

- TRUXTON PARK
AN 437-07 Annapolis Recreation Center
Site Plan

51829-6408



Martin O'Malley
Governor

Anthony G. Brown
Lt. Governor



Margaret G. McHale
Chair

Ren Serey
Executive Director

STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

December 15, 2008

Mr. Robert Schuetz
City of Annapolis
Department of Planning and Zoning
145 Gorman Street
Annapolis, Maryland 21401

Re: Truxtun Park Recreation Center
City of Annapolis Recreation and Parks Department

Dear Mr. Schuetz:

The purpose of this letter is to officially notify you of the Critical Area Commission's action on the above referenced project. On December 3, 2008, the Critical Area Commission unanimously approved the City of Annapolis' proposal and site plan to redevelop the existing Truxtun Park Recreation Center on Hilltop Lane in Annapolis.

The approval was based on the mitigation package provided by the applicant described in the enclosed signed planting agreement. Please notify me once the planting plan has been implemented.

Please note that should any changes to the site plan be proposed in the future, additional review and approval by the full Commission will be required. Should you have any questions, please feel free to contact me at 410-260-3481.

Sincerely,

A handwritten signature in black ink, appearing to read "AW", written over a light blue circular stamp.

Amber Widmayer
Natural Resources Planner

cc: AN 437-07



Planting Agreement for State/Local Projects

State/Local Agency

City of Annapolis

Project Number

2006005

Agency Contact

Rob Schuetz

Phone Number

410-263-7944

Commision Approval Date

CAC Planner

Amber Widmayer

Project Name

Truxtun Park Recreation Center

Project Location

Hilltop Lane near Gemini Drive

Square Feet Cleared Outside 100ft Buffer

Removing 75 trees

Mitigation Ratio for Clearing Outside Buffer

See sheet L-1 dated 10-22-08

Mitigation Calculation Outside Buffer

See sheet L-1 dated 10-22-08

Square Feet Disturbed/Cleared Within Buffer*

1216 sf

Mitigation Ratio for Disturbance/Clearing Within Buffer*

2:1 by area

15% Afforestation Requirement Met?

Yes

Mitigation Calculation Within Buffer

$1216 * 2 = 2432$ sf

Total Mitigation Requirement

25 trees or 73 shrubs

Planting and Natural Regeneration Plan (attach additional sheets if necessary)

See sheet L-1 dated 22 October 2008 for proposed tree removal and City of Annapolis mitigation requirements. See sheet L-4 dated 22 October 2008 for proposed shrub planting (143 shrubs) to meet Critical Area buffer mitigation requirements. Buffer area is existing woodland. Planting within the buffer would create more disturbance, so we request the option to plant within our limit of disturbance closer to the proposed building.

Planting Date

Fall

Year

2009

First Site Visit Date

24-Oct-08


Completed by

Second Site Visit Date

Completed By

Date Mitigation Complete

Robert O. Schuetz
Director, Department of Central Services
Responsible Contact for Mitigation (Print)


Signature

11/18/08
Date

*See reverse for details

Revised 10/22/04

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August 8, 2007

Mr. Dirk Geratz
City of Annapolis
Department of Planning and Zoning
145 Gorman Street
Annapolis, Maryland 21401

Re: Annapolis Recreation Center

Dear Mr. Geratz:

Thank you for forwarding the above-referenced project proposal for the construction of a new recreation center in Truxtun Park. Currently the LDA portion of the property is 28% impervious, and the resulting total impervious surface area in the LDA portion of the property will be 42%. Because the proposed development will exceed the 15% impervious surface area maximum, the proposed project will need to be presented to the Critical Area Commission for conditional approval.

The City may seek a conditional approval from the Critical Area Commission for approval of a project on City lands under Code of Maryland Regulations 27.02.06 'Conditional Approval of State or Local Agency Programs in the Critical Area'. Under this section, if development proposed by a State or local agency located in the Critical Area is prohibited from occurring then the agency proposing the development may seek conditional approval for the project.

In order for the Critical Area Commission to process this request as a conditional approval, the applicant must submit information demonstrating how the proposed project meets the following criteria, which I understand Lisa Hoerger has emailed to you.

In order to qualify for consideration by the Commission for conditional approval, it shall be shown by the proposing or sponsoring agency that the project or program has the following characteristics:

Mr. Geratz
August 8, 2007
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B.(1) That there exist special features of the site or there are other special circumstances such that the literal enforcement of these regulations would prevent a project or program from being implemented;

B.(2) That the project or program otherwise provides substantial public benefits to the Chesapeake Bay Critical Area Program;

B.(3) That the project or program is otherwise in conformance with this subtitle;

The conditional approval request shall, at a minimum, contain the following:

C.(1) A showing that the literal enforcement of the provisions of this subtitle would prevent the conduct of an authorized State or local agency program or project;

C.(2) A proposed process by which the program or project could be so conducted as to conform, insofar as possible, with the approved local Critical Area program or if the development is to occur on State-owned lands, with the criteria set forth in COMAR 27.02.05;

C.(3) Measures proposed to mitigate adverse effects of the project or program or an approved local Critical Area program or, if on State-owned lands, on the criteria set forth in COMAR 27.02.05.

In addition to providing the information above, a complete application will include any necessary State or local agency permits, a letter from Maryland Department of Natural Resources, Wildlife and Heritage Service stating that the proposed project will not impact rare, threatened or endangered species, and a letter from the Maryland Historical Trust that the proposed project will not impact any historic resources.

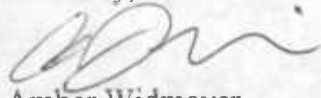
We recommend that the City consider reducing the proposed impervious area in the design. Also, please be aware that the Commission closely reviews such requests. Therefore, special attention should be paid to the proposed mitigation and how the project provides substantial public benefits to the Chesapeake Bay Critical Area Program.

As soon as we receive your complete application, we will be able to schedule the presentation of your proposed project on the agenda for a Critical Area Commission meeting. Projects must be received at least one month prior to the next scheduled Commission meeting in order to be included on that meeting agenda. The Commission meets on the first Wednesday of each month, and the schedule is posted at <http://www.dnr.state.md.us/criticalarea/aboutthecommission>.

Mr. Geratz
August 8, 2007
Page Three

Please feel free to contact me at 410-260-3482 if you have any questions.

Sincerely,

A handwritten signature in cursive script, appearing to read 'Amber Widmayer', written in dark ink.

Amber Widmayer
Natural Resources Planner

cc: AN 437-07

Critical Area Commission

STAFF REPORT

December 3, 2008

APPLICANT: The City of Annapolis' Recreation and Parks Department

PROPOSAL: Truxtun Park Recreation Center Redevelopment

COMMISSION ACTION: Vote

STAFF RECOMMENDATION: Approval, with conditions

STAFF: Amber Widmayer

**APPLICABLE LAW/
REGULATIONS:** COMAR 27.02.06 Conditional Approval of State or Local Agency Programs in the Critical Area

DISCUSSION:

The Recreation and Parks Department of the City of Annapolis is proposing to redevelop the existing recreation center located at Truxtun Park off of Hilltop Lane. The property is identified as Tax Map 51 Parcel 15. The project includes the removal of the existing parking lots, basketball courts, playground and buildings. The existing development will be replaced with a larger recreation building, parking lots, basketball courts, outdoor amphitheater, and eight bioretention facilities. Within the 70 acre Truxtun Park property, the redevelopment project will take place on a 35.01 acre parcel, on which 27.03 acres are in the Critical Area. The Critical Area portion of the project site parcel with Critical Area designations is as follows: 15.88 acres are designated as a Resource Conservation Area (RCA), 9.88 acres are designated as a Limited Development Area (LDA) and 1.27 acres are designated as an Intensely Developed Area (IDA). The proposed disturbance within the Critical Area is approximately six acres and makes use of the existing footprint of development which is mostly within the LDA. The RCA and IDA portions of the site will not be impacted by the proposed development, with the exception of some minor disturbance within the RCA for improvements to two existing outfalls. A portion of a new entry road will be constructed in the IDA of an adjacent parcel.

Lot Coverage

The redevelopment project requires a conditional approval by the Commission due to the extent of proposed lot coverage in the LDA. Currently, the RCA and the LDA on the property are developed with .07 acres and 2.77 acres of lot coverage, respectively. The total proposed lot coverage on the RCA and LDA is .07 acres and 4.18 acres, respectively, such that 42.3% of the LDA portion of the property will be developed as lot coverage, and with the LDA and RCA on the property combined, a total of 16.5% of the LDA and RCA will be developed as lot coverage.

While the proposed 1.14 acre lot coverage increase can not be developed on the property such that the Truxtun Park property is within the 15% lot coverage limit, the proposed project will provide a significant environmental improvement through establishing stormwater treatment facilities on a previously untreated site.

Tree Clearing within the LDA

There are 98 existing trees within the LDA that were planted as landscaping within the existing parking lot islands. Due to the extent of the redevelopment and reconfiguration proposed within the existing developed area in the LDA, significant clearing of the existing trees is required. However, the City's Critical Area program requires tree replacement based on the size of the tree removed such that either an equivalent sized tree will be provided, or that a greater number of trees of smaller size will be provided to replace a larger tree. As a result of the City's heightened planting requirements, the equivalent of 131 trees will be provided to mitigate for the 75 trees that will be removed. Also, 17 existing landscaping trees will be preserved, and 9 will be transplanted onsite.

