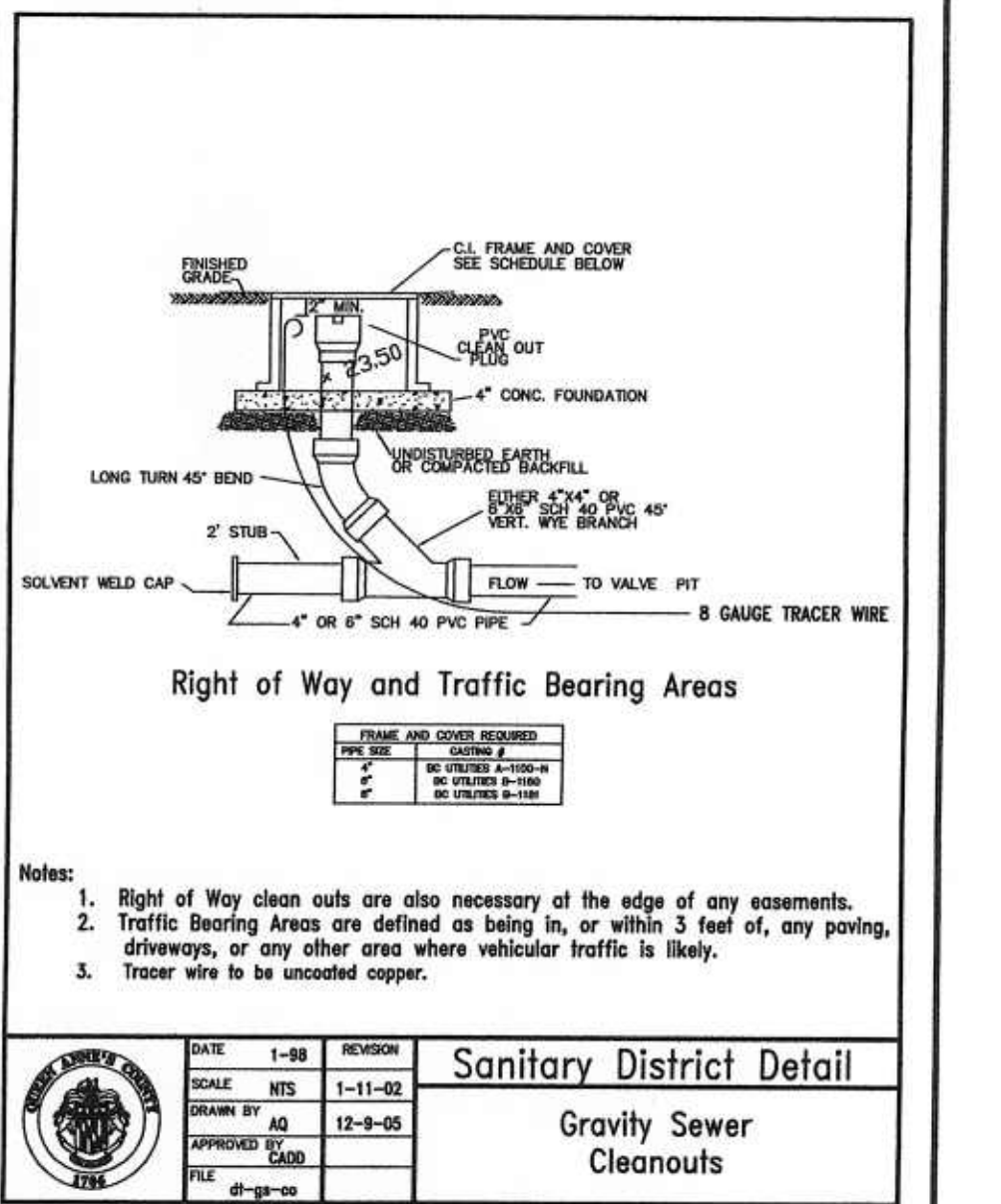
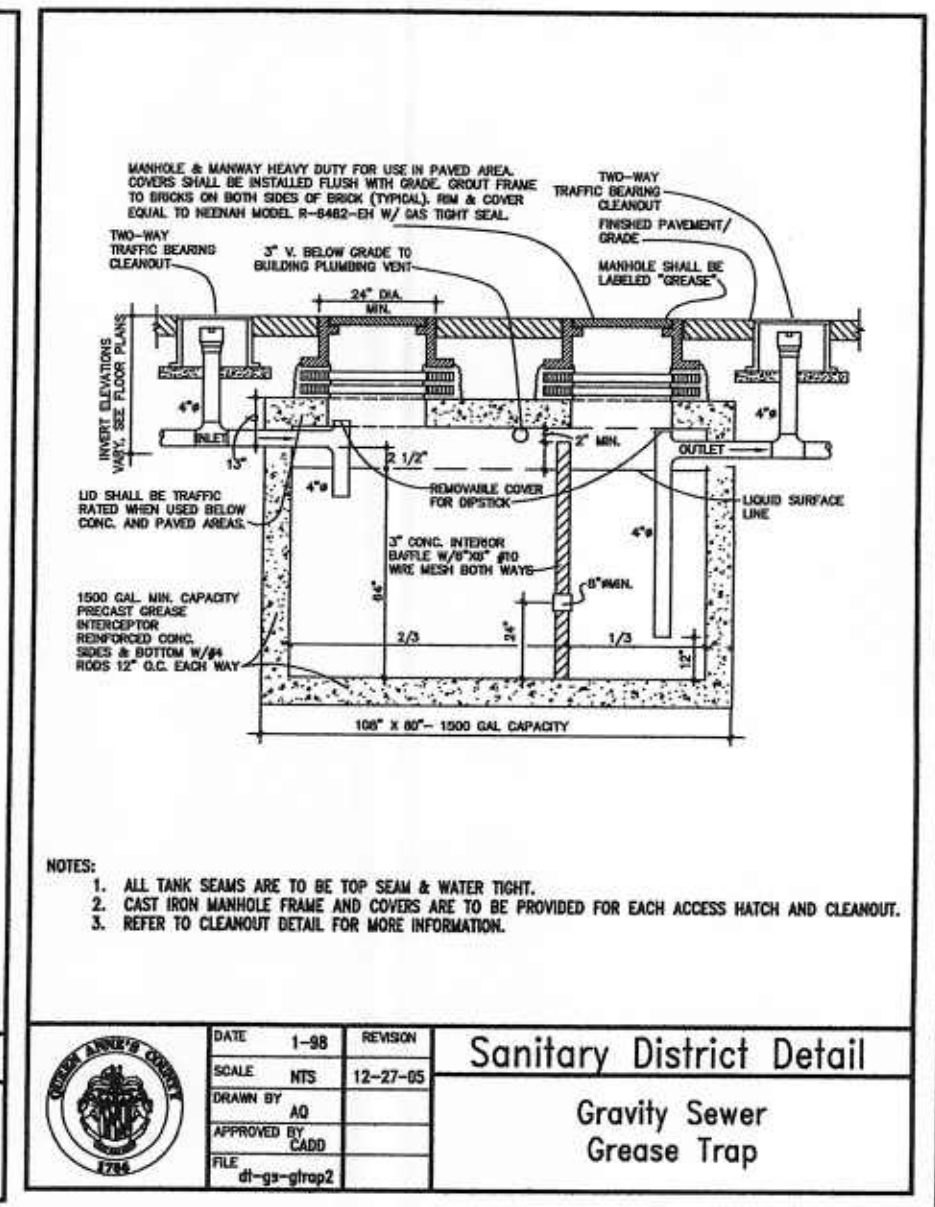
- A pressure test shall be applied prior to any service taps being installed. A test pressure of 150 psi shall be sustained for 15 minutes of no loss in order to pass.
- A leak test shall be applied after all service taps are installed. A test pressure of 70 psi shall be sustained for 24 hours with an allowable loss as specified in the Sanitary District specifications.
- After passing the leak test, the mains shall be disinfected by having an initial free chlorine residual of 50 ppm at the start of the test and having in excess of 25 ppm of free chlorine after 24 hours.
- Upon passing the disinfection Contractor to arrange for sampling and bacteriological testing by an approved, lab after disinfection and flushing.

**General Notes**

- Two weeks prior to the intended start of construction, the Contractor shall notify the Sanitary District and shall schedule a pre construction meeting (410-643-3335).
- All materials and methods of construction shall be in accordance with the 1998 edition of "Specifications for Construction of Sewer Collection, Sewer Transmission, and Water Distribution Lines" available from the Sanitary District.
- Two days prior to initiating construction, Contractor to contact Miss Utility (1-800-441-8305) and the Sanitary District and submit all cut sheets and an approximate schedule of work.
- The Owner, via the Contractor, shall provide one division valve key for every five, or fraction thereof, division valves placed in the project.
- No sewer construction may begin until site is excavated to subgrade.
- All vacuum mains shall be schedule 40 non cellular core, solvent weld, PVC. Refer to Sanitary District Specifications for all other material requirements.

**Testing Requirements**

- Vacuum Sewer - A two hour vacuum sewer test will be conducted daily by 5:00 p.m. Once a test has been satisfied, the trench is to be back filled by close of day. A vacuum cart is available for rent from the Sanitary District at a rate of \$100 per two hour test. Contractor must provide all necessary fittings for connection. Vacuum of 24 inches mercury shall be maintained with a maximum allowable loss of 1% per hour.
- Vacuum Sewer Final - A four hour vacuum test shall be conducted once all construction is complete and utility trenches have been permanently stabilized. A vacuum cart is available for rent from the Sanitary District at a rate of \$200 per four hour test. Contractor must provide all necessary fittings for connection. Vacuum of 24 inches shall be maintained with a maximum loss of 1% per hour.
- Gravity Sewer - Sewers are to be flushed and pressure tested in accordance with Sanitary District Specifications.



