

TC 808-06 GMH Rentals, LLC  
Lot Line L 1031

MSA. S. 1829-6121

Comments 1/2/57 KJ

Robert L. Ehrlich, Jr.  
*Governor*

Michael S. Steele  
*Lt. Governor*



Martin G. Madden  
*Chairman*

Ren Serey  
*Executive Director*

**STATE OF MARYLAND  
CRITICAL AREA COMMISSION  
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401  
(410) 260-3460 Fax: (410) 974-5338  
[www.dnr.state.md.us/criticalarea/](http://www.dnr.state.md.us/criticalarea/)

January 2, 2007

Ms. Mary Kay Verdery  
Talbot County Office of Planning and Zoning  
11 N. Washington Street  
Courthouse  
Easton, Maryland 21601

Re: L1031 GMH Rentals  
TM 40A, P768D

Dear Ms. Verdery:

Thank you for providing information on the above referenced lot line abandonment. The applicant is proposing to abandon five existing lot lines in order to combine six existing lots into one lot. The property is designated as a Limited Development Area (LDA) and is currently undeveloped.

Based on the information provided, this office does not generally oppose an abandonment of the lot lines on these lots. However, it appears that establishment of the 100-foot Buffer, as well as afforestation to 15% of the new lot will be required at the time of development as less than 15% forest cover currently exists, the Buffer does not appear to be established in woodland cover and the lot is undeveloped. We recommend that appropriate notes be added to the plat stating the afforestation and Buffer establishment requirements.

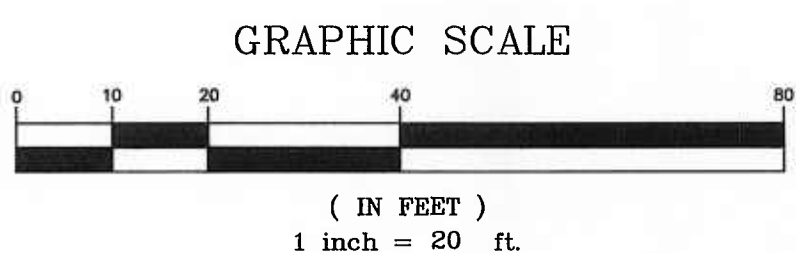
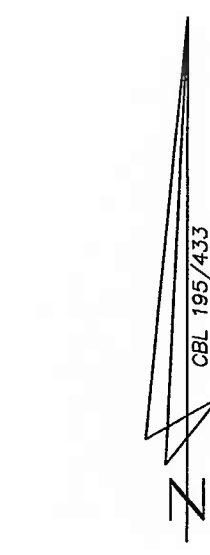
Thank you for the opportunity to provide comments for this lot line abandonment request. Please telephone me with any questions at (410) 260-3482.

Sincerely,

A handwritten signature in cursive script that reads "Kerrie Gallo".

Kerrie L. Gallo  
Natural Resource Planner  
TC 830-06

PLOTTED: Sep 22, 2006 - 1:05pm  
C:\DWG050446\DWG050446.dwg.....Tab24 x 36 RIGHT rmmash



**UTILITY AND DRAINAGE EASEMENT COURSES AND DISTANCES**

LINE	BEARING	DISTANCE
1	S 71°13'40" E	28.75'
2	S 20°17'23" W	244.07'
3	N 72°35'00" W	13.91'
4	N 17°25'00" E	244.37'

**LEGEND**

- DENOTES DEED POINT UNLESS OTHERWISE NOTED
- B.R.L. DENOTES BUILDING RESTRICTION LINE
- (M) DENOTES PROPOSED WELL
- (W) DENOTES EXISTING WELL
- E— DENOTES OVERHEAD UTILITY LINES
- O— DENOTES UTILITY POLE
- DENOTES TELEPHONE PEDESTAL
- /— DENOTES WOODEN FENCE
- IRF DENOTES IRON ROD FOUND
- CMF DENOTES CONCRETE MONUMENT FOUND
- IRS DENOTES IRON ROD SET
- 499 DENOTES TOPOGRAPHIC CONTOUR AND ELEVATION DATUM BASED ON AN ASSUMED BENCH MARK
- >— DENOTES DITCH AND FLOW DIRECTION