Impacts to the 100-foot Buffer

There are two areas of disturbance within nontidal wetlands that are also within the 100-foot Buffer to tributary streams on the property and on the adjacent Salvation Army property for improvements to the existing outfalls. The proposed improvements include the construction of a plunge pool at each outfall. The area within the limits of disturbance within the 100-foot Buffer for these outfall improvements will be mitigated at a 2:1 ratio and is considered permitted disturbance within the 100-foot Buffer as a water dependent facility.

10% Pollutant Reduction

Although no disturbance is proposed within the IDA on the Truxtun Park property, there is a small amount of disturbance proposed in the IDA on the adjacent Salvation Army property which fronts Hilltop Lane. In order to create safer vehicular access to both properties, the City proposes to reconfigure the two existing access drives into a single access drive that will serve both properties. The City has submitted the 10% pollutant reduction calculations for the proposed reconfiguration of existing impervious surface within this 5,375 square foot area on the Salvation Army property, and there is a resulting pollutant removal requirement of 0.03 pounds of phosphorus per year. The City proposes to address this requirement by providing an offset of six trees, which will address the 0.03 pound requirement, using the formula that 200 trees remove one pound of phosphorus per year.

Additional Considerations

The applicant has obtained letters of review for the proposed project from Maryland Department of Natural Resources' Wildlife and Heritage Service (WHS) and Maryland Historical Trust (MHT). The WHS letter does not indicate that any known rare, threatened or endangered species are located on the property that will be affected by the proposed project, and MHT's letter states that the construction of the proposed project will have no effect on historic and archeological properties.

The applicant has applied for a permit to disturb nontidal wetlands and the 25-foot buffer to

nontidal wetlands for improvements to two existing outfall pipes. The review of this application was postponed by MDE, and the City expects to receive the wetland permit prior to the date of the Commission meeting. Receipt of this permit will be made a condition of the project's approval by the Commission.

The applicant has received the necessary local stormwater and sediment erosion control permits in conjunction with the local grading permit application process.

Conditional Approval Process

In order to qualify for consideration by the Commission for conditional approval, it shall be shown by the proposing or sponsoring agency that the project has the following characteristics:

The responses are those of the applicant.

B.(1) That there exist special features of a site or there are other special circumstances such that the literal enforcement of these regulations would prevent a project or program from being implemented;

Since 1987, the City of Annapolis has planned to provide a centrally-located recreation facility at Truxtun Park to serve the increasing recreation needs of the City. In the meantime, the population of the City has grown by 10% and the City can not sufficiently provide the active recreation opportunities to serve the City's residents at its current downtown recreation facility and at Truxtun Park, due to a lack of parking and interior space. The new recreation center will enable the City to expand and increase programs to meet current and projected demand for recreational opportunities. The center will include an indoor gymnasium for a variety of sports, group exercise rooms, fitness areas, and meeting space. Along with the required parking areas, outdoor play features and other amenities, the proposed recreation center redevelopment can not be done within the existing footprint of development while staying within the 15% lot coverage limit. Therefore, the City must seek a conditional approval to complete the proposed project in order to provide the much needed recreational opportunities to its residents.

B.(2) That the project otherwise provides substantial public benefits to the Critical Area Program;

Currently, there is no stormwater management for the proposed project site. The proposed redevelopment will provide eight bioretention areas, a cistern collection system for future irrigation of the athletic fields, improvements to the existing outfalls in the 100-foot Buffer by construction of the proposed plunge pools, and an increase in the number of trees planted on site. Additionally, the new recreation center building will be constructed such that it is a green building with a vegetated "green roof" which will retain and absorb additional stormwater runoff from the site that would otherwise be untreated and outfall to the nearby waterways. The applicant will also provide for a 10% reduction in pollutants in the form of plantings to address the proposed reconfiguration of the access road to serve the new recreation center and the adjacent Salvation Army property.

B.(3) That the project is otherwise in conformance with this subtitle; the conditional approval request shall, at a minimum, contain the following:

With the exception of the proposed development exceeding the 15% lot coverage limit within the LDA, the project is otherwise in conformance with the City and State Critical Area regulations.

C. (1) A showing that the literal enforcement of the provisions of this subtitle would prevent the conduct of an authorized local agency program or project;

Without the requested conditional approval, the City would not be able to provide a new recreation center building and its required parking and amenities that would be sufficient to serve the existing and future need of the City's residents. The LDA on the property is currently developed such that it exceeds the 15% lot coverage limit, and as is, there is insufficient parking and indoor recreation space in Truxtun Park and in the City as a whole to serve the City's needs.

C. (2) A proposed process by which the project could be so conducted as to conform, insofar as possible, with the approved local Critical Area program;

While the proposed recreation center can not be developed in conformance with the 15% lot coverage limits, the proposed redevelopment will provide a significant water quality improvement by providing an abundance of stormwater management facilities on a site which currently has none. These stormwater treatment improvements include eight bioretention facilities to treat the runoff from parking lots and the building, a green roof on the building itself, a cistern collection system under the athletic field to provide for future irrigation of the field as well as collecting stormwater runoff, and through providing a significant increase in the number of trees that will be provided on the property.

C. (3) Measures proposed to mitigate adverse effects of the project.

As described above, the numerous proposed stormwater treatment improvements provide a significant improvement in the quality of the stormwater runoff that currently leaves the site. This water quality improvement serves to minimize the Critical Area impact of the lot coverage on the LDA portion of the site. Additionally, the City proposes to mitigate for all of the trees that will be cleared such that there will be a significant increase in the number of trees in the LDA, a 10% pollutant reduction will be provided for the disturbance within the adjacent property's IDA for the new entry road, and the impacts in the 100-foot Buffer for the proposed outfall improvements will be mitigated with plantings at a 2:1 ratio as well.

The Commission shall approve, deny, or request modifications to the request for conditional approval based on the following factors:

E.(1) The extent to which the project or program is in compliance with the requirements of the relevant chapters of this subtitle;

E.(2) The adequacy of any mitigation measures proposed to address the requirements of this subtitle that cannot be met by the project or program; and

E.(3) The extent to which the project or program, including any mitigation measures, provides substantial public benefits to the overall Critical Area Program.

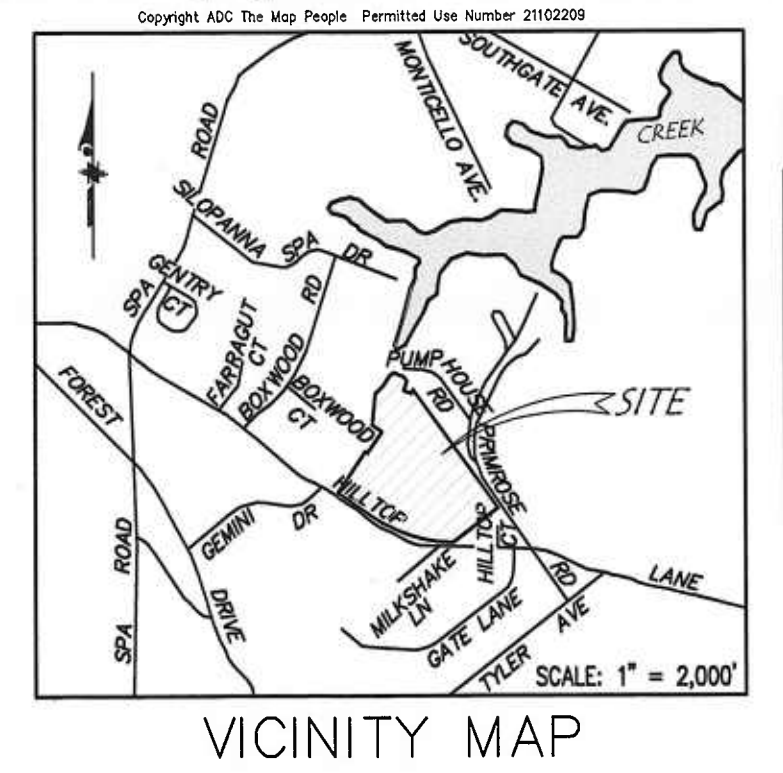
Staff Recommendation

Commission staff recommends that the project be approved with the following condition:

1. The City of Annapolis shall provide a signed planting agreement within 30 days of Commission approval demonstrating that the proposed replanting mitigation, Buffer mitigation, and 10% plantings will be provided as proposed.