<p><b>Sanitary District Detail</b></p> <p>General Notes Water</p> <p>DATE: 1-88 SCALE: NTS DRAWN BY: AD APPROVED BY: [Signature] FILE: 01-01-0106</p>	<p><b>Sanitary District Detail</b></p> <p>General Notes Sewer</p> <p>DATE: 1-88 SCALE: NTS DRAWN BY: AD APPROVED BY: [Signature] FILE: 01-01-0106</p>
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<p><b>Sanitary District Detail</b></p> <p>Gravity Sewer Grease Trap</p> <p>DATE: 1-88 SCALE: NTS DRAWN BY: AD APPROVED BY: [Signature] FILE: 01-01-0106</p>	<p><b>Sanitary District Detail</b></p> <p>Gravity Sewer Cleanouts</p> <p>DATE: 1-88 SCALE: NTS DRAWN BY: AD APPROVED BY: [Signature] FILE: 01-01-0106</p>
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<p><b>UTILITY PLAN &amp; DETAILS</b></p> <p>FOR <b>CHESTERWYE CENTER, INC.</b></p> <p>TAX MAP - 58, GRID - 23, PARCEL - 484 FIFTH ELECTION DISTRICT, QUEEN ANNE'S COUNTY, MARYLAND PREPARED FOR: CHESTERWYE CENTER, INC.</p>	<p>DATE: JUNE '07 JOB No.: 2005114 FOLDER Ref.: 58-2005114 SHEET No.: C-4 CADD FILE - 05114-C4</p>
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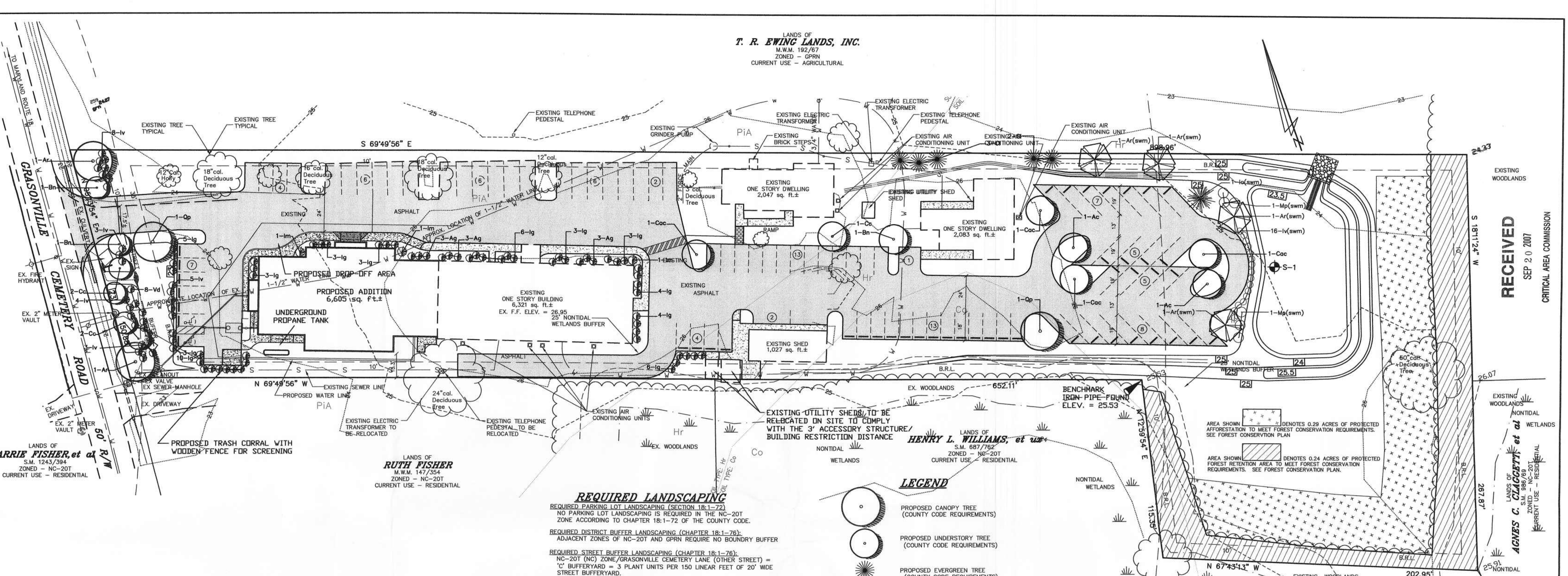
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**DAVIS, MOORE, SHEARON & ASSOCIATES, LLC**  
ENGINEERING, DRAFTING/DESIGN, ENVIRONMENTAL SERVICES & SURVEYING  
P.O. BOX 80  
CENTREVILLE, MARYLAND 21617  
PHONE: 1-443-262-9130  
FAX: 1-443-262-9148

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THE PLANS AND SPECIFICATIONS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MARYLAND, LICENSE NO. 17660  
DATE: 9-18-07  
SEAL



LANDS OF  
**T. R. EWING LANDS, INC.**  
M.M. 192/67  
ZONED - GRPN  
CURRENT USE - AGRICULTURAL



RECEIVED  
SEP 20 2007  
CRITICAL AREA COMMISSION

LANDS OF  
**ARRIE FISHER, et al**  
S.M. 1243/394  
ZONED - NC-20T  
CURRENT USE - RESIDENTIAL

LANDS OF  
**RUTH FISHER**  
M.W.M. 147/354  
ZONED - NC-20T  
CURRENT USE - RESIDENTIAL

LANDS OF  
**HENRY L. WILLIAMS, et al**  
S.M. 687/762  
ZONED - NC-20T  
CURRENT USE - RESIDENTIAL

LANDS OF  
**AGNES C. CLAGGETT, et al**  
S.M. 686/207  
ZONED - NC-20T  
CURRENT USE - RESIDENTIAL

**PLANTING SPECIFICATIONS**

- A. MATERIALS**
- (1) PLANTS SHALL BE NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. THEY SHALL HAVE BEEN ROOT PRUNED WITHIN THE LAST TWO YEARS.
  - THEY SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE, PEST, EGGS OR LARVAE, AND SHALL HAVE A HEALTHY, DEVELOPED ROOT SYSTEM.
  - PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH A DAMAGED OR CROOKED LEADER OR MULTIPLE LEADERS, ABRASIONS ON THE BARK, SUNSCALD, DISFIGURING KNOTS OR FRESH CUTS OVER 1 1/2" WILL BE REJECTED.
  - NO CHANGE IN QUANTITY, SIZE, KIND OR QUALITY OF PLANT SPECIFIED WILL BE PERMITTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT/DESIGNER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE PLANT COUNT AND IN ANY INSTANCE WHERE THERE IS A DISCREPANCY BETWEEN THE PLAN VIEW AND THE LANDSCAPE SCHEDULE, THE PLAN VIEW SHALL PRESIDE.
  - (2) TOPSOIL SHALL BE FERTILE, FRIABLE AND TYPICAL OF THE LOCALITY; IT SHALL BE FREE OF STONES, LUMPS, PLANTS, ROOTS, STICKS AND SHALL NOT BE DELIVERED IN A FROZEN OR MUDDY CONDITION.
  - (3) PLANTING SOIL (BACKFILL MIX) SHALL BE FIVE PARTS TOPSOIL AND ONE PART WET LOOSE PEATMOSS.
  - (4) STAKING MATERIALS: GUY WIRE SHALL BE PLIABLE 12 GAUGE GALVANIZED TWISTED TWO-STRAND WIRE. HOSE SHALL BE A SUITABLE LENGTH OF TWO-PLY, REINFORCED BLACK RUBBER HOSE 3/4" INCH IN DIAMETER; STAKES SHALL CONFORM TO THE DETAIL ON THIS SHEET.
- B. APPLICABLE SPECIFICATIONS AND STANDARDS:**
- (1) "STANDARDIZED PLANT NAMES," LATEST EDITION AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE.
  - (2) "AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, AMERICAN ASSOCIATION OF NURSERYMEN. PLANT MATERIALS AND INSTALLATION SHALL CONFORM TO THE MOST RECENT PUBLICATION OF "LANDSCAPE CONTRACTORS ASSOCIATION OF MD, DC, AND VA SPECIFICATIONS AND GUIDELINES".
- C. DIGGING AND HANDLING OF PLANT MATERIALS:**
- (1) IMMEDIATELY BEFORE DIGGING, SPRAY ALL EVERGREEN OR DECIDUOUS PLANT MATERIAL IN FULL LEAF WITH ANTI-DESICCANT, APPLYING AN ADEQUATE FILM OVER TRUNKS, BRANCHES, TWIGS, AND/OR FOLIAGE.
  - (2) DIG BALL AND BURLAP (B&B) PLANTS WITH FIRM NATURAL BALLS OF EARTH, OF DIAMETER NOT LESS THAN THAT RECOMMENDED BY AMERICAN STANDARD FOR NURSERY STOCK, AND IF SUFFICIENT DEPTH TO INCLUDE THE FIBROUS AND FEEDING ROOTS. PLANTS MOVED WITH A BALL WILL NOT BE ACCEPTED IF THE BALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATIONS.
- D. EXCAVATION OF PLANTING AREAS:**
- BEFORE ANY DIGGING/EXCAVATION IS BEGUN ON SITE, THE CONTRACTOR IS TO VERIFY THE LOCATION OF UNDERGROUND/OVERHEAD UTILITIES IN THE VICINITY OF AREAS TO BE PLANTED AND ADJUST LOCATIONS OF ANY PLANTS IN CONFLICT WITH NEWLY INSTALLED UTILITIES.
- STAKE OUT ON THE GROUND LOCATIONS FOR PLANTS AND OUTLINES OF AREA TO BE PLANTED AND OBTAIN APPROVAL OF THE LANDSCAPE ARCHITECT/DESIGNER BEFORE EXCAVATION IS BEGUN.
- E. PLANTING OPERATIONS:**
- SET PLANTS AT SAME RELATIONSHIP TO FINISHED GRADE AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. USE PLANTING SOIL TO BACKFILL APPROXIMATELY 2/3 FULL, WATER THOROUGHLY BEFORE INSTALLING REMAINDER OF THE PLANTING SOIL TO TOP OF PIT, ELIMINATING ALL AIR POCKETS.
- SET PLANTING PLUMB AND BRACE RIGIDLY IN POSITION UNTIL THE PLANTING SOIL HAS BEEN STAMPED SOLIDLY AROUND THE BALL AND ROOTS. CUT ROPES OR STRINGS FROM TOP OF BALL AFTER PLANT HAS BEEN SET. LEAVE BURLAP OR CLOTH WRAPPING INTACT AROUND BALLS. TURN UNDER AND BURY PORTIONS OF BURLAP AT TOP OF BALL.
- PROTECT PLANTS AT ALL TIMES FROM SUN OR DRYING WINDS. PLANTS THAT CANNOT BE PLANTED IMMEDIATELY ON DELIVERY SHALL BE KEPT IN THE SHADE, WELL PROTECTED WITH SOIL, WET MOSS OR OTHER ACCEPTABLE MATERIAL AND SHALL BE KEPT WELL WATERED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN THREE DAYS AFTER DELIVERY.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL ONLY. MULCH ALL PITS AND BEDS WITH A TWO INCH LAYER OF BARKMULCH IMMEDIATELY AFTER PLANTING AND WORK INTO THE TOP THREE INCHES OF THE PLANTING SOIL. FORM A 3" EARTH SAUCER AROUND EACH PLANT. WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
- F. STAKING AND PRUNING:**
- STAKING SHALL BE COMPLETED IMMEDIATELY AFTER PLANTING. PLANTS SHALL STAND PLUMB AFTER STAKING. STAKES AND GUY WIRES SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD AND DEPOSITED OFF SITE BY THE CONTRACTOR. REMOVE ALL DEAD WOOD, SUCKERS, OR BROKEN BRANCHES AND PRESERVE THE NATURAL CHARACTER OF THE PLANT. OF THE PLANT.
- G. GUARANTEE:**
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE (1) FULL YEAR FROM THE DATE THAT THE LANDSCAPE INSTALLATION IS ACCEPTED AS COMPLETE. PLANT MATERIAL NOT FOUND TO BE IN A HEALTHY, VIGOROUS CONDITION AT THE BEGINNING OF THE SECOND GROWING SEASON IS TO BE REPLACED.

**REQUIRED LANDSCAPING**

**REQUIRED PARKING LOT LANDSCAPING (SECTION 18-1-72)**  
NO PARKING LOT LANDSCAPING IS REQUIRED IN THE NC-20T ZONE ACCORDING TO CHAPTER 18-1-72 OF THE COUNTY CODE.

**REQUIRED DISTRICT BUFFER LANDSCAPING (CHAPTER 18-1-76)**  
ADJACENT ZONES OF NC-20T AND GRPN REQUIRE NO BOUNDARY BUFFER

**REQUIRED STREET BUFFER LANDSCAPING (CHAPTER 18-1-76)**  
NC-20T (NO) ZONE/GRASONVILLE CEMETERY LANE (OTHER STREET) = 'C' BUFFERYARD = 3 PLANT UNITS PER 150 LINEAR FEET OF 20' WIDE STREET BUFFERYARD.

