

TC 807-06 Seymour Avenue Waterfront
Consist. Report Park

MSA. S. 1829-6120

Part
E0121/2 Seymour



**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarca/

February 12, 2007

Ms. Mary Kay Verdery
Talbot County Office of Planning and Zoning
11 N. Washington Street
Courthouse
Easton, Maryland 21601

Re: Seymour Avenue Waterfront Park

Dear Ms. Verdery:

Thank you for providing information on the above referenced waterfront park project. It appears that the County Department of Public Works is proposing after-the-fact to replace an existing County-owned and maintained roadway with a waterfront park, including replacement of a failing bulkhead and installation of revetment. The project lies entirely within the Limited Development Area (LDA).

In evaluating the information provided, it is my understanding that the conversion project creates no new impervious surface area within the Buffer, and in fact, reduces the overall impervious surface area onsite by 33%. In addition, no tree clearing is proposed in conjunction with the project. When new or redevelopment is undertaken on a County-owned property, compliance with the current Critical Area regulations must be demonstrated to the extent possible. In this case, the County has not provided information regarding the existing and proposed developed woodland cover on the site within the consistency report. However, it appears that the landscaping plan provided adequately meets the 15% afforestation requirement for the property. Therefore, I concur that that the project appears to be consistent with the provisions of COMAR 27.02.02 and the criteria outlined within COMAR 27.01.02.04.

As indicated within previous conversations between County staff and Critical Area Commission staff, I understand that the miscommunication resulting in the need for an after-the-fact consistency determination has been cleared up and that future local government projects will be submitted to the Commission prior to the initiation of construction activities. Thank you for your cooperation and efforts in bringing this project to Commission staff for review. If you have any questions, please contact me at 410-260-3482.

Sincerely,

Kerrie L. Gallo
Natural Resource Planner
TC807-06



807-06

TALBOT COUNTY OFFICE OF PLANNING & ZONING

COURT HOUSE

11 N. WASHINGTON STREET
EASTON, MARYLAND 21601

PHONE: 410-770-8030

FAX: 410-770-8043
TTY: 410-822-8735

December 12, 2006

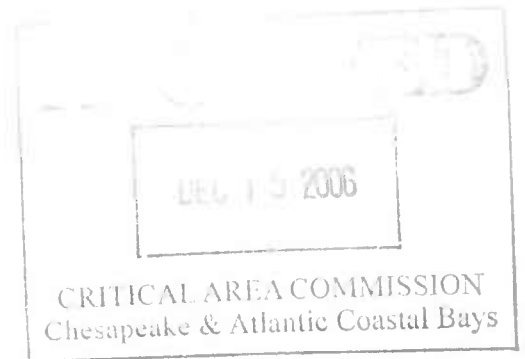
Mrs. Kerrie Gallo
Chesapeake Bay Critical Area Commission
1804 West Street, Suite 100
Annapolis, MD 21401

Re: Seymour Avenue Waterfront Park

Dear Mrs. Gallo:

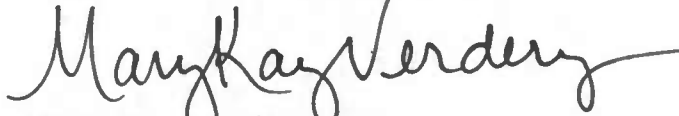
In accordance with Title 27, Chesapeake Bay Critical Area Commission, Subtitle 02, Development in the Critical Area Resulting from State and Local Agency Programs, Chapter 02, State and Local Agency Actions Resulting in Development of Local Significance on Private Lands or Lands Owned by Local Jurisdictions, enclosed please find the Department of Public Works plans to construct stone revetment outboard of an existing failing bulkhead, replacement of paved roadway with narrow paved trail, planting of grass and landscaping material located on Talbot County Tax Map 201. This property is zoned Town Residential and located entirely within a Limited Development Area (LDA).

As indicated on the enclosed photographs, majority of this development activity has already occurred with the exception of implementing the landscaping plan. I have conducted a meeting with the Department of Public Works, Office of Permits and Inspection and the Zoning Coordinator and reviewed the procedures for projects requiring review and/or approval from the Critical Area Commission.