**SURVEYOR'S CERTIFICATION**

I HEREBY CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THE BOUNDARY LINE REVISION PLAT SHOWN HEREON WAS PREPARED BY MICRONE, INC. AT WHICH TIME THE UNDERSIGNED REGISTERED SURVEYOR WAS IN RESPONSIBLE CHARGE OF ITS PREPARATION AND THE SURVEYING WORK REFLECTED IN IT IS IN COMPLIANCE WITH THE REQUIREMENTS STATED IN COMAR 09.13.06.12 OF THE MINIMUM STANDARDS FOR SURVEYORS THAT IT IS THE LANDS CONVEYED TO GMH RENTALS, LLC BY GREGORY MARTIN HALEY BEING DATED SEPTEMBER 21, 2005 AND RECORDED IN THE LAND RECORDS OF TALBOT COUNTY, MARYLAND IN LIBER WAS 1382, FOLIO 579.

DAVID R. JONER  
PROPERTY LINE SURVEYOR No. 414  
207 N LIBERTY STREET  
CENTREVILLE, MARYLAND 21617

**PLANNING AND ZONING**

THIS PLAT REPRESENTS A REVISION OF LOT LINES AND DOES NOT CONSTITUTE ANY NEW BUILDING LOTS UNDER THE TERMS OF THE TALBOT COUNTY ZONING ORDINANCE.

PLANNING OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

**HEALTH DEPARTMENT**

THIS LOT LINE REVISION PLAT HAS BEEN APPROVED BY THE TALBOT COUNTY HEALTH DEPARTMENT. THE REVISED LOT 55-R AS SHOWN HEREON IS APPROVED FOR ONE COMMUNITY SEWER CONNECTION AND FOR AN INDIVIDUAL WATER SUPPLY AND THEIR USE IS IN ACCORDANCE WITH THE TALBOT COUNTY COMPREHENSIVE WATER AND SEWER PLAN AND MARYLAND DEPARTMENT OF ENVIRONMENT REGULATION 26.04.03. THE APPLICANTS OR ANY FUTURE OWNER MUST DISCONTINUE USE OF THE INDIVIDUAL WATER SUPPLY WHEN COMMUNITY WATER BECOMES AVAILABLE.

HEALTH OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

**LAND OWNER**

THE PRESENT OWNER OF THE LAND OF WHICH THIS BOUNDARY LINE REVISION IS COMPOSED IS:

GMH RENTALS, LLC  
c/o GREGORY M. HALEY (OWNER)  
26935 BUNNY LANE  
EASTON, MARYLAND 21601  
(410) 822-5467

THE OWNER CONCURS WITH ALL NOTATIONS AND REPRESENTATIONS ON THIS PLAT WHICH IS PREPARED AND WILL BE RECORDED AT THEIR REQUEST.