150.88 LINEAR FEET FRONTAGE ON CEMETERY LANE  
-20' WIDE ENTRANCE  
130.88 LINEAR FEET OF LOT FRONTAGE TO BE LANDSCAPED  
130.88 L.F. OF RD. FRONTAGE  
= 0.873 x 3 = 2.62 PLANT UNITS

2.62 ALTERNATIVE #1 PLANT UNITS REQUIRED:  
2.62 OR 3 2.5" CAL. CANOPY TREES  
5.24 OR 5 1.5" CAL. UNDERSTORY TREES  
26.2 OR 26 18" HIGH SHRUBS

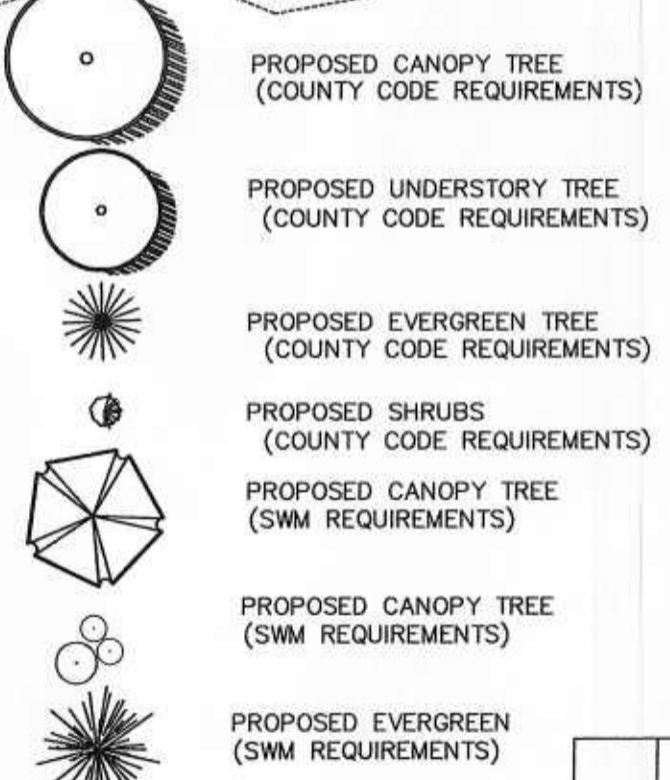
NOTE: ONE 2.5" CAL. CANOPY TREE HAS BEEN MOVED EASTWARD OF THE STREET BUFFER, INTO THE LOT AND PLACED ALONG THE ENTRANCE ROAD TO AVOID CONFLICT WITH WATER AND SEWER LINES AND GRADING FOR STORMWATER.

**REQUIRED ON-SITE LANDSCAPING (CHAPTER 18-1-71):**  
MINIMUM REQUIRED LANDSCAPE AREA: 1.758 Ac. (76,562 sq.ft.)  
LESS REQUIRED STREET BUFFER LANDSCAPING: 0.069 Ac. (3,018 sq.ft.)  
AREA OF SITE TO BE LANDSCAPED: 1.689 Ac. (73,544 sq.ft.)  
NUMBER OF PLANT UNITS REQUIRED PER ACRE IN NC ZONE: 4  
NUMBER OF PLANT UNITS REQUIRED ON SITE: 6.756 Plant units

4 ALTERNATIVE #1 AND 3.76 ALTERNATIVE #3 PLANT UNITS:  
2.76 OR 3 2.5" CAL. CANOPY TREES  
8 1.5" CAL. UNDERSTORY TREES  
5.52 OR 6 6" HIGH EVERGREEN TREES  
67.6 OR 68 18" HIGH SHRUBS

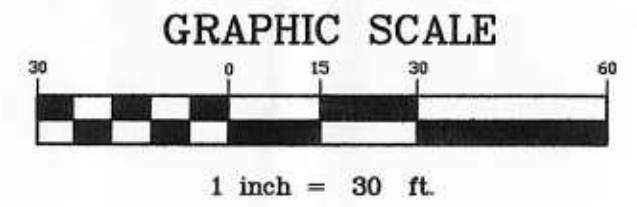
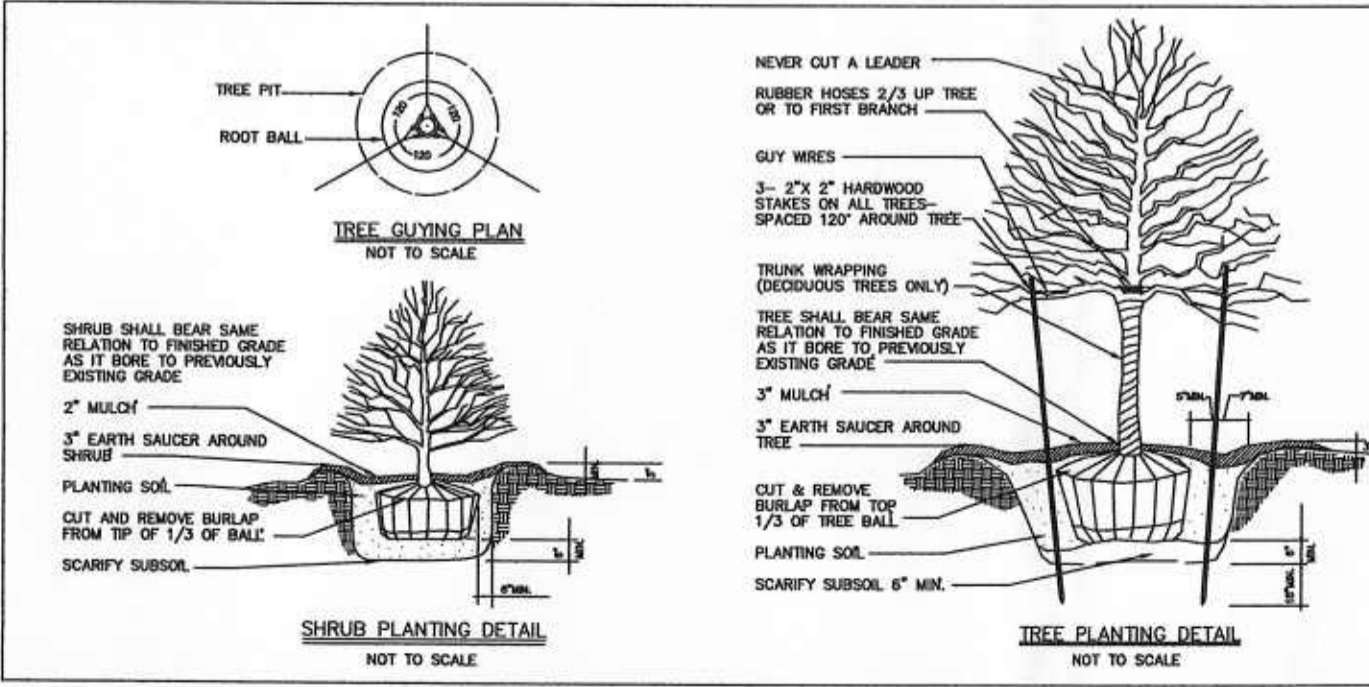
NOTE: LOCATED ON SITE ARE: ONE 50" CAL. DECIDUOUS TREE, ONE 12" CAL. HOLLY TREE, TWO 18" CAL. DECIDUOUS TREES, ONE 16" CAL. DECIDUOUS TREE, ONE 12" CAL. DECIDUOUS TREE AND ONE 3" CAL. DECIDUOUS TREE WHICH ARE PROPOSED TO BE CREDITED TOWARDS FOUR OF THE REQUIRED 2.5" CAL. TREES, TWO OF THE REQUIRED 2" CAL. CANOPY TREES, AND ONE OF THE 6" HIGH EVERGREEN TREES. ONE 2" CAL. CANOPY TREE, EIGHT 1.5" CAL. UNDERSTORY TREES, FIVE 6" HIGH EVERGREEN TREES AND 68 SHRUBS ARE PROPOSED TO BE ADDED TO THE SITE TO BRING IT INTO CONFORMANCE WITH THE ON SITE REQUIREMENTS OF LANDSCAPING STANDARDS OF THE COUNTY CODE.

**LEGEND**



**LANDSCAPE SCHEDULE**

KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
Ac	ACER CAMPESTRE	HEDGE MAPLE	2	2.5"-3" CAL., B&B	AS SHOWN
Ar	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2	2.5"-3" CAL., B&B	AS SHOWN
Bn	BETULA NIGRA 'BMNT'	DURA-HEAT BIRCH	3	1.5"-2" CAL., B&B	AS SHOWN
Ci	CUPRESSOCYPARIS LEYLANDII	LEYLAND CYPRESS	5	6'-6.5" HIGH, B&B	12' ON CENTER
Cac	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	4	1.5"-2" CAL., B&B	AS SHOWN
Cc	CERCIS CANADENSIS	EASTERN REDBUD	5	1.5"-2" CAL., B&B	AS SHOWN
Qp	QUERCUS PHELLOS	WILLOW OAK	2	2.5"-3" CAL., B&B	AS SHOWN
Ag	ABELIA GRANDIFLORA	GLOSSY ABELIA	9	18"-24" HIGH, B&B	5' ON CENTER
Ig	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	53	18"-24" HIGH, B&B	5' ON CENTER
Im	ILEX MESERVEAE 'BLUE PRINCESS'	BLUE PRINCESS HOLLY	3	3'-4" HIGH, B&B	AS SHOWN
Vd	VIBURNUM DENTATUM 'RALPH SENIOR'	AUTUMN JAZZ VIRBURNUM	8	2'-3" HIGH, B&B	7' ON CENTER
Iv	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	23	18"-24" HIGH, B&B	5' ON CENTER
Ar(sw)	ACER RUBRUM	RED MAPLE	4	5'-6" HIGH, WHIP, B&B	AS SHOWN
Io(sw)	ILEX OPACA	AMERICAN HOLLY	1	5'-6" HIGH, WHIP, B&B	AS SHOWN
Iv(sw)	ILEX VERTICILLATA (male & female mix)	WINTERBERRY HOLLY	16 (4 males, 12 females)	18"-24" TALL, CONTAINER	5' ON CENTER
Mp(sw)	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	6	2'-3" HIGH, CONTAINER	8' ON CENTER