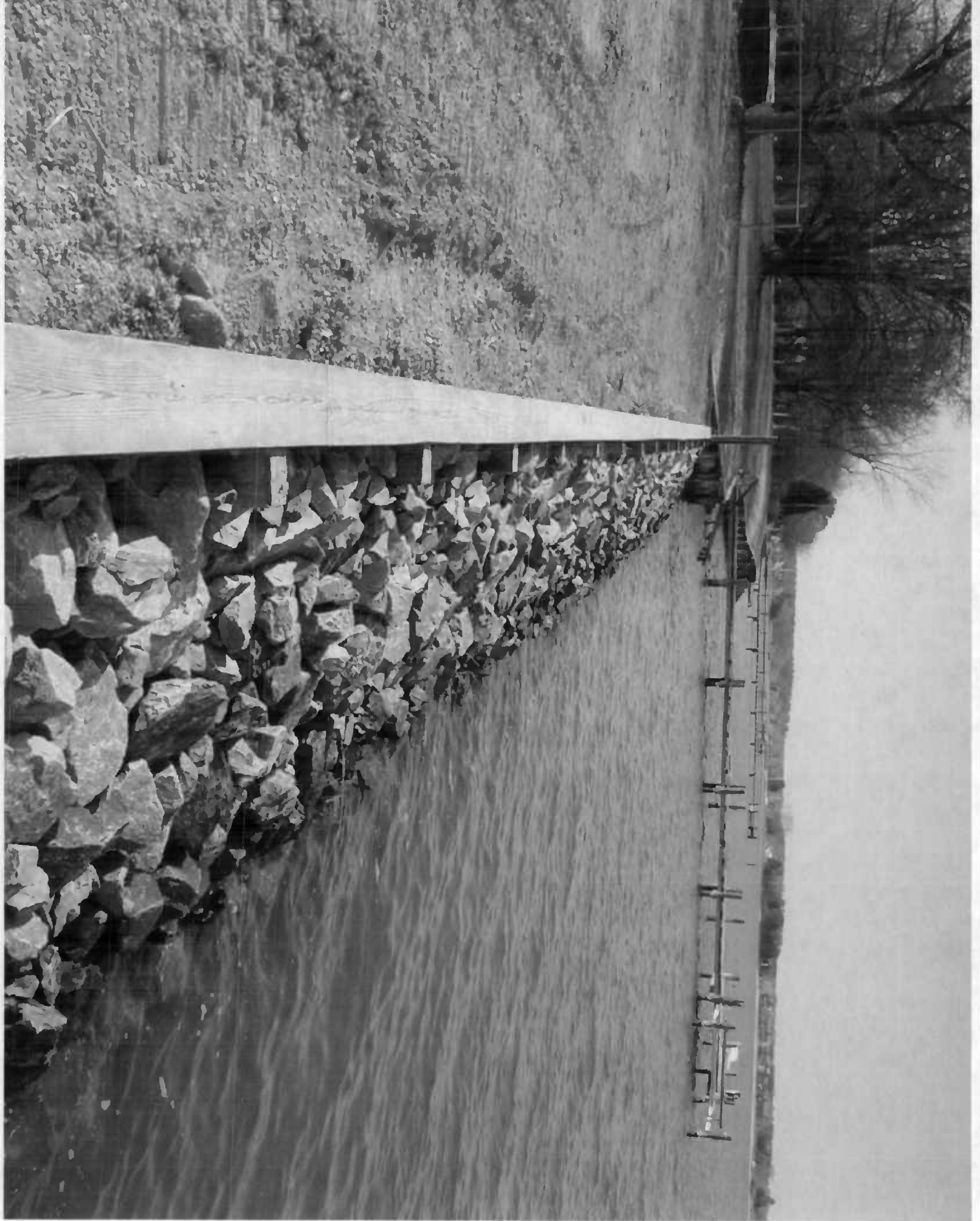
Since this project involved the redevelopment of pre-existing, grandfathered uses or structures and results in a 33% decrease in impervious surfaces, this activity is consistent with the County's Critical Area Program and Code. If you have any questions about this project or need additional information please do not hesitate to contact me at 410-770-8030.