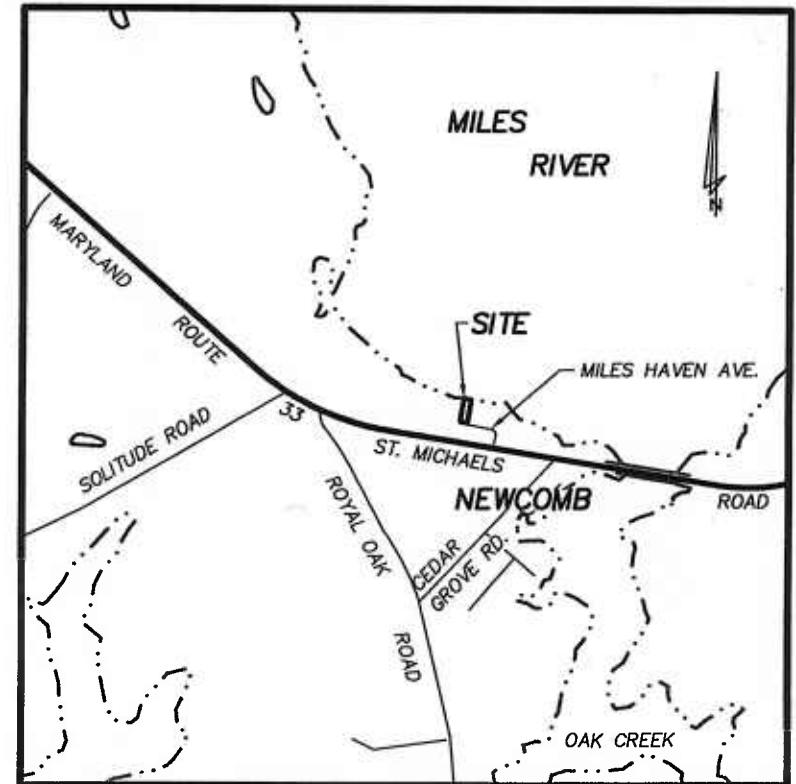
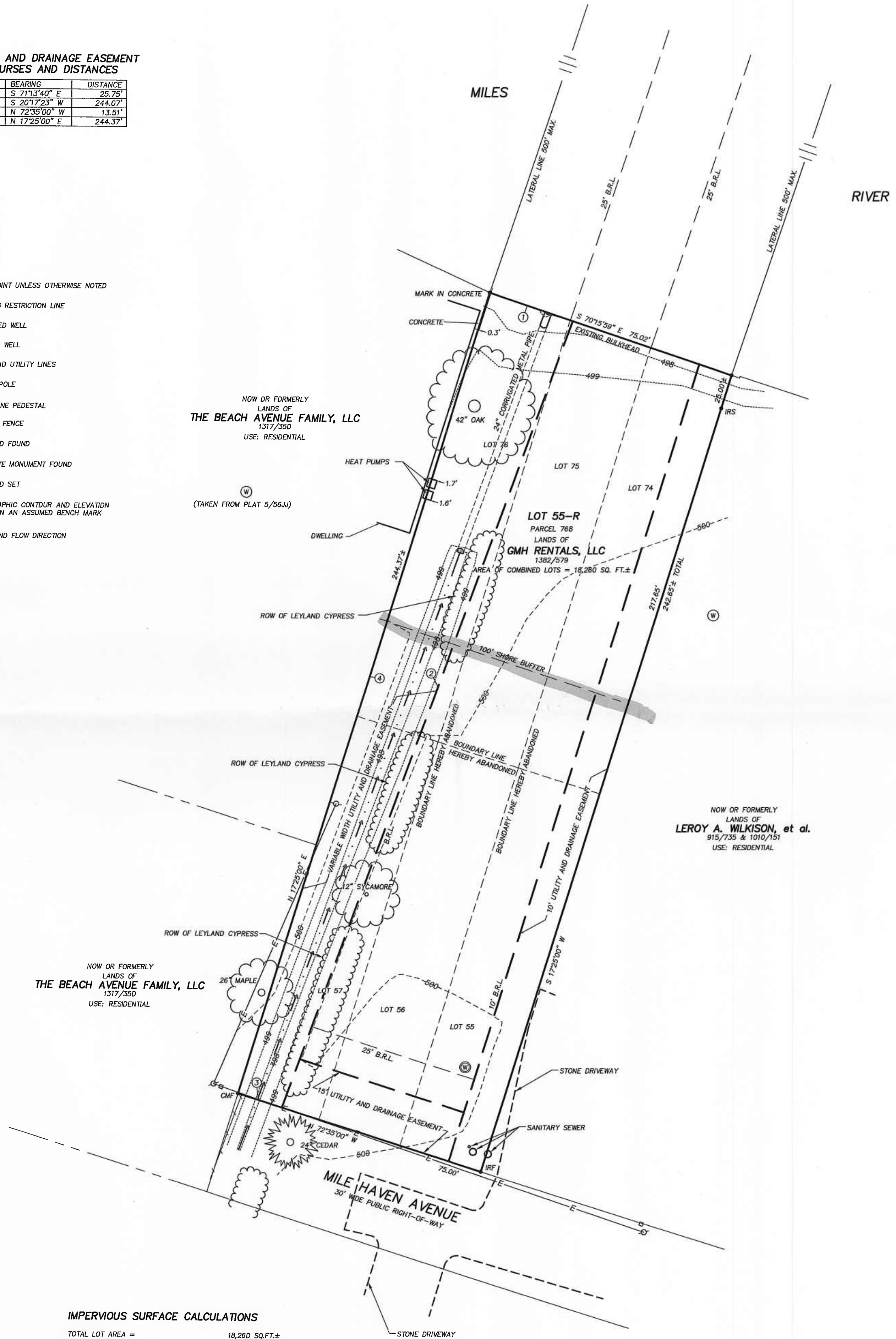
I, THE UNDERSIGNED, OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, DO HEREBY AGREE TO THE POSITION OF THE PROPERTY LINES AS ESTABLISHED BY THIS PLAT, AND TO THE POINTS SET IN THE FIELD AS INDICATED HEREON.