TRUXTON PARK RECREATION CENTER

GRADING & SEDIMENT CONTROL / STORMWATER MANAGEMENT PLANS



DRUM, LOYKA & ASSOCIATES, LLC
CIVIL ENGINEERS - LAND SURVEYORS
 208 WEST STREET, SUITE 203
 ANNAPOLIS, MARYLAND 21401
 410-280-3122

STANDARD RESPONSIBILITY NOTES

- (We) certify that:
 - All development and construction will be done in accordance with this sediment and erosion control plan, and further, authorize the right of entry for periodic on-site evaluation by the Anne Arundel Soil Conservation District Board of Supervisors or their authorized agents.
 - Any responsible personnel involved in the construction project will have a certificate of attendance from the Maryland Department of the Environment's approved training program for the control of sediment and erosion before beginning the project.
Responsible personnel on site: _____
- If applicable, the appropriate enclosure will be constructed and maintained on sediment basin(s) included in this plan. Such structure(s) will be in compliance with the Anne Arundel County Code.
- The developer is responsible for the acquisition of all easements, right, and/or rights-of-way that may be required for the sediment and erosion control practices, stormwater management practices and the discharge of stormwater onto or across adjacent or downstream properties included in the plan.
- Initial soil disturbance or re-disturbance, permanent stabilization shall be completed within seven calendar days for the surface of all controls, dikes, swales, ditches, perimeter slopes, and all slopes greater than 3 horizontal to 1 vertical (3:1) and fourteen days for all other disturbed or graded areas on the project site. Temporary stabilization of the surface of perimeter controls, dikes, swales, and perimeter slopes may be allowed at the discretion of the sediment control inspector.
- The sediment control approvals on this plan extend only to areas and practices identified as proposed work.
- The approval of this plan for sediment and erosion control does not relieve the developer/consultant from complying with Federal, State or County requirements pertaining to environmental issues.
- The developer must request that the Sediment Control Inspector approve work completed in accordance with the approved erosion and sediment control plan, the grading or building permit, and the Ordinance.
- All material shall be taken to a site with an approved sediment and erosion control plan.
- On all sites with disturbed areas in excess of two acres, approval of the sediment and erosion control inspector shall be required on completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. This will require first phase inspections. Other building or grading inspection approvals may not be authorized until the final approval by the sediment and erosion control inspector is given.
- Approval shall be requested on final stabilization of all sites with disturbed areas in excess of two acres before removal of controls.
- Existing topography must be field verified by responsible personnel to the satisfaction of the sediment control inspector prior to commencing work.

Robert Schultz
 Signature of Developer/Owner
 Date: 10/7/08
 Print Name: Robert Schultz Title: Director
 Affiliation: City of Annapolis DPW Central Services
 Address: 145 Gorman Street, Annapolis, MD 21401
 Telephone: 410-283-7944

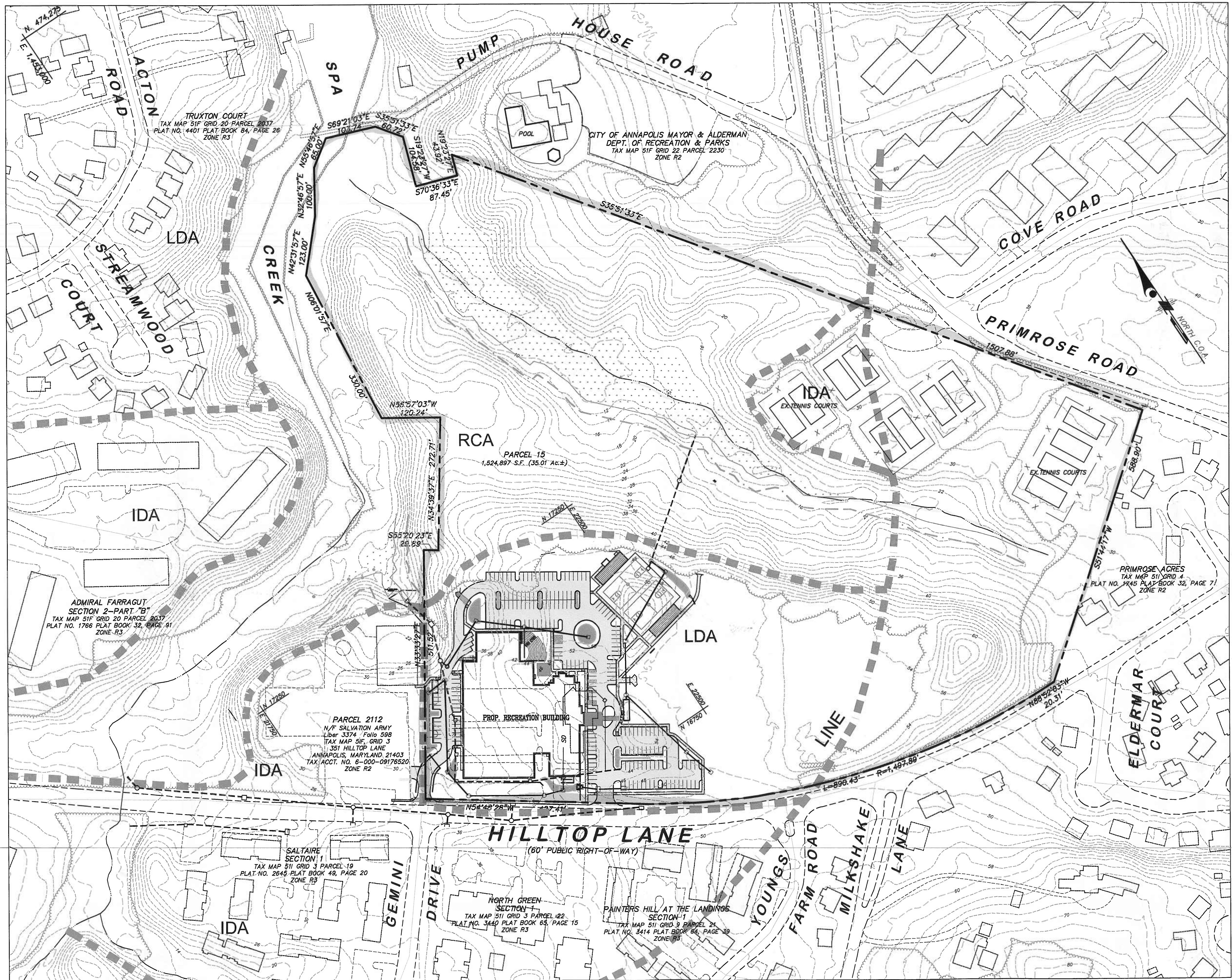
CONSULTANT'S CERTIFICATION

"The Developer's plan to control silt and erosion is adequate to contain the silt and erosion on the property covered by the plan. I certify that this plan of erosion and sediment control represents a practical and workable plan based on my personal knowledge of this site, and was prepared in accordance with the requirements of the Anne Arundel Soil Conservation District Plan Submittal Guidelines and the current Maryland Standards and Specifications for Sediment and Erosion Control. I have reviewed this erosion and sediment control plan with the owner/developer."

MD P.E. License # 12466
 MD Land Surveyor License # _____
 Name: Peter E. Loyka, P.E.
 Firm Name: Drum, Loyka & Associates, LLC
 Address: 208 West Street, Suite 203
 Annapolis, Maryland 21401

SEQUENCE OF CONSTRUCTION:

- Obtain all necessary permits. Contractor to take assignment and transference of the MDE Notice-of-Intent permit for the duration of the project. Contractor to notify the City of Annapolis Department of Neighborhood & Environmental Programs, (410) 283-7946, 48 hours prior to the start of construction to schedule a preconstruction meeting. (1 Day)
- Clear only as necessary to install the indicated sediment and erosion control devices as per the plans. These include the Stabilized Construction Entrance, Super Silt Fence along the western side and the southwest end of Hilltop Lane, Sediment Trap #1 through #3, Inlet Protection and Reinforced Silt Fence at the designated locations along Hilltop Lane. Note that for installation of Sediment Trap #1, Monohex M-110 must be installed over the existing storm drain pipe. Provide a temporary outlet pipe to M-110 and a temporary storm inlet pipe from existing I-34. The existing upstream storm drainage system shall then be diverted into Sediment Trap #1. For installation of Sediment Trap #2, Monohex M-120 must be installed over the existing storm drain pipe at existing I-33. Construct permanent 15" RCP storm drain from trap to M-120. (2 Weeks)
- Obtain Sediment Control Inspector's approval that all sediment and erosion control devices have been installed correctly. Contractor to do weekly pre- and post storm inspections on an ongoing basis. (1 Day)
- With the Inspector's approval, begin demolition, clearing and rough grading of site within the limits of disturbance. Note designated slope area shown on the plans. (4 Weeks)
- Mechanically stabilize all heavy use areas, including staging zones, low-wood zones and travel lanes. These areas must be maintained throughout the construction process. (2 Weeks)
- Begin building construction. Note that building construction cannot proceed post the ground floor until all remaining disturbed areas have been permanently or temporarily stabilized. All areas being temporarily or permanently stabilized with vegetation shall be per the Anne Arundel Soil Conservation District Details for Vegetative Establishment. During building construction beyond the ground floor, all disturbed areas must be stabilized at the end of each business day. (4 Weeks)
- Continue fine grading of site and begin construction of on-site utilities, including the proposed storm drain system. Remove existing storm drain system and designated portions of existing water and sewer lines as shown on the plans. Complete installation of utilities. Install proposed curb & gutter as indicated on the plans (except in areas of sediment traps). Install stone base for all parking areas and driveways and fully stabilize the site (except in areas of sediment traps). (8 Weeks)
- Construct athletic facilities. After drainage areas to be phased out are permanently stabilized and with inspectors approved traps may be phased out. Trap #1 may be phased out only after entire drainage area is permanently stabilized, then construct entrances at Gemini Drive. After trap #1 is phased out mechanically or vegetatively stabilize all disturbed areas at the end of each day during Gemini Drive entrance construction. (8 Weeks)
- Once the site is fully stabilized, with the inspectors' approval, continue building construction beyond the ground floor. (Note: Approval for building construction beyond the ground floor may be obtained prior to completion of all utilities, curb & gutter, etc. if all remaining disturbed areas have been permanently or temporarily stabilized. Utilities, curbing and paving may occur at any time during the sequence as long as all disturbances are returned to their stabilized condition at the end of each work day. Relief may be granted by an inspector from the need to stabilize the site at the end of a particular work day if unique circumstances exist that would create an undue hardship on the developer to stabilize the site and the inspector is convinced that weather conditions over the next twenty-four hours would not result in the creation of soil erosion or sediment movement within the site.) (8 Weeks)
- Upon completion of construction, permanently stabilize the site as required by the plan. (1 Week)
- Contact the City Sediment Control Inspector for approval to remove the remaining sediment controls and stabilize affected areas. Once all contributing areas are stabilized, install SMM Bio-retention devices. Contact engineer prior to construction for SMM inspection certification. Stabilize remaining disturbed areas. (1 Week)