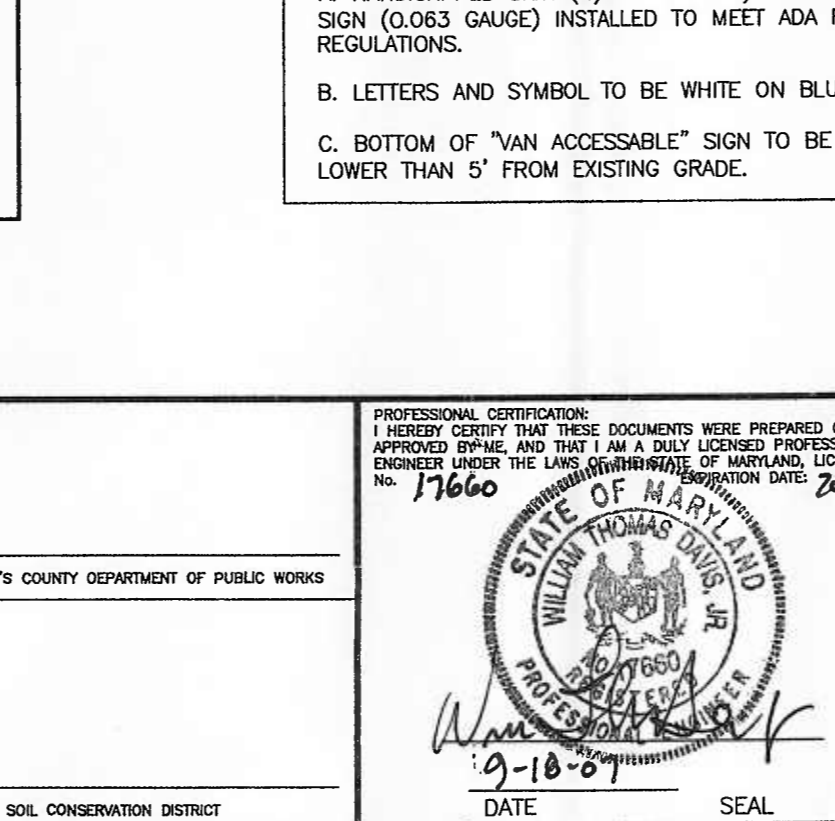
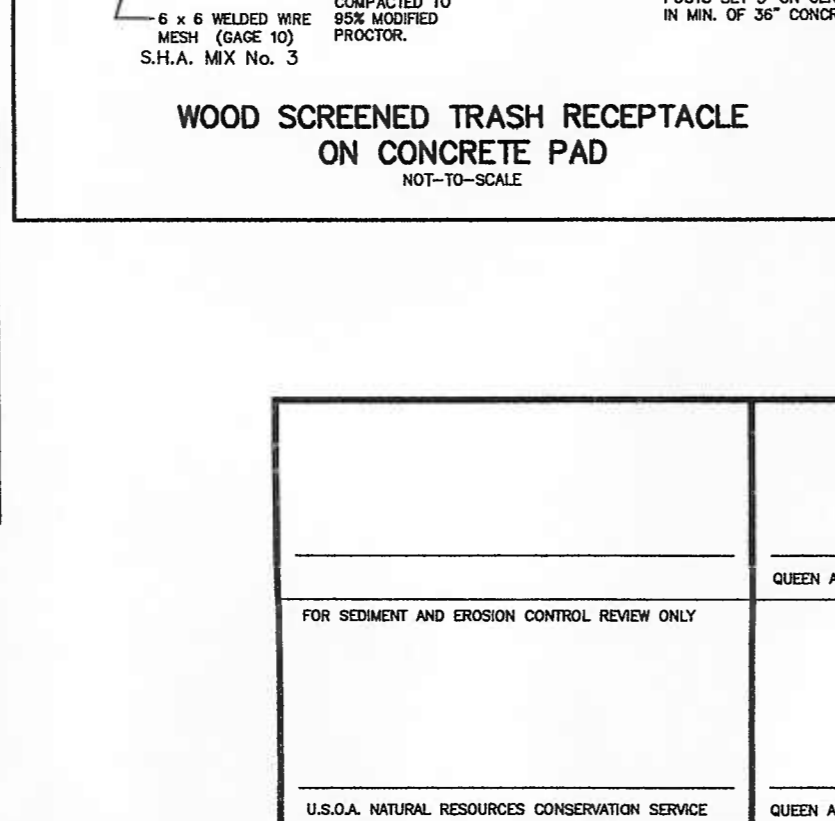
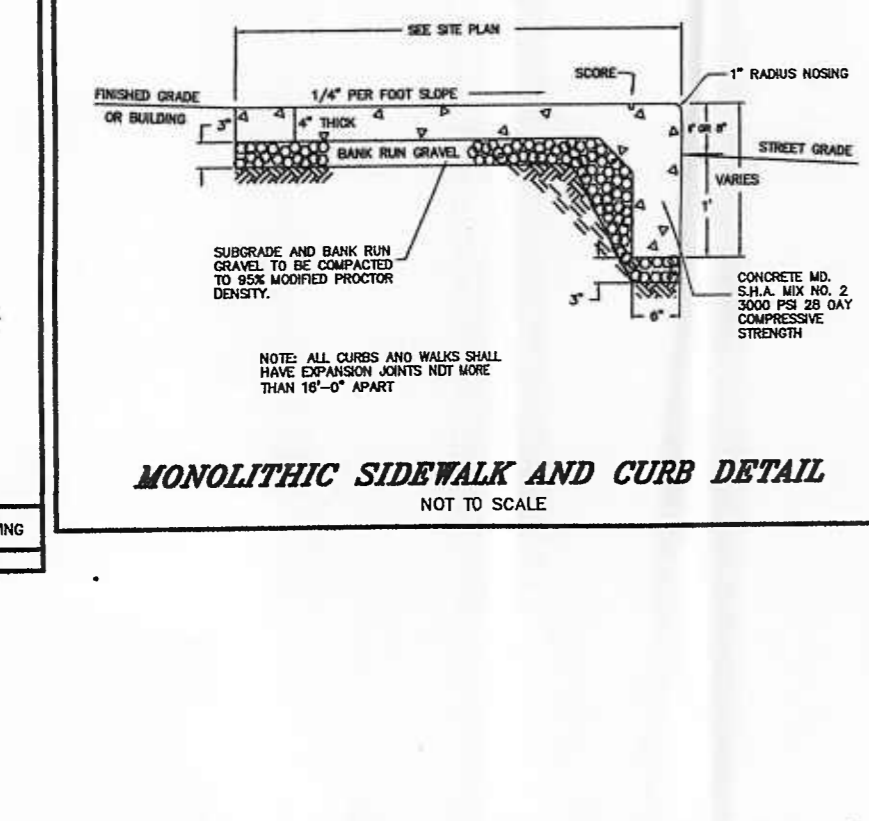
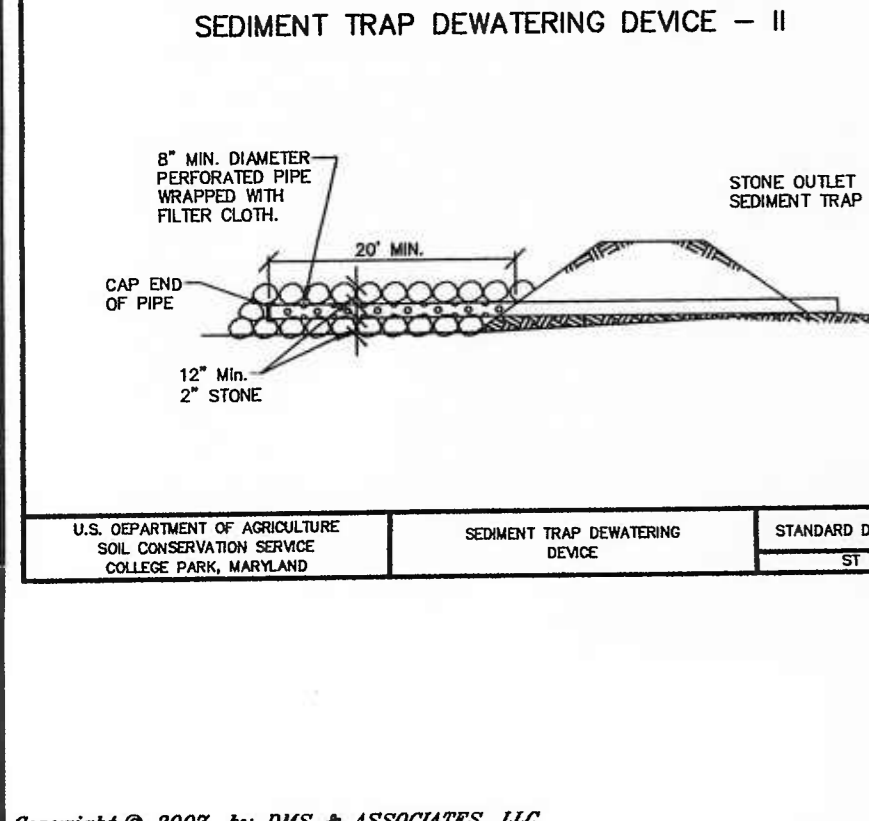
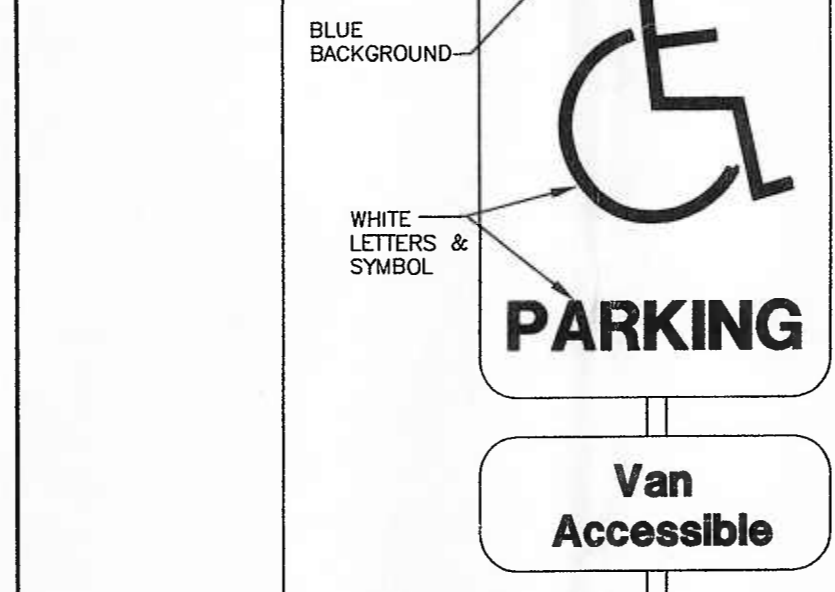
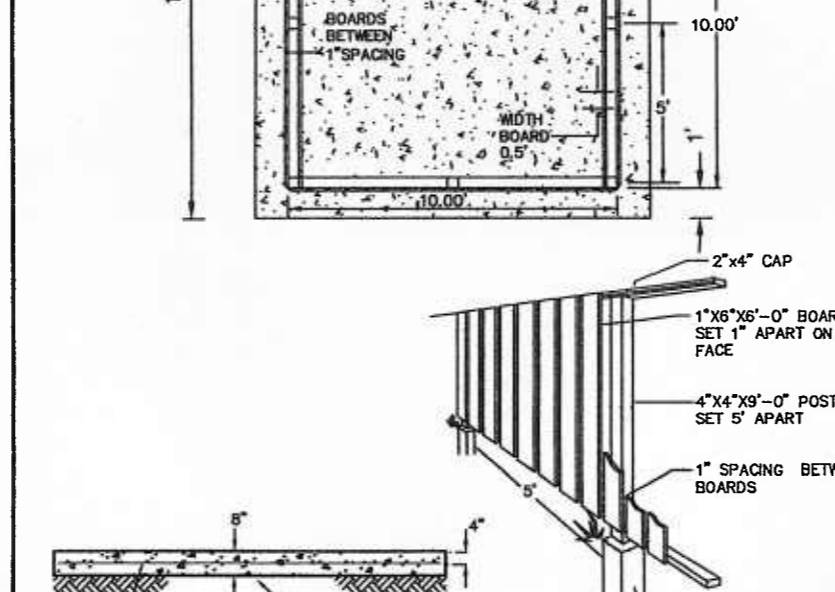
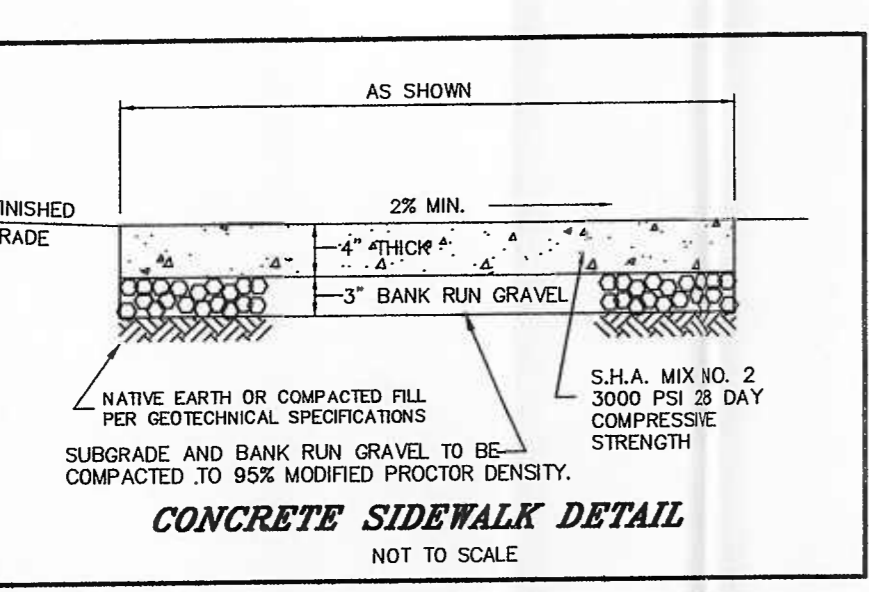