Sincerely,
Talbot County Planning and Zoning

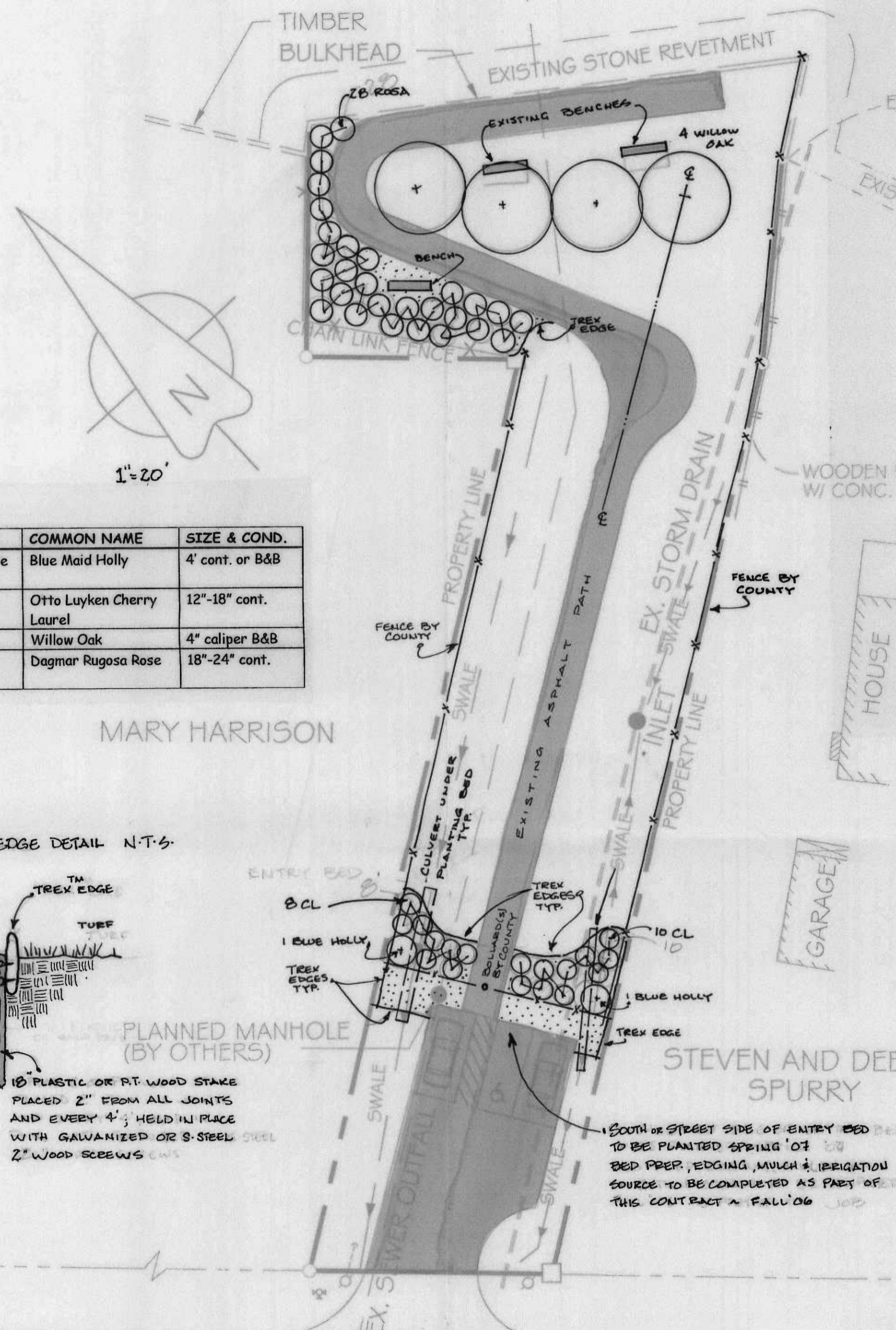
A handwritten signature in cursive script that reads "Mary Kay Verdery". The signature is written in black ink and is positioned above the printed name and title.