SITE TABULATIONS

SCALE: 1" = 100'

TOTAL SITE AREA = 1,524,897 S.F. (35.01 Ac.)
 EXISTING/PROPOSED ZONING - R2
 PROPOSED USE: PUBLIC RECREATIONAL BUILDING & FACILITIES
 MINIMUM LOT SIZE: AS SPECIFIED BY THE DECISION-MAKING BODY OR OFFICIAL
 MAXIMUM F.A.R.: AS SPECIFIED BY THE DECISION-MAKING BODY OR OFFICIAL
 BUILDING SETBACKS (R2): AS SPECIFIED BY THE DECISION-MAKING BODY OR OFFICIAL

PARKING SPACES REQUIRED: SPACES FOR 30% BUILDING CAPACITY IN PERSONS
 PARKING SPACES PROPOSED: 205 SPACES TOTAL
 (INCLUDING 7 HANDICAP; 2 COMPACT; 11 ALTERNATIVE FUEL; 11 VAN/CARPOOL)

TOTAL DISTURBED AREA = 284,615 S.F. (6.07 Ac.)
 AREA TO BE STRUCTURALLY STABILIZED = 191,243 S.F. (4.39 Ac.)
 AREA TO BE VEGETATIVELY STABILIZED = 73,372 S.F. (1.68 Ac.)

EARTHWORK TABLE*

CUT:	35,500 c.y.
FILL:	1,700 c.y.
SPOIL TO BE REMOVED:	33,800 c.y.

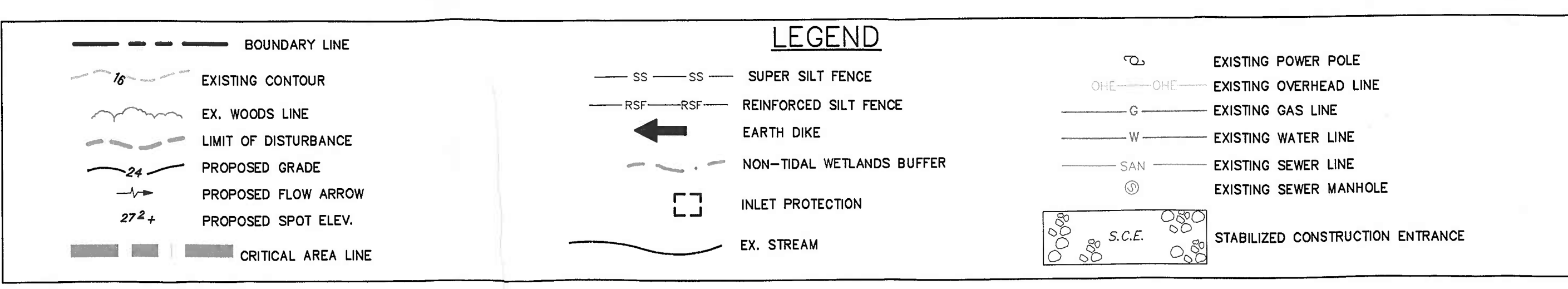
* EARTHWORK NUMBERS ARE FOR GRADING PERMIT SUBMITTAL ONLY. NOT TO BE USED FOR BID PURPOSES.

CRITICAL AREA TABULATIONS

TOTAL AREA WITHIN CRITICAL AREA = 1,177,507 S.F. (27.03 Ac.)
 CRITICAL AREA DESIGNATION - IDA = 55,528 S.F. (1.27 Ac.)
 CRITICAL AREA DESIGNATION - LDA = 430,321 S.F. (9.88 Ac.)
 CRITICAL AREA DESIGNATION - RCA = 691,658 S.F. (15.88 Ac.)

IMPERVIOUS AREA CALCULATIONS

EX. IMPERVIOUS AREA (IDA PORTION) = 30,220 S.F. (0.69 Ac.)
 PROP. IMPERVIOUS AREA (IDA PORTION) = 30,220 S.F. (0.69 Ac.)
 EX. IMPERVIOUS AREA (LDA PORTION) = 120,805 S.F. (2.77 Ac.)
 PROP. IMPERVIOUS AREA (LDA PORTION) = 182,152 S.F. (4.18 Ac.)
 EX. IMPERVIOUS AREA (RCA PORTION) = 2,937 S.F. (0.07 Ac.)
 PROP. IMPERVIOUS AREA (RCA PORTION) = 2,937 S.F. (0.07 Ac.)



GENERAL NOTES

- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH CITY OF ANNAPOLIS STANDARD DETAILS AND SPECIFICATIONS FOR CONSTRUCTION (AUGUST 1988), AND ALL AMENDAS THERE TO.
- THE EXISTING UTILITIES AND OBSTRUCTIONS SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR TO CONSTRUCTION. NECESSARY PRELIMINARY WORK SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SERVICES AND MAINS AND ANY DAMAGE TO THEM SHALL BE REPAIRED IMMEDIATELY AT HIS OWN EXPENSE.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:
 - CITY OF ANNAPOLIS DEPT. OF NEIGHBORHOOD & ENVIRONMENTAL PROGRAMS (410)283-7946
 - CITY OF ANNAPOLIS DEPARTMENT OF ENGINEERING & CONSTRUCTION (410)283-7949
 - CITY OF ANNAPOLIS DEPARTMENT OF UTILITIES (410)283-7970
 - MARYLAND DEPARTMENT OF THE ENVIRONMENT (410)831-3150
 - MISS UTILITY (800)257-7777
 - BGE (800)885-0123
 - VERIZON (410)954-6230
- THE CONTRACTOR MUST ALLOW TRAFFIC MOVEMENT ALONG HILLTOP LANE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR DUST AND MUD ON HILLTOP LANE DUE TO VEHICLES ARRIVING AND LEAVING THE SITE. STREETS ARE TO BE MAINTAINED AND KEPT FREE OF DEBRIS AND DIRT ON A DAILY BASIS.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN THE SCALED AND THE DIMENSIONS SHOWN ON THESE DRAWINGS, THE DIMENSIONS SHALL GOVERN.
- THE OWNER/DEVELOPER SHALL PROVIDE FOR REGULAR INSPECTIONS, CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER, TO BE CONDUCTED DURING CONSTRUCTION OF STORMWATER MANAGEMENT SYSTEMS IN ACCORDANCE WITH ACCEPTED DESIGN PROCEDURES.
- IF APPLICABLE, A GEOTECHNICAL ENGINEER SHALL PERFORM FULL-TIME INSPECTION DURING THE EXCAVATION AND INSTALLATION OF INFILTRATION SYSTEMS.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE "1984 STANDARDS & SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROLS" PUBLISHED JOINTLY BY THE WATER RESOURCES ADMINISTRATION, SOIL CONSERVATION SERVICE AND STATE SOIL CONSERVATION COMMITTEE.
- DEVELOPER IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES FOR RELOCATIONS OF EXISTING UTILITIES AND POWER POLES. REQUIRED RELOCATIONS ARE TO BE DONE AT DEVELOPER'S EXPENSE.
- THE COORDINATES, BEARINGS, ELEVATIONS, ETC. SHOWN ON THESE PLANS ARE REFERRED TO THE CITY OF ANNAPOLIS SYSTEM OF PLANE COORDINATES AS ESTABLISHED BY CITY OF ANNAPOLIS CONTROL, USING MONUMENT 18366, ELEV. 37.52. LOCATION AND TOPOGRAPHIC SURVEY BY DRUM, LOYKA & ASSOCIATES, LLC FROM FLOWN AERIAL TOPOGRAPHY & SUPPLEMENTAL FIELD RUN SURVEYS.
- TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED BY AASHTO METHOD T-99, MODIFIED.
- ACCEPTABLE COMPACTED FILL SHALL BE PLACED IN SIX-INCH LOOSE LIFTS AND COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED BY AASHTO METHOD T-99, MODIFIED. COMPACTION TEST RESULTS CONDUCTED BY AN INDEPENDENT TESTING LAB AND SEALED BY A REGISTERED ENGINEER ARE TO BE SUBMITTED TO THE CITY OF ANNAPOLIS. PRIOR TO PLACEMENT OF COMPACTED FILL, ANY SOFT OR OTHERWISE UNSUITABLE SOILS ENCOUNTERED SHALL BE UNDERKUT AND REMOVED FROM THE CONSTRUCTION AREA.
- SEWAGE RAMP SHALL BE INSTALLED AT THE LOCATIONS INDICATED PER MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAILS MD 655.11 AND MD 655.12. PROVIDE INTEGRAL DETECTABLE WARNING SURFACE PER MD 655.40.
- UNLESS OTHERWISE NOTED, ALL SEWER PIPE SHALL BE PVC (POLYVINYL CHLORIDE), A.S.T.M. D-3034, SDR-26. SEWER CONNECTION TO PROVIDE MINIMUM STANDARD 2% SLOPE TO THE CONNECTION AT THE BUILDING.
- UNLESS OTHERWISE NOTED, ALL WATER PIPE SHALL BE DUCTILE IRON PIPE CI-50 WITH TYTON OR APPROVED STANDARDIZED MECHANICAL JOINTS. FIRE HYDRANT IS TO BE PAINTED SAFETY YELLOW, AND RISER PIPE PAINTED GLOSS BLACK. SEE CITY OF ANNAPOLIS STANDARD DETAIL W-50 FOR INSTALLATION DETAILS.
- DISTURBANCE WITHIN HILLTOP LANE MUST BE STABILIZED IMMEDIATELY USING STEEL PLATES LAD FLUSH WITH THE PAVEMENT. PERMANENT PAVEMENT PATCHING IN THESE AREAS WITH HOT MIX BITUMINOUS MATERIAL MUST BE COMPLETED WITHIN 5 DAYS TO MATCH THE EXISTING PAVEMENT SECTION.
- CONTRACTOR IS TO LIMIT DAILY UTILITY WORK TO THAT WHICH CAN BE EXCAVATED, CONSTRUCTED AND STABILIZED IN ONE WORKING DAY. PIPE OPENINGS SHALL BE PLUGGED AT THE END OF THE DAY. USE CITY OF ANNAPOLIS STANDARD PIPE TRENCH DETAIL G1D.