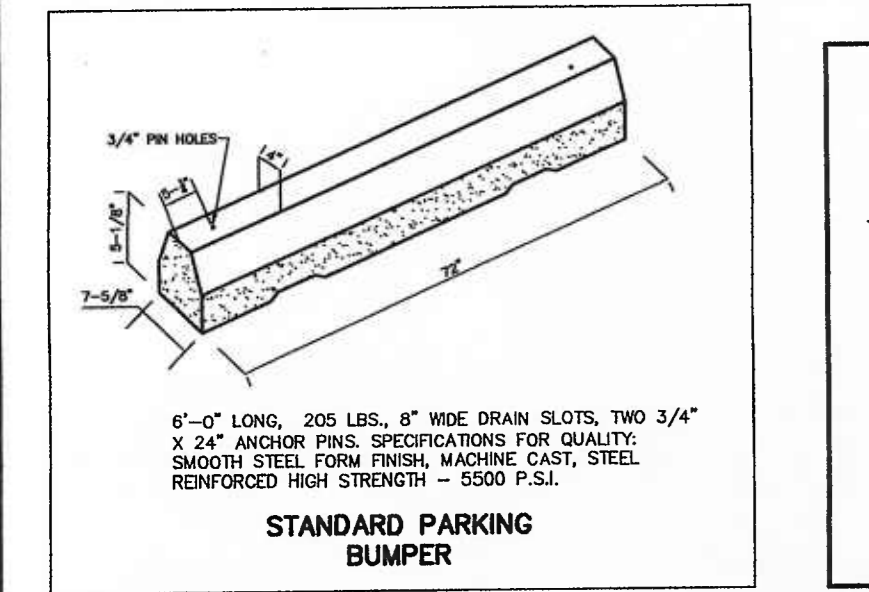
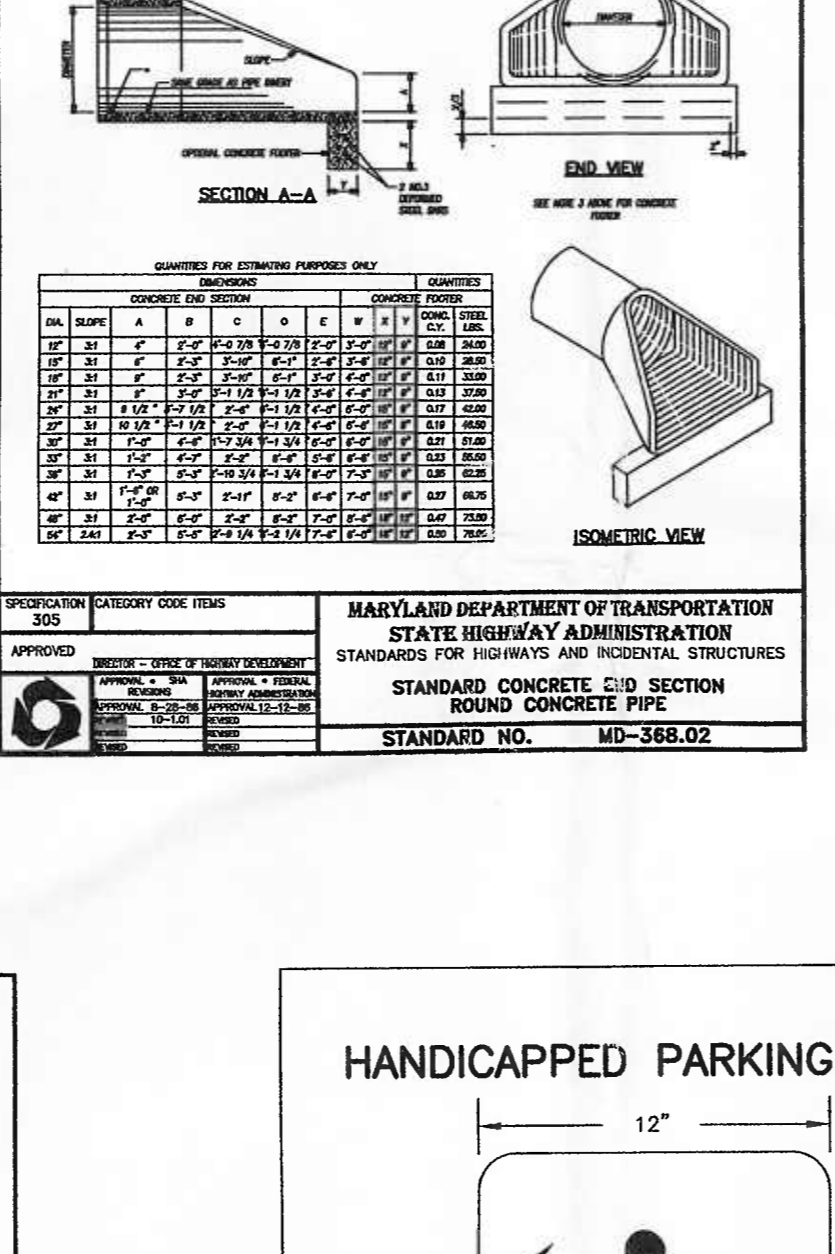
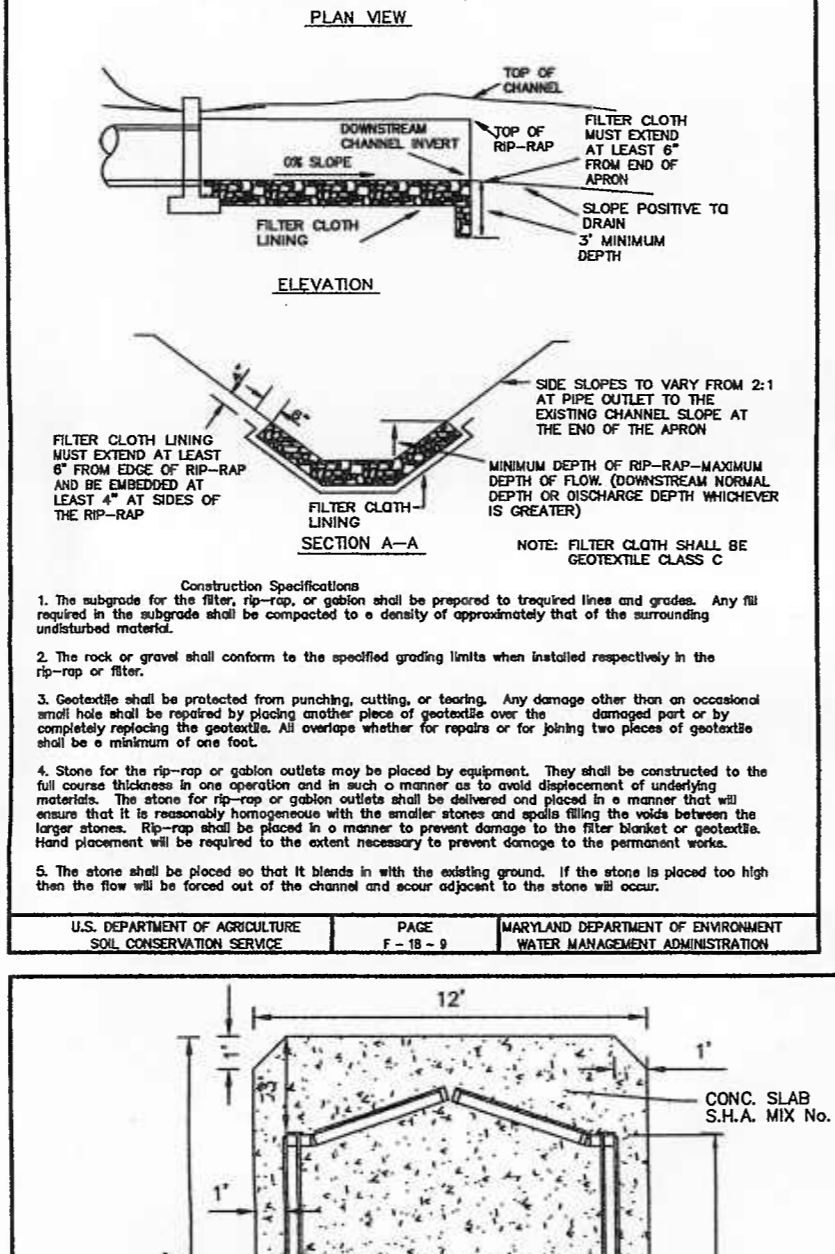
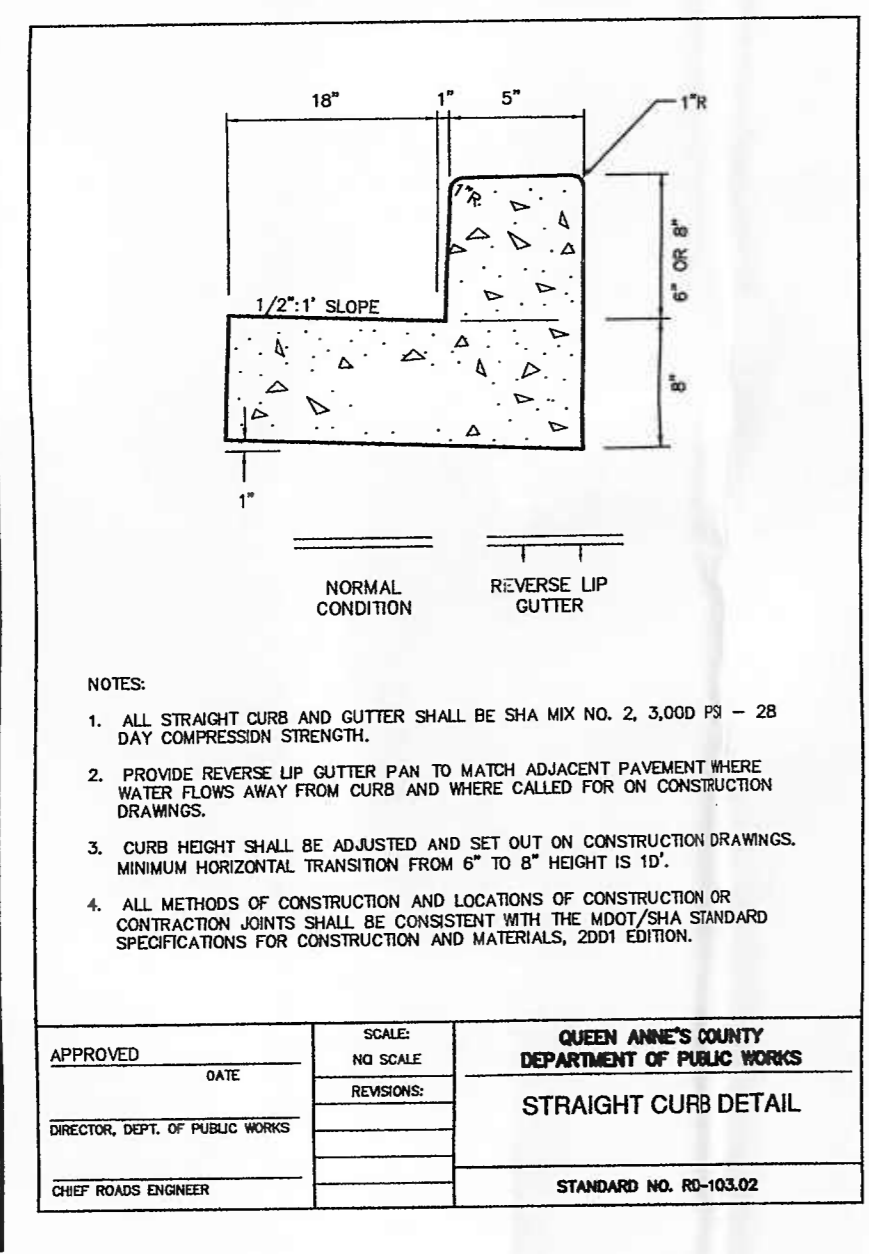
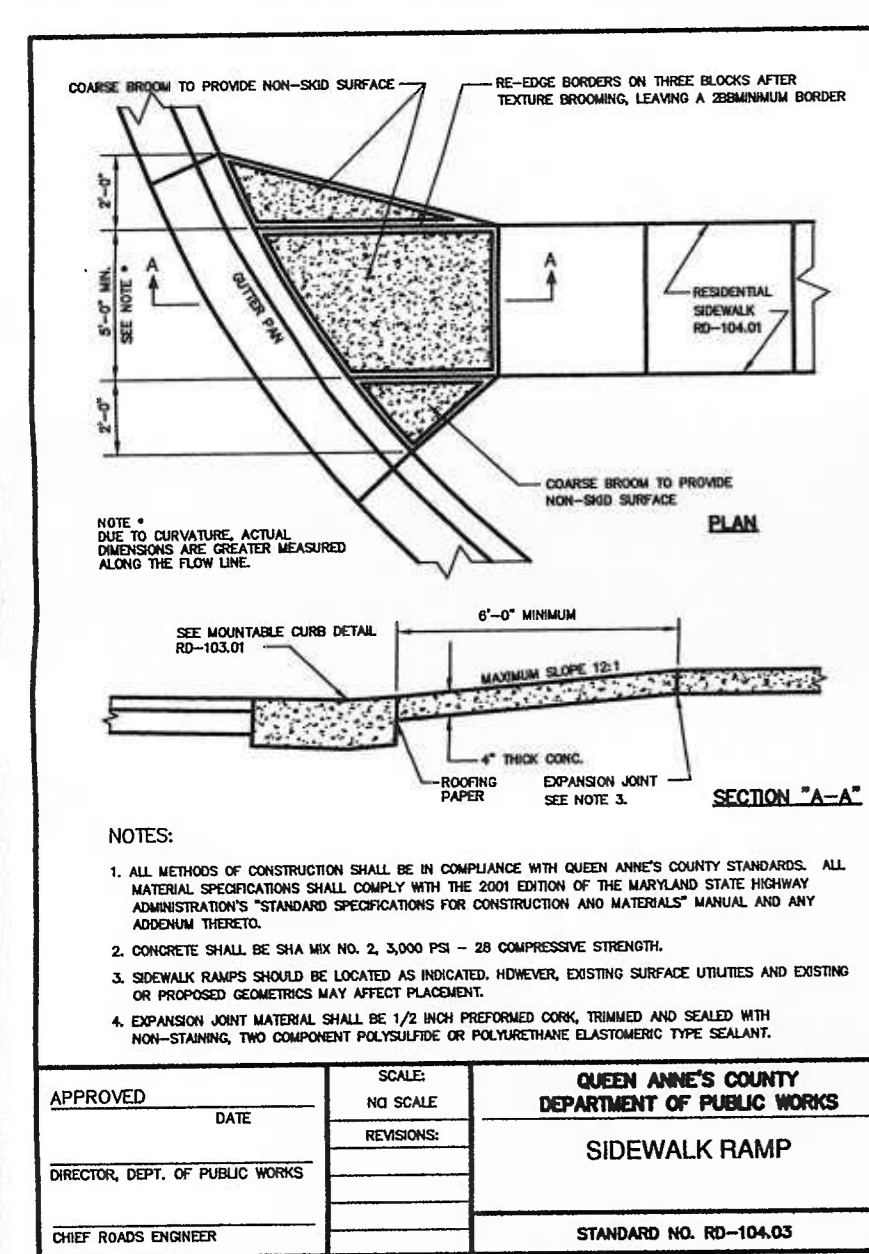
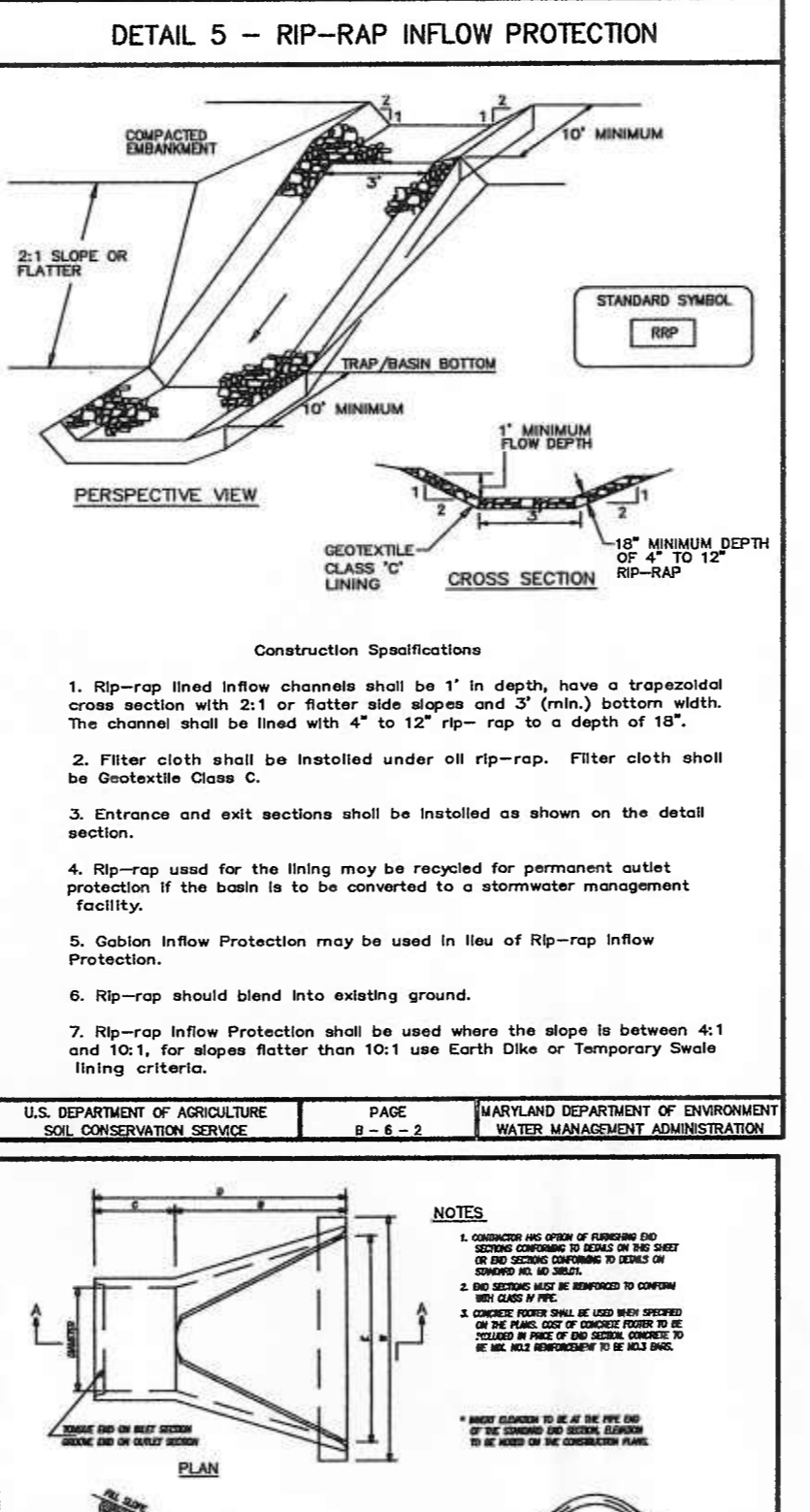
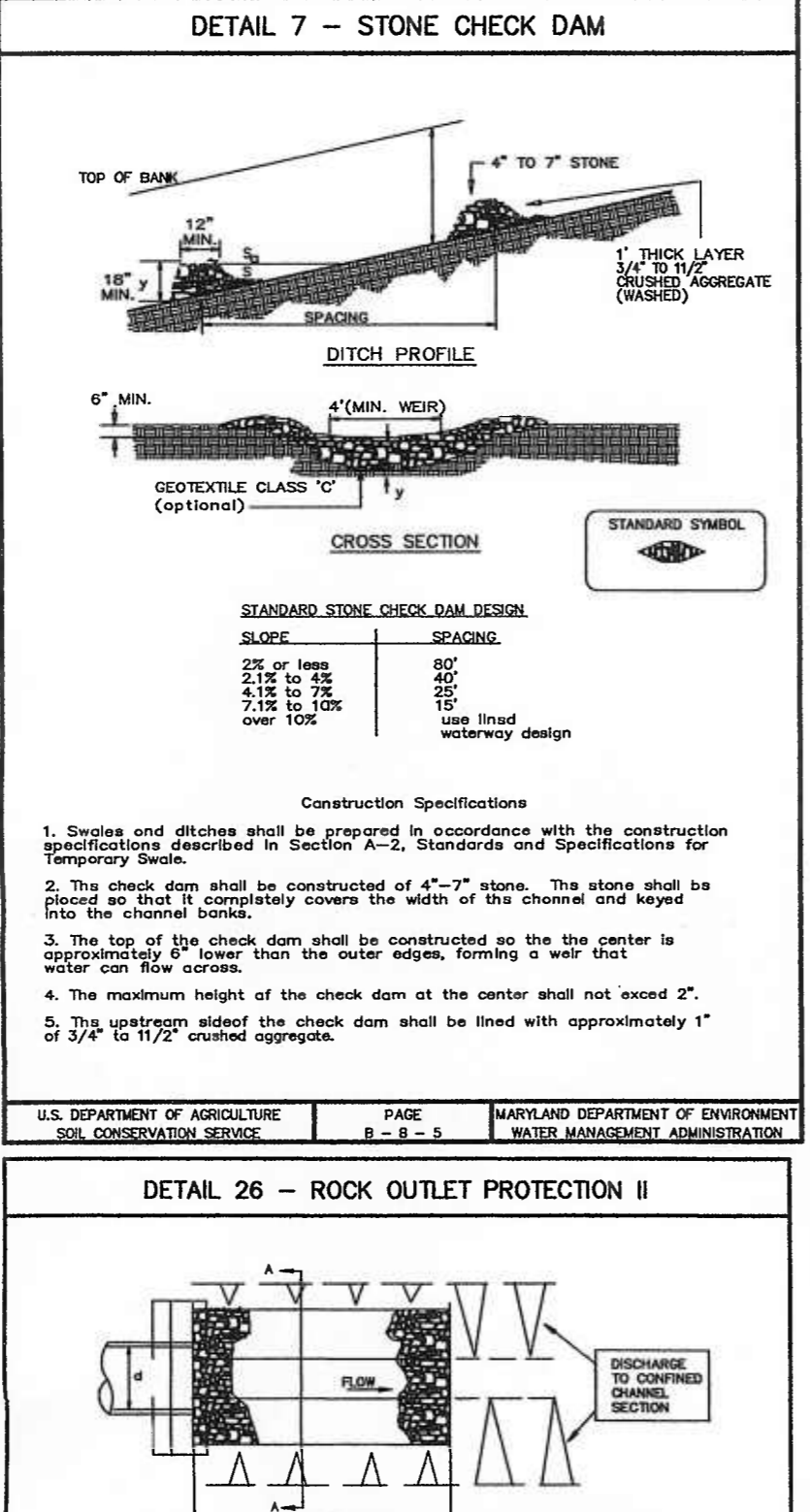