GMH RENTALS, LLC  
OWNER: GREGORY M. HALEY  
THE OWNER HAS SWORN TO AND SUBSCRIBED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2006

MY COMMISSION EXPIRES \_\_\_\_\_

**IMPERVIOUS SURFACE CALCULATIONS**

TOTAL LOT AREA =	18,260 SQ.FT.±
EXISTING IMPERVIOUS SURFACE =	0 SQ.FT.
ALLOWABLE IMPERVIOUS SURFACE =	4,585 SQ.FT.
(25% OF TOTAL SITE MINUS EXISTING IMPERVIOUS SURFACES)	



**VICINITY MAP**  
SCALE: 1" = 2,000'

**GENERAL NOTES**

- FOR CURRENT DEED REFERENCE SEE LIBER M.A.S. 1382, FOLIO 579.
- FOR PLAT REFERENCE SEE LIBER C.B.L. 195, FOLIO 433.
- THE ZONING CLASSIFICATIONS ARE: VILLAGE CENTER - VC.
- THE PROPERTY SHOWN HEREON IS LOCATED ENTIRELY WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
- THE MINIMUM LOT SIZE ALLOWED IS 10,000 SQ. FT. (WITH PUBLIC SEWER).
- BUILDING SETBACKS AS SHOWN ARE MINIMUM:  
FRONT YARD 25 FEET  
SIDE YARD 10 FEET  
REAR YARD 25 FEET  
SHORELINE 100 FEET
- PRIOR TO CONSTRUCTION OF IMPROVEMENTS, THE OWNER SHALL CONTACT THE TALBOT COUNTY DEPARTMENT OF PUBLIC WORKS, SANITARY DISTRICT FOR SANITARY SEWER CONNECTION DETAILS AND APPLICATION FEES.
- AREA OF EXISTING  
LOT 55 = 2,875 SQ.FT.±  
LOT 56 = 2,875 SQ.FT.±  
LOT 57 = 2,875 SQ.FT.±  
LOT 74 = 3,167 SQ.FT.±  
LOT 75 = 3,211 SQ.FT.±  
LOT 76 = 3,227 SQ.FT.±  
TOTAL AREA OF LOTS COMBINED (LOT 55-R) = 18,260 SQ.FT.±
- NO FOREST EXISTS ON SITE.

**PURPOSE AND INTENT**

THE PURPOSE OF THIS PLAT IS TO COMBINE EXISTING LOTS 55-57 AND 74-76, SECTION "A" OF MILES HAVEN INTO ONE BUILDING LOT.