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SHEET 3 - CIVIL DWG C-3 - SITE PLAN
SHEET 4 - CIVIL DWG C-4 - GEOMETRIC & PAVING PLAN
SHEET 5 - CIVIL DWG C-5 - STORM DRAIN DRAINAGE AREA MAPS
SHEET 6 - CIVIL DWG C-6 - OUTFALL DETAILS
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SHEET 15 - Landscape DWG L-1 - TREE PRESERVATION & PROTECTION PLAN
SHEET 16 - Landscape DWG L-2 - EXISTING TREE INVENTORY
SHEET 17 - Landscape DWG L-3 - HARDSCAPE PLAN
SHEET 18 - Landscape DWG L-4 - PLANTING PLAN
SHEET 19 - Landscape DWG L-5 - BIO-RETENTION AREA ENLARGEMENTS
SHEET 20 - Landscape DWG L-6 - GREEN ROOF
SHEET 21 - Landscape DWG L-7 - DETAILS
SHEET 22 - Landscape DWG L-7 - PLANTING DETAILS



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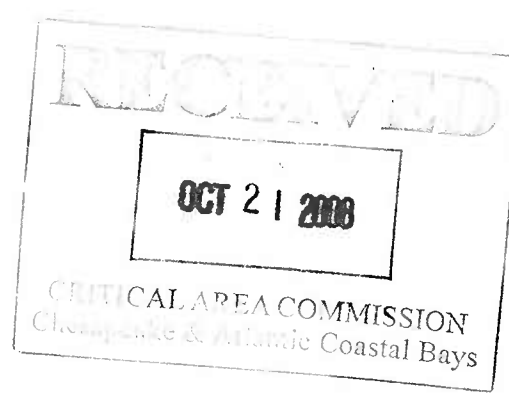
CITY OF ANNAPOLIS
 RECREATION & PARKS
 ANNAPOLIS, MARYLAND 21401

COVER SHEET
GRADING & SEDIMENT CONTROL / STORMWATER MANAGEMENT
TRUXTON PARK RECREATION CENTER
 HILLTOP LANE
 06-000-01407402
 TAX MAP 511 GRID 4 PARCEL 15 DISTRICT 6TH
 CITY OF ANNAPOLIS, MARYLAND 21401