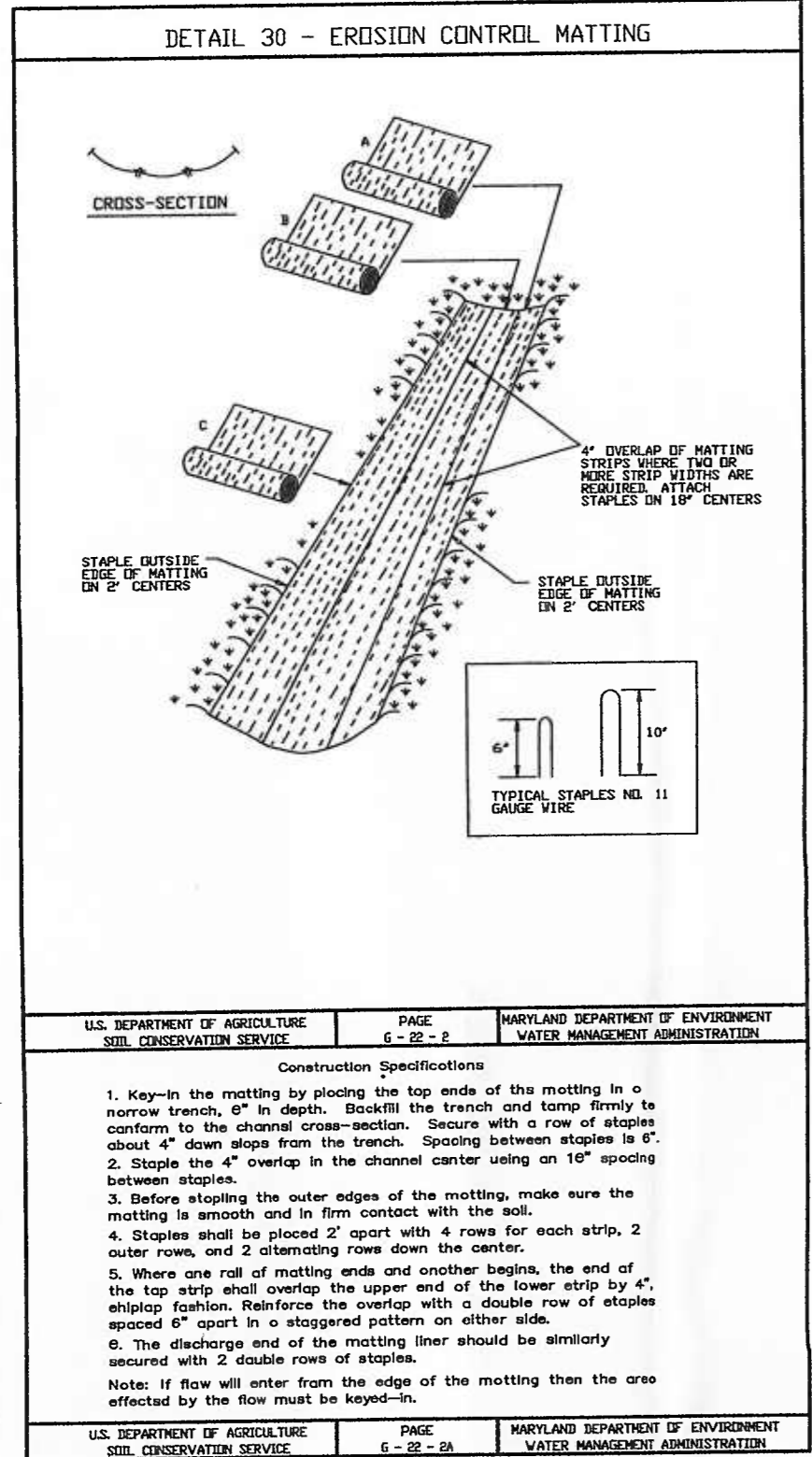
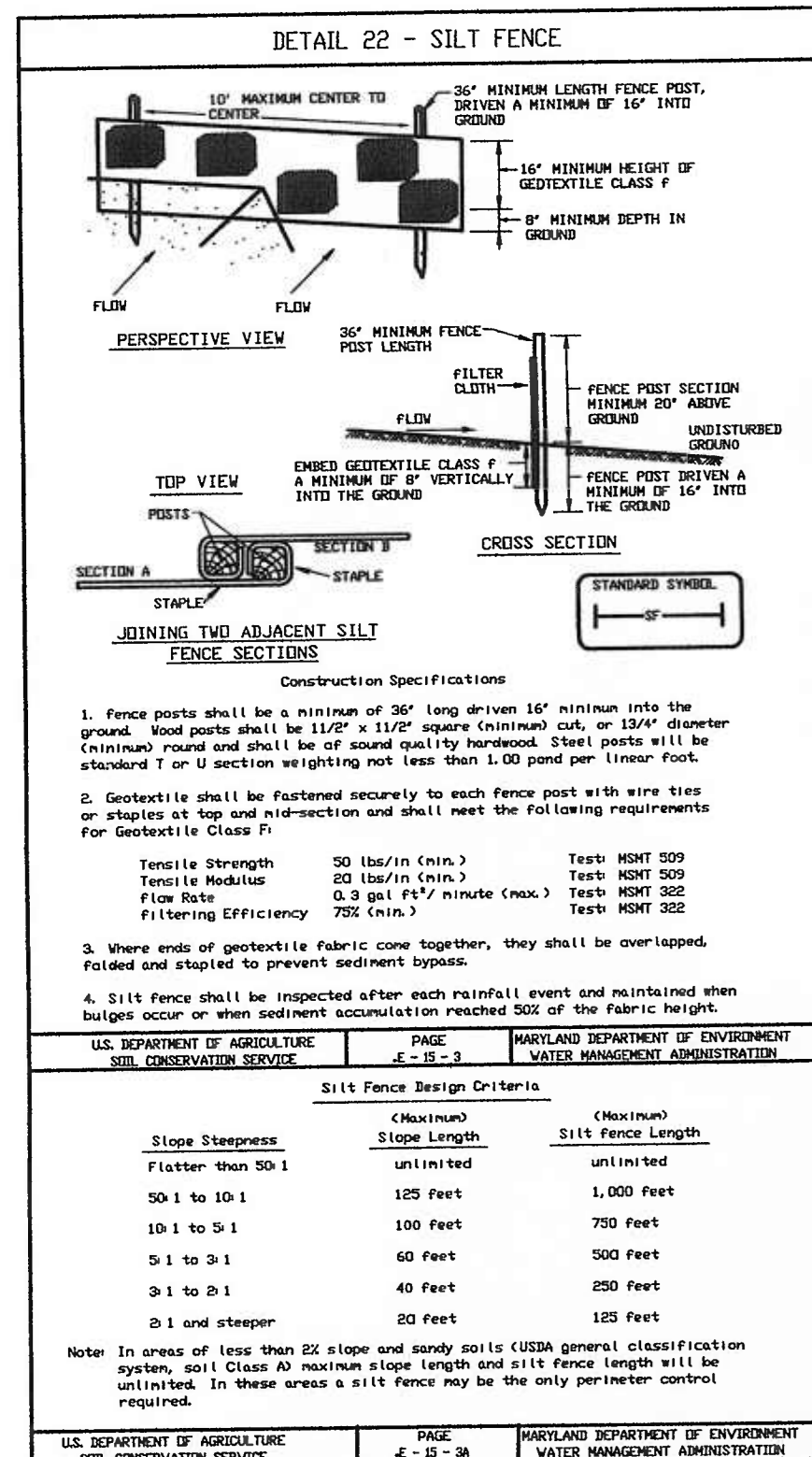
**DAVIS MOORE, SHEARON & ASSOCIATES, LLC**  
ENGINEERING, DRAFTING/DESIGN,  
ENVIRONMENTAL SERVICES & SURVEYING  
P.O. BOX 80  
CENTREVILLE, MARYLAND 21617  
PHONE: 1-443-262-9130  
FAX: 1-443-262-9148