Mary Kay Verdery
Assistant Planning Officer

Attachment: Correspondence from Public Works
Site photographs (before and after work)



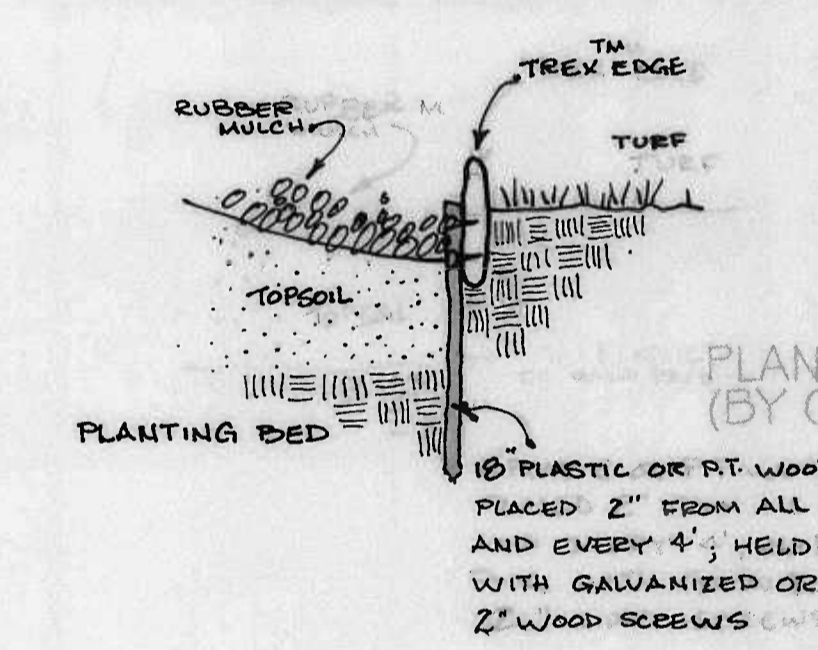
MILES RIVER



PLANT LIST:

NO.	BOTANICAL NAME	COMMON NAME	SIZE & COND.
2	Holly <i>Ilex x meserveae</i> 'Blue Maid'	Blue Maid Holly	4' cont. or B&B
18	CL <i>Prunus laurocerasus</i> 'Otto Luyken'	Otto Luyken Cherry Laurel	12"-18" cont.
4	Oak <i>Quercus phellos</i>	Willow Oak	4" caliper B&B
28	Rosa <i>Rosa rugosa</i> 'Frau Dagmar Hastrup'	Dagmar Rugosa Rose	18"-24" cont.

TYP. PLANTING BED EDGE DETAIL N.T.S.



Landscape Contractor General Notes and Specifications

Landscape Specifications:

- A. The landscape contractor is responsible for the complete installation of all landscaping shown or implied on this plan. Plant quantities are shown for convenience only. Prior to installation, if not otherwise previously accomplished, the contractor shall notify the Landscape Architect of proposed species or planting locations that should be revised to insure plant survival.
- B. Plant Material- all plant material shall conform with the American Standard for Nursery Stock as approved by the American National Standards Institute, Inc. latest addition. All plant material shall be nursery grown under sound horticultural practices and unless otherwise approved by the Landscape Architect, grown in soil and climatic conditions similar to this installation. All material shall exhibit healthy growth with good branching structure, dense foliage and a fibrous, developed root system. All material shall be free of insect infestation and disease. The owner reserves the right to inspect and tag material at the growing site, and to reject any deficient material at the project site.
- C. Plant Material Handling - all plant material shall arrive at the job site in a healthy state. Cracked root balls and other damaged materials shall be rejected and replaced by contractor. The contractor shall stage delivery and plant installation to minimize stress on plant material. Material to be staged on, or off, the job site shall be located to maximize protection from hot sun and drying winds, and shall be watered to maintain a stress free condition. At a minimum, the contractor shall adequately maintain and warranty all material through the completion (or phased as agreed with owner) of the project. Water may or may not be available for contractor use, and the lack of available water shall not relieve the contractor of adequate maintenance responsibility. See warranty specs for additional requirements.
- D. Installation:

- The contractor shall verify the location of all underground utilities prior to commencing work. Coordinate with other contractors on site and Miss Utility to verify utility locations. Any repairs to existing underground utilities required as a result of actions of the landscape contractor and/or his assigns shall be borne by the landscape contractor. Any repairs to existing site, site improvements or construction required as a result of actions of the landscape contractor and/or his assigns shall be borne by the landscape contractor.
- Contractor shall insure that final grades have been established and the site is ready for landscape installation. Specifically, the following preparations should be complete or coordinated for completion:

- A. Parking lot islands, foundation shrub beds, and other island type planting areas within construction activity zone- unless otherwise approved by the Landscape Architect, island beds shall be excavated to a minimum depth of 18" and backfilled (beds shall mound slightly anticipating future settlement) with suitable loamy planting soil. If suitable, non-compacted planting soils exist, then this requirement may be waived or modified.
- B. Lawn turf areas- shall be graded, worked to a depth of 4"-5", prepared with a final disking, harrowing, dragging and leveling as required to provide a suitable seed planting bed. (Roto-tilling alone will usually not be acceptable)

SCOPE OF WORK:

CONTRACTOR TO:

- Provide current M.H.I.C number and Certificate of Insurance, naming Talbot County Department of Public Works, 28712 Glebe Road, Suite 3, Easton, Maryland 21601, as the certificate holder.
- Exercise extreme care in excavating and working near existing utilities and paving. Contractor shall be responsible for damages to utilities and paving which are caused by his operations or neglect.
- Regrade swales, balancing cut and fill, on north and south side of access lane for positive drainage.
- Supply & install two 6"-8" x +/-30' culverts for positive swale drainage under both entry planting beds as needed, or as directed by Landscape Architect.
- Supply, install and guarantee for one year, sod to restore all disturbed and/or graded areas.
- Supply, install and guarantee for one year, plant material as specified.
- Supply & install trex™ edges as shown on this drawing.
- Supply & install 3" recycled tire brown rubber mulch, in planting beds and a minimum of a 6' circle around trees.
- Supply & install battery powered drip irrigation for trees, planting beds and sprinkler irrigation for grassed areas. Contractor must bore under the asphalt path, any open cuts of the asphalt path will not be permitted. Water supply by County (Dept. of Public Works, 410 770-8170) Control box to be a locked underground box as per Rainbird™ specifications. Manufacturer of components shall be Rainbird™, or approved equal. The contractor shall be a certified installer for the manufacturer. Design and installation shall be in accordance with manufacturer's recommendations and in accordance with all applicable local and state codes and ordinances. All system components of the same function shall be a uniform brand. Complete coverage is required. Plant materials of differing watering requirements shall not be serviced by the same valve and/or station. In no case shall turf be on the same valve and/or station as any other plant material. Irrigation heads with different precipitation rates shall not be serviced by the same valve and/or station. Drip or other water-conserving irrigation heads are recommended wherever appropriate.
- Coordinate installation of irrigation materials, including pipe, so there shall be no interference with utilities or other construction or difficulty in planting trees, shrubs, and ground cover.

COUNTY TO:

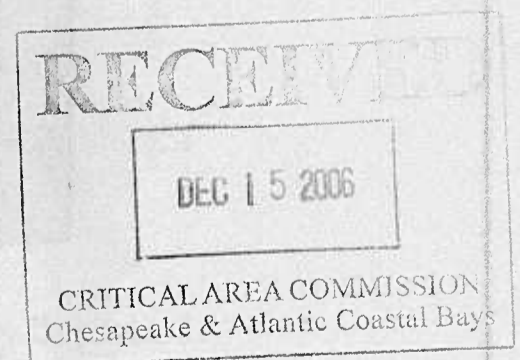
- Supply & install property line fencing and ballard(s).
- Supply & install new catch basin on south corner of Park entry, elevating to existing grade for positive drainage.
- Coordinate with Town of St. Michaels and contractor, water hook up(s).
- Coordinate construction of planned manhole at north side parking lot planting bed with Landscape Architect, contractor and/or St. Michaels garden club.
- Liaison Landscape Architect and St. Michaels garden club for the planting of parking lot beds for spring 2007.

