

TC 621-06 Higgins - Rio Vista
Site Plan

MSA.S.1829-6104



TALBOT COUNTY OFFICE OF PLANNING AND ZONING

28712 Glebe Road, Suite 2
Easton, Maryland 21601

TECHNICAL ADVISORY COMMITTEE REVIEW

Review Prepared By: Trevor B. Newcomb
Development Review Planner

TAC Review Date: September 13, 2006

Applicant's Name: Robert and Teresa Higgins

Address of Applicant: P.O. Box 40
Newcomb, Maryland 21653-0040

Owner's Name: Rio Vista Self Storage c/o Robert and Teresa Higgins

Site Location: Rt. 33 and Adam's Avenue, St. Michaels, Maryland 21663

Agent's Name: Lanc Engineering, Inc. c/o Sean Callahan
117 Bay Street
Easton, Maryland 21601

Tax Map: 32 **Grid:** 10 **Parcel:** 105 **Lot:** 4w

Zoning: General Commercial (GC)

Applicant's Request: Major Site Plan Review

Project Description: 4 story, climate controlled self storage facility with an office

Existing Site Use: Unimproved commercial lot

The Planning and Zoning staff offer the following review comments:

1. The project name shall be labeled in all of the title blocks.
2. Deed reference to the property is required.

3. The sign detail inset shall display the information that will be located on the actual sign when erected.
4. Sheet 1 of 6 illustrates a disturbance greater than that of the total acreage of the site and shall be amended, if the disturbance includes the road installation, as the land disturbed is not owned by the applicant.
5. The word "minor" shall be added before the arterial reference on the site plan where referring to the Gateway.
6. The orientation of the proposed signage shall be identified on the site plan.
7. Willow Oak (WO) shall be consistent with the legend describing the proposed trees.
8. Under Site Statistics, "existing" shall be changed to the word proposed.
9. The legend shall include proposed grasses and proposed shrubs.
10. Under Parking Spaces Required, The corrections made on the site plan shall be re-typed.
11. State Highway setbacks for Rt. 33 shall be delineated on the site plan.
12. Dimensional lines shall be added to the site plan describing the office structure.
13. Critical Area Line shall be added to the plan shown on the site plan.
14. Landscaping shall be expanded within the 20' Gateway Overlay Zone Buffer area.
15. Any proposed lighting shall be identified on the site plan and such proposed lighting shall be accompanied with detail describing type, etc.
16. Ownership of Lincoln and Adams shall be described, as well as, the width of Lincoln.
17. Total parking required shall be amended to 36, as the office requires an additional space.
18. Any expansion or change of use from that proposed by the application and the SITE PLAN shall require additional review by the Office of Planning & Zoning to determine appropriate approval procedures.

APPLICATION FOR GENERAL SITE PLAN REVIEW

FILE #: 438
FEE PAID: \$450-
(\$100.00 per application)

DATE RECEIVED: 5-19-06
DATE APPROVED: _____

PRE-APPLICATION CONFERENCE:

A PRE-APPLICATION CONFERENCE SHALL BE REQUIRED FOR GENERAL SITE PLAN SUBMITTAL. THE CONFERENCE SHALL BE SCHEDULED UPON REQUEST TO THE PLANNING OFFICER. IN ADDITION TO THE APPLICANT OR HIS REPRESENTATIVE(S) AND THE PLANNING OFFICER, PARTICIPANTS IN THE CONFERENCE MAY INCLUDE A MEMBER OR MEMBERS OF THE PLANNING COMMISSION AND REPRESENTATIVES OF ANY PUBLIC AGENCY THAT MAY HAVE AN INTEREST IN OR BE AFFECTED BY THE PROPOSED DEVELOPMENT. THE PURPOSE OF THE CONFERENCE SHALL BE TO DISCUSS INFORMALLY THE NATURE OF THE PROPOSED DEVELOPMENT, ITS RELATIONSHIP TO SURROUNDING DEVELOPMENT, SITE CONDITIONS THAT MAY REQUIRE SPECIAL CONSIDERATION OR TREATMENT AND THE INFORMATION THAT WILL BE REQUIRED TO BE SUBMITTED WITH THE APPLICATION AS PRESCRIBED IN SECTION 19.12 (a)(4) OF THE ZONING ORDINANCE.