**NONTIDAL WETLAND DISCLAIMER**

THIS DEVELOPMENT MAY CONTAIN JURISDICTIONAL NONTIDAL WETLANDS, WHICH HAVE NOT BEEN OFFICIALLY DELINEATED BY THE MARYLAND DEPARTMENT OF NATURAL RESOURCES NONTIDAL WETLANDS DIVISION AND, IN SOME CASES, THE U.S. ARMY CORPS OF ENGINEERS. THE IDENTIFICATION AND/OR DELINEATION OF JURISDICTIONAL NONTIDAL WETLANDS AS SHOWN ON THIS APPLICATION ARE BASED UPON THE FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS. AS THE APPLICANT OF THIS DEVELOPMENT PROJECT, I UNDERSTAND THAT THE FINAL AUTHORITY FOR ALL NONTIDAL WETLANDS DELINEATIONS AND REGULATIONS RESTS WITH U.S. ARMY CORPS OF ENGINEERS. I ALSO UNDERSTAND THAT COUNTY APPROVAL OF THIS DEVELOPMENT PROJECT DOES NOT EXEMPT THIS PROJECT FROM OBTAINING PERMITS AND APPROVALS WHICH MAY BE REQUIRED BY THE U.S. ARMY CORPS OF ENGINEERS.

**NOTIFICATION OF THE ENDANGERED SPECIES ACT**

THIS DEVELOPMENT MAY CONTAIN THREATENED OR ENDANGERED SPECIES PROTECTED UNDER THE ENDANGERED SPECIES ACT AS AMENDED. THE U.S. DEPARTMENT OF THE INTERIOR, FISH & WILDLIFE SERVICE ADMINISTERS REGULATIONS DESIGNED TO PROTECT THESE THREATENED AND ENDANGERED SPECIES AND THEIR HABITATS. AS THE APPLICANT FOR THIS DEVELOPMENT ACTIVITY, I UNDERSTAND THAT THE FINAL AUTHORITY FOR ALL DETERMINATIONS CONCERNING THE EFFECT OF THE DEVELOPMENT ON THESE SPECIES AND THEIR HABITAT RESTS WITH THE U.S. DEPARTMENT OF THE INTERIOR, FISH & WILDLIFE SERVICE. I ALSO UNDERSTAND THAT THE COUNTY APPROVAL OF THIS PROJECT DOES NOT EXEMPT THIS PROJECT FROM OBTAINING ALL PERMITS AND APPROVALS, WHICH MAY BE REQUIRED BY THE U.S. DEPARTMENT OF THE INTERIOR, FISH & WILDLIFE SERVICE.

**NATURAL RESOURCES CONSERVATION SERVICE STATEMENT**

ANY LAND CLEARING, GRADING OR OTHER EARTH DISTURBANCE WITHIN THE UNINCORPORATED AREAS OF THE TALBOT COUNTY SHALL REQUIRE AN EROSION AND SEDIMENT CONTROL PLAN, APPROVED BY THE TALBOT COUNTY SOIL CONSERVATION DISTRICT IN ACCORDANCE WITH THE TALBOT COUNTY SOIL, EROSION AND SEDIMENT CONTROL, DRAINAGE AND THE STATE OF MARYLAND EROSION AND SEDIMENT CONTROL LAW, COMAR 4-103 & 26.08.01.05.

**TREE CUTTING & CLEARING**

CUTTING AND/OR CLEARING OF TREES WITHIN TALBOT COUNTY IS SUBJECT TO REVIEW BY THE TALBOT COUNTY PLANNING AND ZONING OFFICE. PLEASE CONTACT THE TALBOT COUNTY OFFICE OF PLANNING AND ZONING (410 770-9030) FOR FURTHER INFORMATION.

**AGRICULTURAL STATEMENT**

BY ACCEPTANCE OF THE DEED TO THIS PROPERTY, EACH LOT OWNER OR THEIR SUCCESSORS OR ASSIGNS, HEREBY ACKNOWLEDGE THAT THEY ARE AWARE THAT THE PROPERTY BORDERS ON PROPERTY UNDER AGRICULTURAL USE AND THAT THE NORMAL FARMING OPERATIONS ON SUCH AGRICULTURAL LAND MAY CAUSE SOME INTERFERENCE WITH THE USE AND ENJOYMENT OF THE PROPERTY, SUCH AS ODOR, DUST, NOISE, AND DRIFT OF PESTICIDES OR CHEMICALS. THE LOT OWNER ACCEPTS THE LIMITATIONS ON USE AND ENJOYMENT AFFECTING THE PROPERTY.