DATE	REVISION
9-14-07	PER LICENSE COMMENTS OF 8-9-07

LANDSCAPE PLAN  
FOR  
**CHESTERWYE CENTER, INC.**  
TAX MAP - 58, GRID - 23, PARCEL - 484  
FIFTH ELECTION DISTRICT, QUEEN ANNE'S COUNTY, MARYLAND  
PREPARED FOR: CHESTERWYE CENTER, INC.

DATE	SCALE
JUNE '07	1" = 30'
JOB No. 2005114	DRAWN BY W.M.
FOLDER Ref. 58-2005114	DESIGNED BY WTD, jr.
SHEET No. - C-5	
CADD FILE - 05114-C5	





### SCD PLAN INFORMATION SHEET

PLEASE FILL IN ALL PERTINENT INFORMATION AND INCLUDE WITH YOUR PLANS.

COUNTY: QA APPROVING AUTHORITY: QA COUNTY S.C.S.

OWNERS NAME: CHESTERWYE CENTER, INC. PHONE: 1-410-827-7048

OWNERS ADDRESS: P. O. BOX 96 GRASONVILLE, MD. 21638

DEVELOPER'S NAME & ADDRESS: SAME AS OWNER ABOVE

DEVELOPER'S PHONE: 410-827-7048 PLAN: RESIDENTIAL COMMERCIAL

OTHER: OTHER

FOR INFORMATION CONTACT: WM. THOMAS DAVIS, JR., P.E. - DMS & ASSOCIATES

PHONE: 443-262-9130

CONTRACTOR'S NAME & ADDRESS: NOT KNOWN AT THIS TIME

CONTRACTOR'S PHONE: NOT KNOWN AT THIS TIME

SITE NAME: CHESTERWYE CENTER, INC.