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 SHEET 1 OF 22

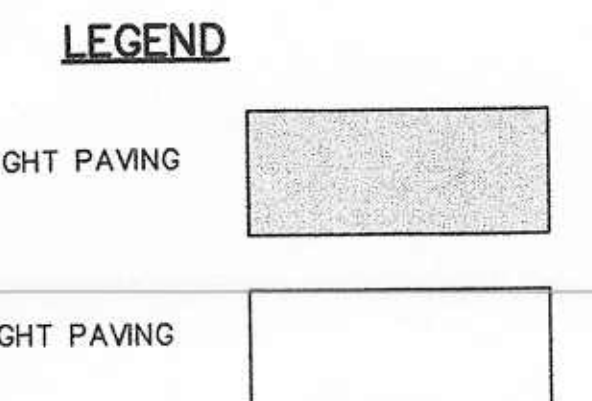
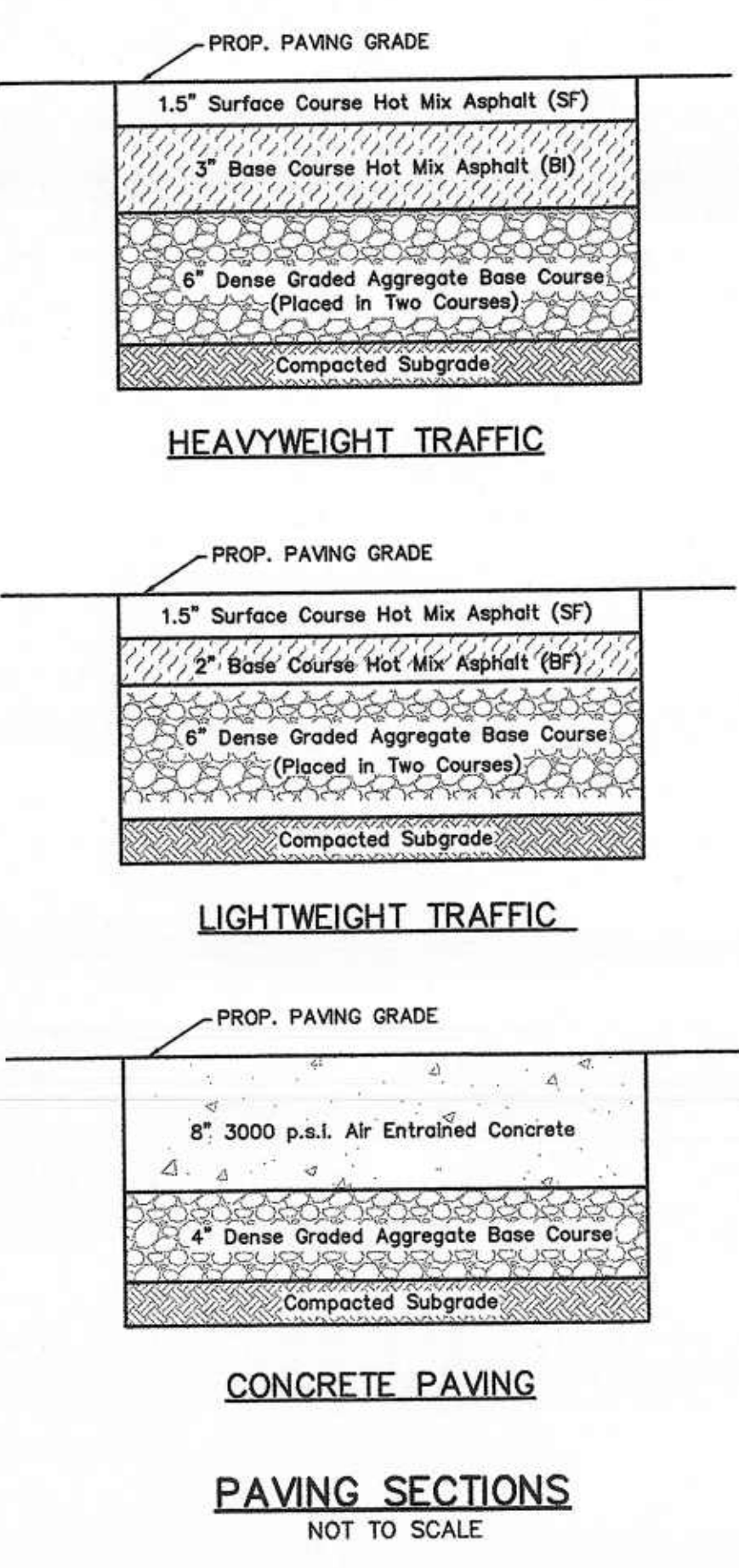
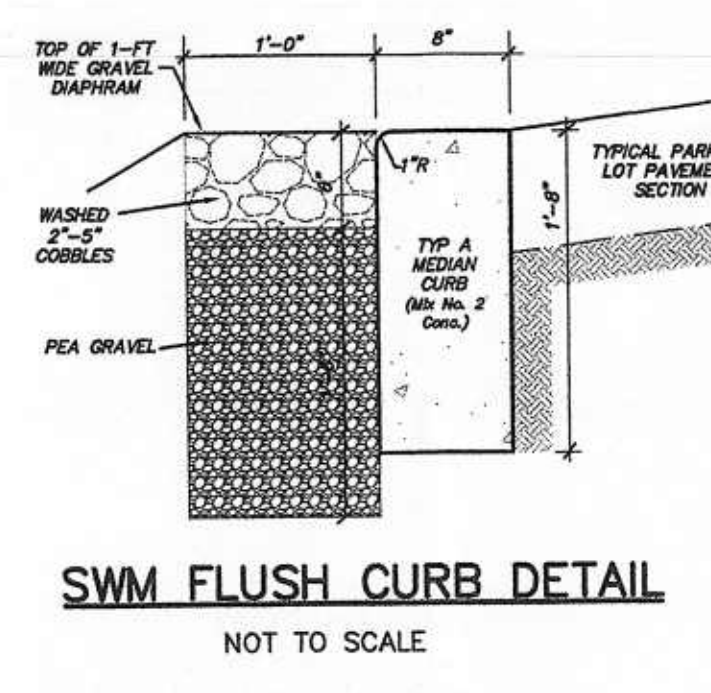
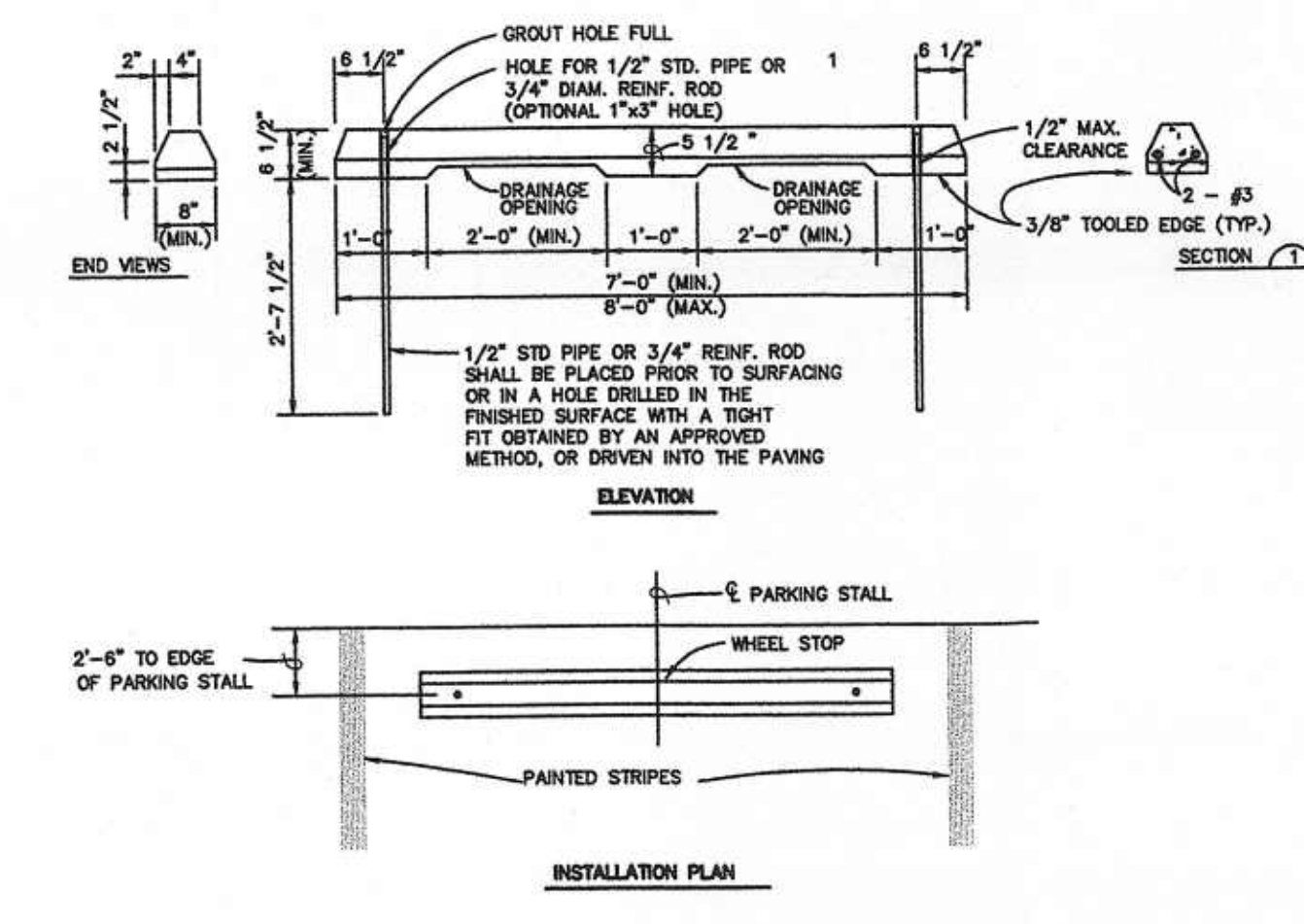
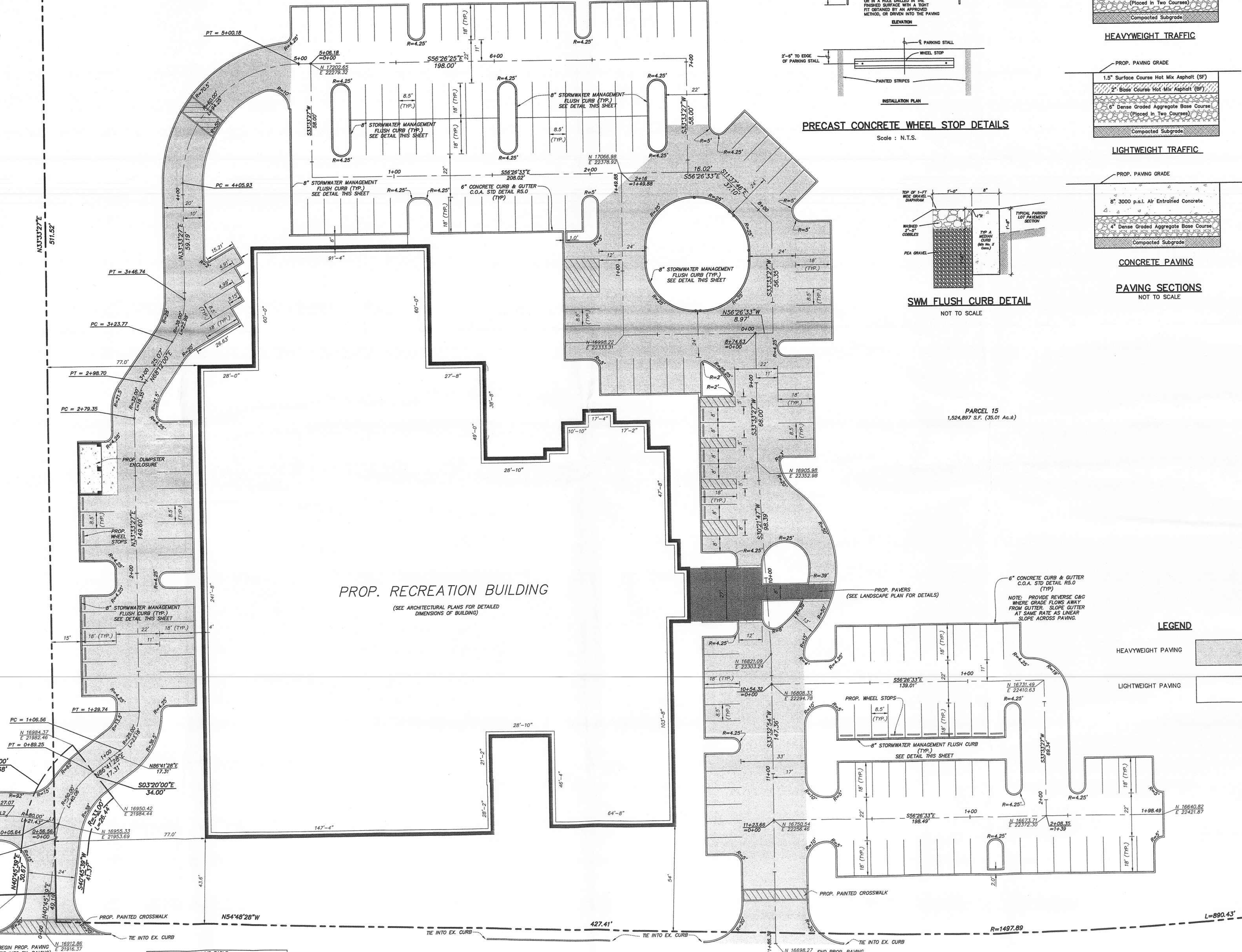


S55°20'23"E
29.89'

PARCEL 12
N/F SALVATION ARMY
Lbr 3374 Folio 598
TAX MAP 14c, GRID 3
351 HILLTOP LANE
ANNAPOLIS, MARYLAND 21403
TAX ACCT. NO. 6-00-08176520
ZONE R2

N33°32'27"E
511.52'