**DRAINAGE AND UTILITY EASEMENT**

A UTILITY AND DRAINAGE RIGHT-OF-WAY AND EASEMENT SHALL BE PROVIDED IN AND OVER STRIPS OF LAND FIFTEEN (15) FEET IN WIDTH ALONG THOSE BOUNDARY LINES CONTIGUOUS TO ANY ROAD AND TEN (10) FEET IN WIDTH ALONG EXISTING BOUNDARY LINES (ENTIRELY ON THE SUBJECT PARCEL) NOT CONTIGUOUS TO ANY ROAD EXCEPT AS SHOWN HEREON.

**STORMWATER MANAGEMENT**

THIS LOT SHALL BE DEVELOPED IN ACCORDANCE WITH THE "2000 MARYLAND STORMWATER DESIGN MANUAL", AND THE TALBOT COUNTY STORMWATER MANAGEMENT CODE.

**FLOOD ZONE INFORMATION**

THE ENTIRE PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE "A" LOCATED WITHIN THE COASTAL FLOOD PLAIN AS SHOWN ON THE FEDERAL INSURANCE RATE MAPS FOR TALBOT COUNTY, MARYLAND. THEREFORE, MANDATORY FLOOD INSURANCE IS REQUIRED IN ACCORDANCE WITH THE PROVISIONS OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY WASHINGTON, DC. SEE FEMA MAP NO. 240066 0031 A. NO DMSITE ELEVATIONS WERE TAKEN TO DETERMINE ACTUAL FIELD CONDITIONS.

**FLOOD PLAN LEGEND**

- A 100 YEAR FLOOD ZONE
- B 500 YEAR FLOOD ZONE
- C AREA OF MINIMAL FLOODING

THE FLOOD ZONE "A" PORTION OF THE PROPERTY SHOWN HEREON HAS A ONE-PERCENT CHANCE OF OCCURRENCE OF BEING INUNDATED BY A FLOOD IN ANY GIVEN YEAR. THEREFORE, ANY NEW CONSTRUCTION OR SUBSTANTIAL IMPROVEMENT ON THE PROPERTY IS SUBJECT TO FEDERAL, STATE AND LOCAL REGULATIONS.

**DEVELOPMENT RIGHTS**

- PERMITTED - (6) LOTS 55, 56, 57, 74, 75 & 76
- USED - (1) REVISED LOT 55-R
- REMAINING - (0)

**REVISIONS**

REV #	DATE	DESCRIPTION
1	9-22-06	PER TECHNICAL ADVISORY COMMITTEE REVIEW

APPROVED: \_\_\_\_\_  
DATE: \_\_\_\_\_

**MICRONE**

- Engineering
- Environmental Sciences
- Construction Services
- Land Planning & Surveying

ANNAPOLIS • CENTREVILLE • DOVER • ELKTON • SALISBURY

307 NORTH LIBERTY STREET  
CENTREVILLE, MARYLAND 21617  
(410) 756-2237 • FAX (410) 756-2464

www.microne-inc.com Copyright © 2006

DATE	MAY 2006
JOB NUMBER	D1050446
SCALE	AS SHOWN
DRAWN BY:	MDN
DESIGNED BY:	
APPROVED BY:	
FOLDER REFERENCE:	2488

BOUNDARY LINE REVISION  
BETWEEN LOTS 55-57 & 74-76, SECTION A  
**MILES HAVEN**  
SECOND ELECTION DISTRICT, TALBOT COUNTY, MARYLAND  
TAX MAP - 40A, GRID - N/A, PARCEL - 768  
PREPARED FOR: CHARLES W. JARRELL

RECEIVED  
SEP 22 2006

SHEET NO.: \_\_\_\_\_  
FILE NO.: 05446.dwg

1/10/07 TAC