- Contractor shall coordinate with the irrigation contractor to insure that preliminary irrigation work is completed or coordinated with planting efforts.
- All planting beds adjacent to paved areas shall be slightly mounded so that paving runoff does not directly run into proposed planting pits- coordinate with general contractor. Where planting beds may block sheet flow drainage patterns, provide passages for drainage.
- Contractor shall layout beds and position plants for approval by owner or Landscape Architect. Review any significant field adjustments prior to installation. All bed areas shall be sprayed with herbicide as needed to kill weed or grass vegetation.
- Planting Pit Excavation
 - Massed shrub and perennial planting areas shall be worked to a depth of 12" minimum (adding 4" of soil or compost amendments to build up planting beds rather than tilling or excavating down is generally acceptable subject to grade issues).
 - Azalea, rhododendron and yew planting areas or beds areas shall be raised and amended with sand and compost to achieve adequate drainage.
 - Areas shown for annual flowering plantings shall be worked and readied for planting.
 - Tree pits shall be excavated to at least twice (2) times the diameter of the root ball to a minimum depth of 18", and deeper where the root ball will rest. Root balls shall rest on stable soil. Utilize excess soils for soil saucers around trees, located immediately outside edge of root ball.
 - Planting pits located on slopes shall be excavated to appropriate depths governed by the uphill side.
- Planting- all plants shall be installed slightly (min. 1") higher than nursery depth to provide for settlement and increased drainage. Plants shall be installed, vertically plumb. Trim and remove the top 1/4 of burlap or other ball wrap and cut turn down wire basket loops to below grade. Remove all string ties, strapping, labels, etc. from the plant material. Plant pits shall be backfilled and compacted. All plants shall be watered during planting to minimize air pockets and to insure soil contact with roots. Let plant pits settle, and add soil to fill voids, etc. prior to mulching. Water additionally as required for plant survivability.
- Staking and Guying- generally, the following requirements apply:
 - Deciduous trees over 2" caliper shall be staked and guyed with a minimum 2 @ 2" x 2" x 6' hardwood stakes located in stable soils with suitable protective guying, or other approved method. Staking shall provide adequate stability for newly planted trees for at least one full growing season.
 - Evergreen trees over 6' height shall be staked and guyed with a minimum 3 @ 2" x 2" x 6' hardwood stakes located in stable soils with suitable protective guying, or other approved method. Staking shall provide adequate stability for newly planted trees for at least one full growing season.
 - The contractor shall stake and guy other plant material as deemed necessary to insure vigorous growth and survivability. Likewise, staking and guying may be eliminated on a