SITE ADDRESS: 436 CEMETERY LANE GRASONVILLE, MD. 21638

SCD APPROVAL NUMBER:

### PHASE OF CONSTRUCTION

- CONTACT THE MARYLAND DEPARTMENT OF THE ENVIRONMENT SEDIMENT AND EROSION CONTROL INSPECTOR AT 1-410-901-4020 AND THE QUEEN ANNE'S COUNTY ENGINEERING DEPARTMENT AT 410-758-0925 A MINIMUM OF TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION TO SCHEDULE A PRECONSTRUCTION MEETING.
- INSTALL PERIMETER SILT FENCE AT LOCATIONS SHOWN.
- CLEAR AND GRUB FROM WITHIN LIMITS OF DISTURBANCE. REMOVE PAVE, BUILDINGS, TREES, ETC AND DISPOSE OF OFF SITE AT AN APPROVED LANDFILL.
- REMOVE TOPSOIL FROM THE STORMWATER POND AND STOCKPILE ON SITE AT LOCATION SHOWN. PROVIDE A PERIMETER SILT FENCE AND STABILIZE TOPSOIL STOCKPILE AREA PER TEMPORARY SPECIFICATIONS THIS SHEET.
- CONSTRUCT POND TO DESIGN GRADES. STOCKPILE EXCAVATED MATERIAL ON SITE. STABILIZE BERM AND SIDE SLOPES WITH TOPSOIL, SEED AND MULCH AND "CUREX" EXCLOSUR MATTING. INSTALL OUTLET STRUCTURE AND THE DEWATERING DEVICE.
- STRIP TOPSOIL FROM THE LIMITS OF DISTURBANCE AND DISPOSE OF OFF SITE AT AN APPROVED LANDFILL. IMPORT FILL FROM OFFSITE FOR BUILDING PAD AND PARKING LOT. BEGIN BUILDING CONSTRUCTION.
- MAINTAIN THE PERIMETER SILT FENCE THROUGHOUT THE LIFE OF THE PROJECT. STABILIZE ALL DISTURBED AREAS WITH TOPSOIL, SEED, AND MULCH.
- INSTALL UTILITIES TO THE PROPOSED BUILDING ADDITION.
- INSTALL CR-6 TO SUBBASE GRADES.
- INSTALL BITUMINOUS CONCRETE BASE PAVEMENT.
- COMPLETE BUILDING.
- REMOVE ACCUMULATED SEDIMENT FROM THE SEDIMENT BASIN/TRAP AND DISPOSE OF OFFSITE. STABILIZE POND SIDE SLOPES WITH TOPSOIL, SEED, MULCH AND "CUREX" EXCLOSUR MATTING.
- INSTALL SITE LANDSCAPING, SITE AMENITIES, ETC.
- STABILIZE ALL DISTURBED AREAS WITH TOPSOIL, SEED AND MULCH.
- CONVERT THE STORMWATER MANAGEMENT POND FROM A SEDIMENT TRAP TO A STORMWATER MANAGEMENT POND BY REMOVING ACCUMULATED SEDIMENT, REMOVING THE DEWATERING DEVICE, AND CONVERTING THE OUTLET STRUCTURE TO THE FINAL DESIGN PER SPECIFICATIONS. STABILIZE ALL ERODED AREAS WITHIN THE POND LIMITS WITH TOPSOIL, SEED AND MULCH PER SPECIFICATIONS. CONVERSION CAN ONLY TAKE PLACE AFTER ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED TO THE SATISFACTION OF THE INSPECTION AUTHORITY AND STORM DRAINS HAVE BEEN FLOWED.
- UPON APPROVAL FROM THE MARYLAND DEPARTMENT OF THE ENVIRONMENT INSPECTOR, REMOVE ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.

Seed Mixture (Per Hazard Zone 7a) (From Table 30)	Species	Appl. Rate (Lbs./1000)	Seeding Dates	Seeding Depth	Fertilizer (10-10-10)	Line Rate
ANNUAL RYE GRASS	50 lbs.	2/1-4/30	1/4"	1000 ft.	2 tons/acre	1000 ft.
	50 lbs.	8/15-11/1	1/2"	1000 ft.	1000 ft.	1000 ft.
MILLET	50 lbs.	5/1-8/14	1/2"	1000 ft.	2 tons/acre	1000 ft.
	50 lbs.	5/1-8/14	1/2"	1000 ft.	1000 ft.	1000 ft.

Seed Mixture (Per Hazard Zone 7a) (From Table 30)	Species	Appl. Rate (Lbs./1000)	Seeding Dates	Seeding Depth	Fertilizer (10-10-10)	Line Rate
BOX TALL FESCUE	120 lbs.	1/1-4/30	1/4"	1000 ft.	2 tons/acre	1000 ft.
	30 lbs.	8/15-11/1	1/2"	1000 ft.	1000 ft.	1000 ft.
RYE GRASS	90 lbs.	5/1-8/14	1/2"	1000 ft.	2 tons/acre	1000 ft.
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### EROSION & SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

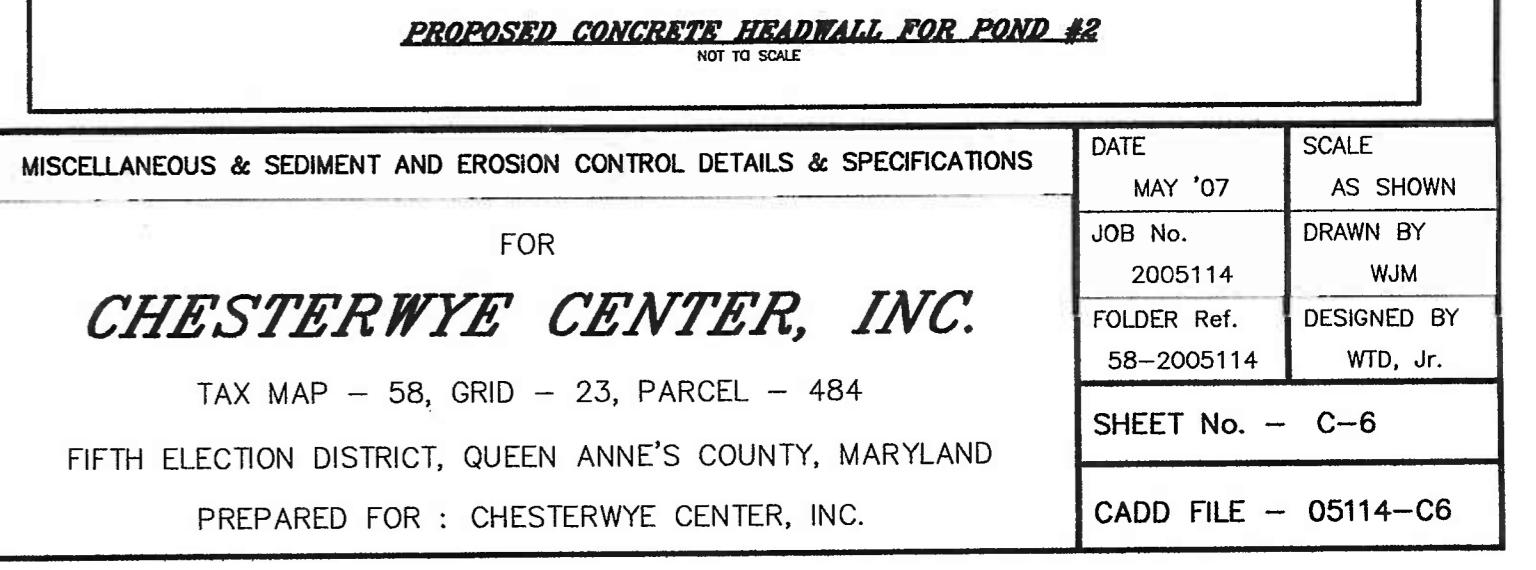
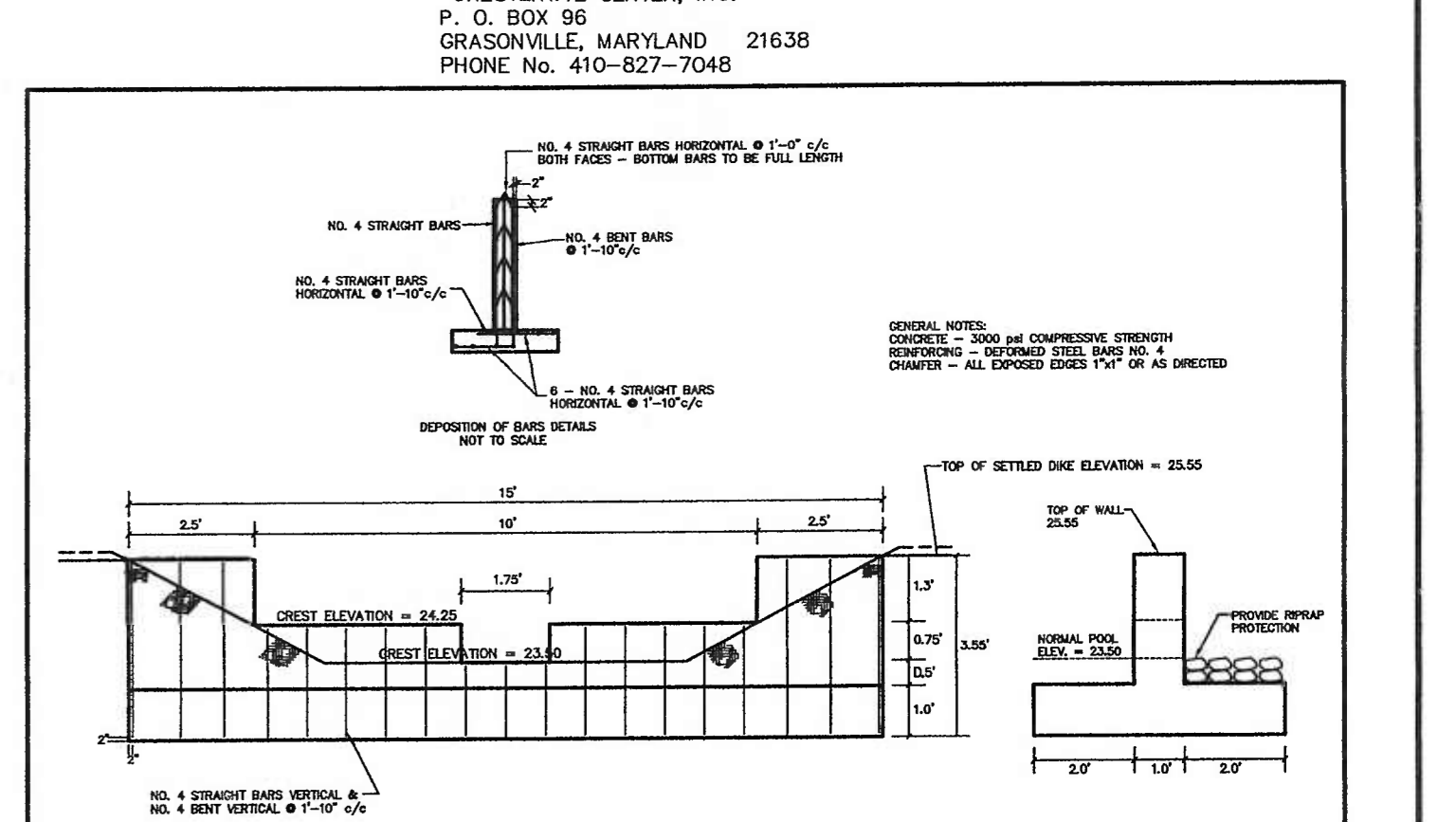
- Contractor shall install soil erosion and sediment control devices prior to any grading. Following initial disturbance or re-disturbance, permanent or temporary stabilization shall be completed within seven (7) calendar days on the surface of all perimeter control, dikes, swales, ditches, perimeter slopes greater than three (3) horizontal to one (1) vertical (3:1) and fourteen days (14) as to all other disturbed or graded areas on the project site.
- All temporary erosion and sediment control devices are to be provided as indicated on this plan, with location adjustments to be made in the field as necessary, and to be maintained at the end of each working day until project completion. The minimum one practical shall be disturbed for the minimal amount of time possible.
- Clearing and grubbing shall include all trees, brush, debris, root mat and organic materials to be removed.
- Temporary seeding shall be accomplished between February 1st through April 30th, or August 15th through November 1st. During other times, temporary mulching shall be provided.
- Temporary seeding shall conform to the following applications: 600 lbs. per acre of 10-10-10, 4,000 lbs. per acre of ground limestone, to be incorporated into the soil by disking or other suitable means. Annual rye grass shall be applied at a rate of 50 lbs. per acre using suitable equipment. Mulching shall be accomplished immediately after seeding.

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CITICAL AREA COMMISSION