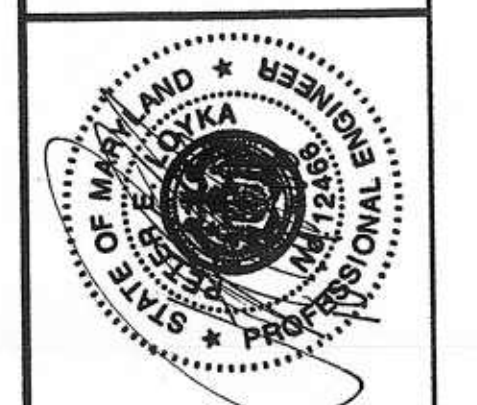
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Lbr 3374 Folio 598
TAX MAP 14c, GRID 3
351 HILLTOP LANE
ANNAPOLIS, MARYLAND 21403
TAX ACCT. NO. 6-00-08176520
ZONE R2



LINE TABLE		
LINE	BEARING	LENGTH
L1	N40°42'40"W	5.64'
L2	N56°08'28"W	3.82'

HILLTOP LANE
(60' PUBLIC RIGHT-OF-WAY)

DRUM, LOYKA & ASSOCIATES, LLC
CIVIL ENGINEERS-LAND SURVEYORS
209 WEST STREET, SUITE 203
ANNAPOLIS, MARYLAND 21401
410-280-3122



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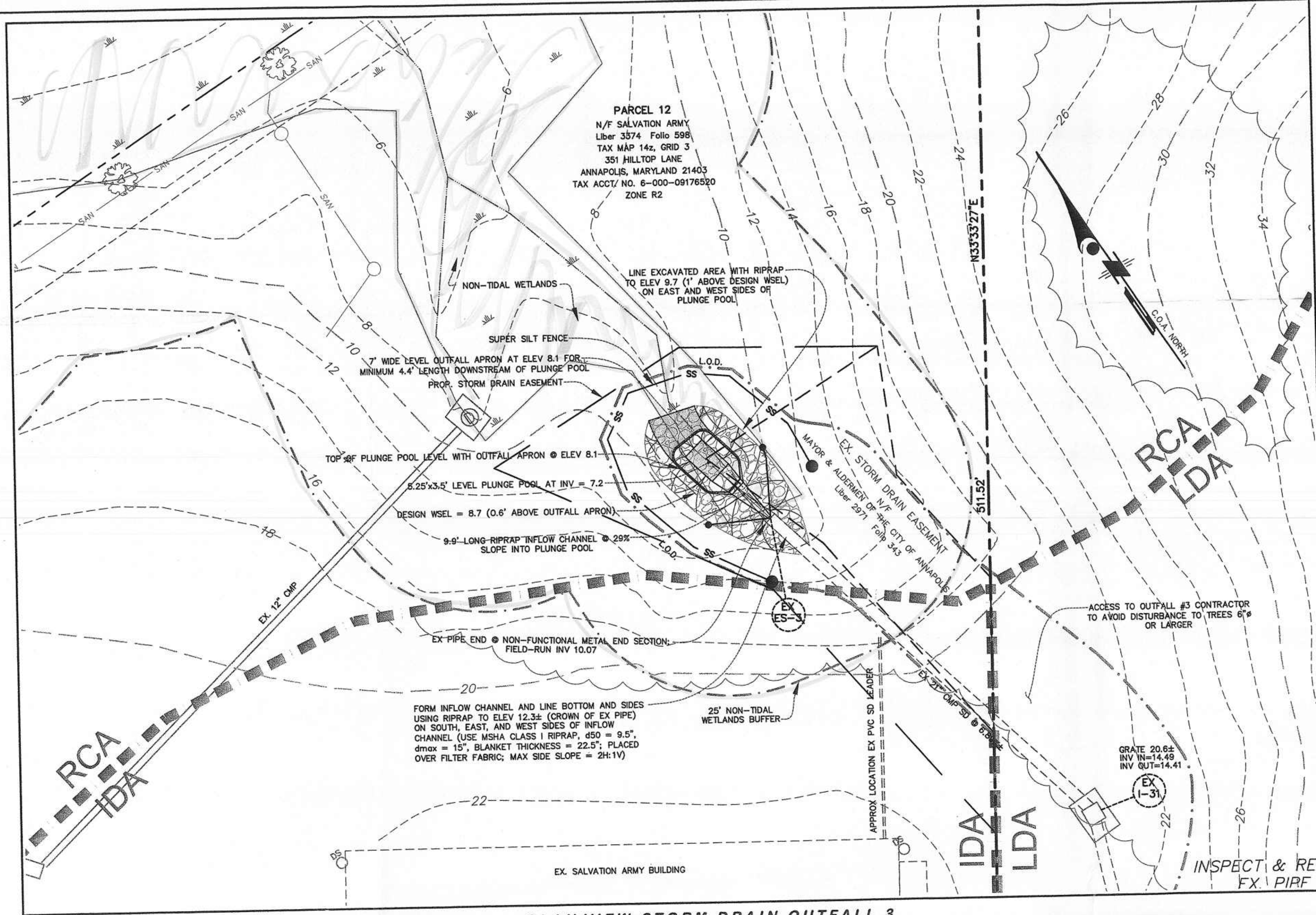
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RECREATION & PARKS
ANNAPOLIS, MARYLAND 21401

GEOMETRIC & PAVING PLAN
GRADING & SEDIMENT CONTROL / STORMWATER MANAGEMENT
TRUXTUN PARK RECREATION CENTER
HILLTOP LANE
06-000-01407402
TAX MAP 51L GRID 4 PARCEL 15 DISTRICT 6TH
CITY OF ANNAPOLIS, MARYLAND 21401