- site-by-site basis dependent on root ball type, soil and climatic conditions, and only with specific owner and/or Landscape Architect's approval.
- All planting beds and pits shall be edged with a 3" deep "V" continuous smooth trench edge and shall be mulched with 3" depth of double shredded, hardwood bark mulch. Mulch shall generally extend to the edge of paving or building, or back of curb, or in open areas adjacent to turf or naturalized areas, shall extend a minimum of 2.5' beyond the trunk for trees and 1.0' beyond the edge of shrub foliage. Mulching shall not be mounded against the trunk or foliage or plants, and shall generally increase in depth toward the edge of the root ball.
 - Planting schedules shall be coordinated with the owner.
 - The contractor shall maintain a clean job site and remove all planting and supply debris daily during the course of implementation.
 - The contractor shall continue maintenance and upkeep of the plantings and site areas through completion of the work. Unless otherwise specified or agreed, maintenance shall include watering of sodded turf installations until final acceptance by the owner. The contractor shall request an inspection of the work from the owner or his designated representative, and shall repair/replace any deficiencies identified. After a re-inspection and approval of any repairs, the contractor, unless otherwise specified herein, shall be relieved of maintenance responsibilities upon completion and acceptance of the job or phase. The owner shall not unreasonably delay approval of completed work.
 - Guarantees:
 - The contractor shall provide the owner with written maintenance instructions for the various plant material and turf areas installed under this contract.
 - The contractor shall warrant all plant material for one full year from completion and final acceptance by the owner of the job, or phase as mutually agreed, against defect, unsatisfactory growth, latent insect infestation, and/or death resulting from improper installation techniques, defective plant material stock, improper maintenance directions, or failure to notify the owner prior to installation that a certain species or location would be impacted by site conditions. Plant losses caused by abnormal weather events, including abnormal flooding, extreme winds, or extreme, extended drought shall not be the contractor's responsibility.
 - The contractor shall warrant all staking and guying for one full year against failure or decay, etc. Unless otherwise specified, periodic adjustment shall be maintained by the owner and is not the responsibility of the contractor under this contract.

GENERAL PLANTING NOTES:

- Prior to and during construction, contractor to verify location of utilities and obstructions. If any problems arise, contractor to notify Landscape Architect and/or owner, to make design changes and where required, approve adjustments during construction to provide clearances or proper connections.
- The contractor shall be responsible for repairing and replacing any utility, site or structural damage during landscape construction and installation, and maintain a clean orderly site.
- Contractor to supply, and install plant material as per drawing.
- Plant numbers on list may not be correct, drawing to prevail.
- Landscape Architect and/or owner must approve all specified materials substitutions.
- All work to meet or exceed the American Landscape Contractors Association specifications.
- Contractor to give Landscape Architect a minimum of 2 days notice to direct design layout, planting bed edges and plant locations, or to confirm design layout, planting bed and plant locations. Plant material to be located by scaling drawing as shown, on center.
- Planting beds shall have a minimum of 12" of an approved planting mixture, with smooth continuous dug V edges, and receive a minimum 3" of approved or as specified mulch, mixed with a granular pre-emergent herbicide such as Snapshot™, or Treflan™.
- Overdig holes and lay filter cloth in bottom of hole. Then place 8" to 12" of gravel, top with another layer of filter cloth and then a minimum of 4" of 50% sand and 50% topsoil. Oversize (min. of 4" all the way around) and scarify sides of planting pit and fill with the sand/topsoil mixture after placing tree. Plant trees a minimum of 4" above grade, and shrubs 2-3" above grade. The top of the root ball should be 4" to 6" above the existing soil level of the planting bed. Fertilized with +/- a cup of bone meal, and the recommended amount of slow release fertilizer mixed into the bottom 4" of the sand/topsoil mix.
- Acid Loving Shrubs: (Hollies, Leucothoe, Rhododendron, Azalea and Laurels)
- Overdig holes and sides +/- 4" and use a mixture of one third peat moss, one third sand and one third topsoil. Fertilize with "Holly Tone" and top of root ball should be at least 2" to 3" above grade after planting.
- Other Shrubs: Same as above except fertilize with slow release granular, bone meal and use the half sand half topsoil planting mix.
- Mulching: Prior to planting 'fluff' and/or thoroughly work old mulch into planting bed. Sprinkle liberal amounts of Treflan™ on planted areas and place 3" total (old & new) of hardwood double shredded mulch on top. Do not compact mulch.



LISA HAZEN, Landscape Architect
5260 Long Point Farm, Oxford, Md., 21654
(410) 822-6211, (FAX) 226-0218, (Cell) 924-0877

LANDSCAPE PLAN of SEYMORE AVE. POCKET PARK
SAMS SHORE, BENTLY HAY SUBDIVISION, ST. MICHAELS, MARYLAND
PREPARED FOR: TALBOT COUNTY DEPT. OF PUBLIC WORKS, OCT '06 (410) 770-8170