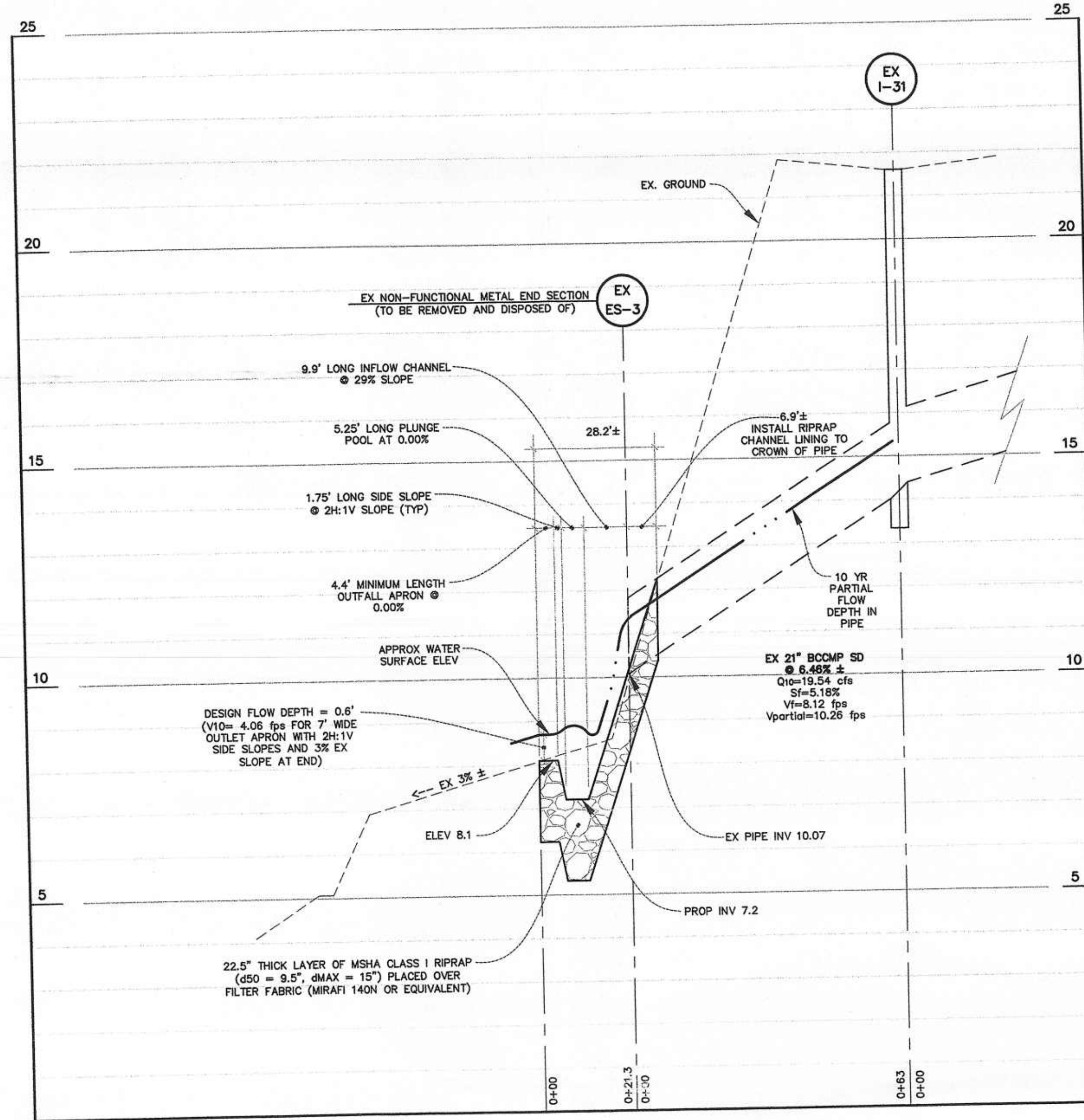
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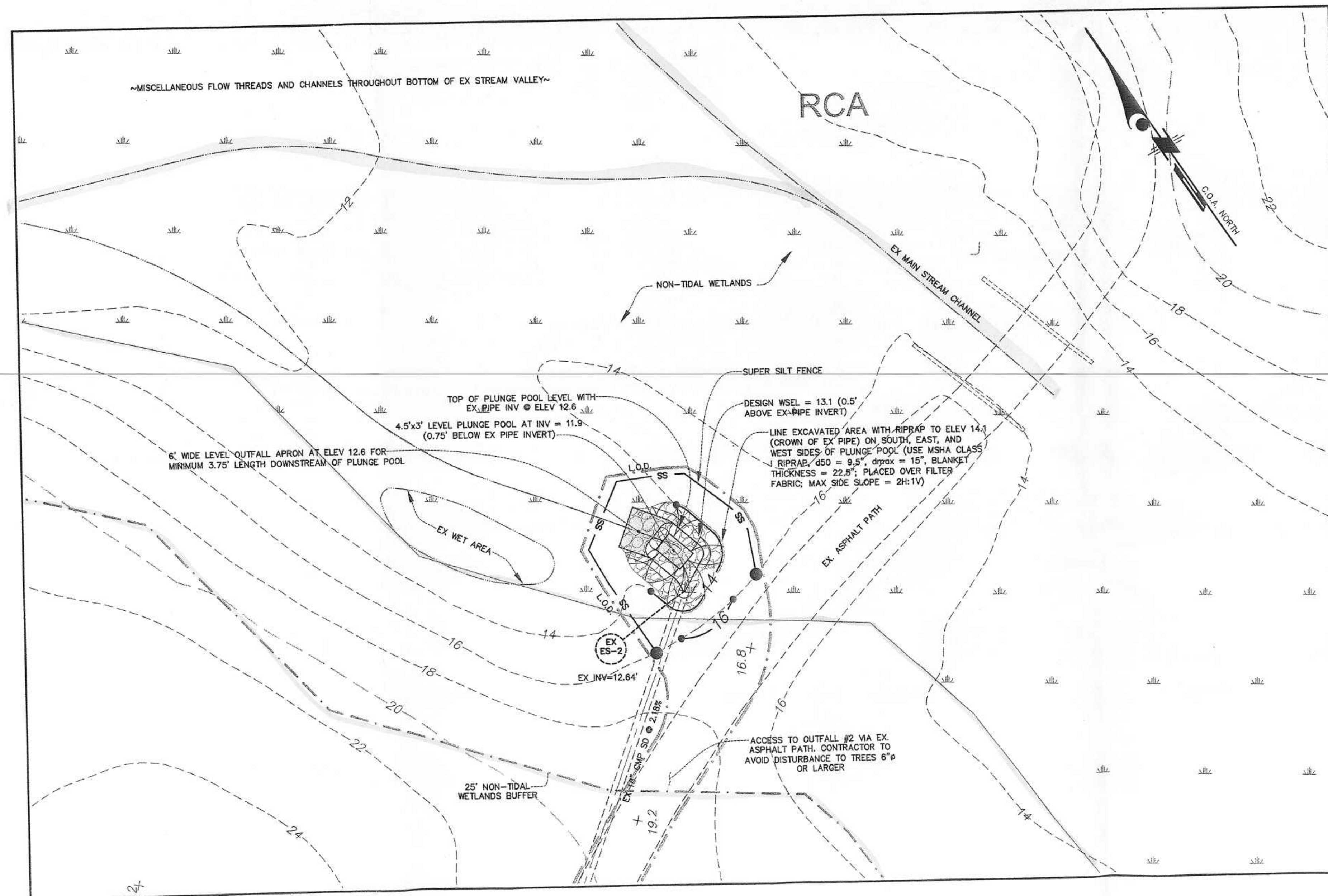
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SCALE: 1"=20'
SHEET NUMBER: C-4
SHEET 4 OF 22



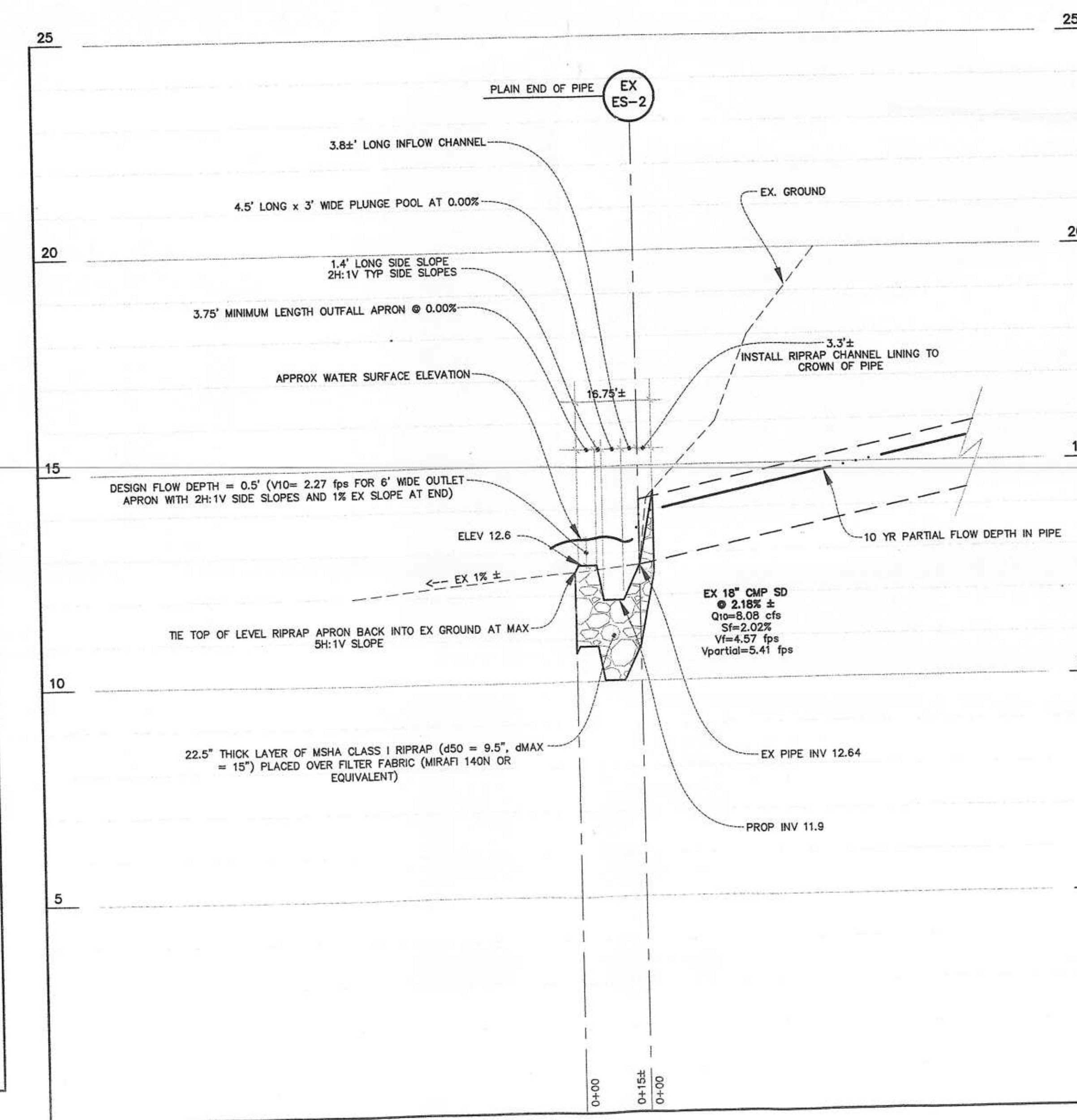
PLAN VIEW-STORM DRAIN OUTFALL 3
SCALE: HORIZONTAL 1"=10'



PROFILE-STORM DRAIN OUTFALL 3
SCALE: HORIZONTAL 1"=20' VERTICAL 1"=2'



PLAN VIEW-STORM DRAIN OUTFALL 2
SCALE: HORIZONTAL 1"=10'



PROFILE - STORM DRAIN OUTFALL 2
SCALE: HORIZONTAL 1"=20' VERTICAL 1"=2'

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CIVIL ENGINEERS-LAND SURVEYORS
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OUTFALL DETAILS
GRADING & SEDIMENT CONTROL / STORMWATER MANAGEMENT
TRUXTUN PARK RECREATION CENTER
HILLTOP LANE
06-000-01407402
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CITY OF ANNAPOLIS, MARYLAND 21401

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NO.	DESCRIPTION

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SHEET 6 OF 22



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 ANNAPOLIS, MARYLAND 21401

OWNER/DEVELOPER

STORM DRAIN PROFILES
 GRADING & SEDIMENT CONTROL / STORMWATER MANAGEMENT
TRUXTON PARK RECREATION CENTER
 HILLOTOP LANE
 CITY OF ANNAPOLIS, MARYLAND 21401
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NO.	REVISION DESCRIPTION

CITIZEN AREA COMMENT
 Chesapeake & Atlantic Coast

DLA Project No. - AA14501

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OCTOBER 8, 2008

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SHEET 7 OF 22