OWNER OF RECORD OF LAND:

NAME: Robert + Teresa Higgins DAY TIME TELEPHONE # 443-496-1308
ADDRESS: PO Box 40 Newcomb, Md 21053-0040 (Bobby)

APPLICANT:

NAME: Robert Higgins DAY TIME TELEPHONE # 443-496-1308
ADDRESS: same as above

SITE PLAN PREPARED BY:

COMPANY NAME: Lane Engineering TELEPHONE # 410 822 8003
AGENT: Sean Callahan
ADDRESS: 117 Bay St PO Box 1767 Easton, Md 21601

PROJECT DESCRIPTION:

LOCATION OF PROPERTY: Rt 33 + Adams Avenue in St. Michael (Lot 4W, Rio Vista)

DETAILED DESCRIPTION OF PROPOSED PROJECT: 4 story self storage facility, (climate controlled) w/ office

DETAILED DESCRIPTION OF SITE USE/ACTIVITY: same as above

SQUARE FOOTAGE AND USE OF ALL EXISTING AND PROPOSED STRUCTURES: (continue on back if necessary)

SQUARE FOOTAGE: 4,400 SF USE: self storage facility
SQUARE FOOTAGE: _____ USE: _____
SQUARE FOOTAGE: _____ USE: _____
SQUARE FOOTAGE: _____ USE: _____

NUMBER OF EMPLOYEES: _____ NUMBER OF SHIFTS: _____ HRS OF OPERATION: 9am-5pm M-F

FOREST CONSERVATION PLAN REQUIRED: YES _____ NO X (exempt) 9am-noon on Sat.

APPLICANT'S SIGNATURE: Erin Kelly Thibault, Agent DATE: 5/19/06

OWNER'S SIGNATURE: _____ DATE: 5/19/06

GENERAL NOTES

- All materials and methods of construction shall conform to the drawings, specifications, local building codes, and the standard specification and details of Tolbot County.
- These drawings show information from the best available records regarding pipes, conduits, telephone lines, and other structures and conditions, which exist along the line of work, both at and below the surface of the ground. The Owner and the engineer disclaim any responsibility for the accuracy or the completeness of said information, which is shown only for the convenience of the contractor, who must verify the given to his own satisfaction. If the contractor relies on said information, he does so at his own risk. The contractor shall support and protect all pipes, conduits, telephone lines and other structures, as required. All damage to existing services shall be repaired immediately at the contractor's expense.
- All disturbed areas shall be smoothly graded to promote positive drainage and also stabilized with topsoil, seed and mulch. If settlement occurs, topsoil, seeding and mulch shall be repeated until settlements subside. (See Soil Erosion and Sediment Control Notes, Details and Specifications.)
- The contractor shall notify the following, two weeks prior to the start of construction and shall coordinate all construction phases with them:

Maryland State Highway Administration	(410) 545-5585
Maryland Department of Environment	(410) 901-4020
Talbot County Department of Public Works	(410) 770-8170
Talbot County Planning and Zoning	(410) 770-8030
Talbot County Soil Conservation District	(410) 822-1583
Miss Utility	(800) 257-7777
- All drainage structures and trenches shall remain functional during construction.
- The Contractor assumes all responsibility for any deviation from these plans.
- The owner is responsible for the acquisition and dedication of all easements, both temporary and permanent.
- The final authority for all wetlands related issues rest with the United States Army Corps of Engineers and/or the Environmental Protection Agency.
- It shall be distinctly understood that failure to mention specifically any work which would normally be required to complete the project shall not relieve the contractor of his responsibility to perform such work.
- All work shall comply with all provisions of the 1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control, issued by the United States Department of Agriculture Soil Conservation Service.
- The measures required in the approved Sediment Control Plan shall apply be completed, and in service prior to construction of facilities shown on these plans.
- Prior to seeding, the contractor shall have soils test to determine lime and fertilizer requirements.
- For all areas, culvert and/or utility trench back fill shall be compacted to at least 95% of the maximum dry density determining by AASHTO Method T-180.
- Trenches shall not remain open overnight. If it is necessary for trenches to remain open in a traffic area, steel plates capable of bearing traffic shall be used to completely cover the trench opening.
- The contractor shall be responsible for maintenance of traffic on any existing roads.
- All utility details shall comply with the standard details as shown on these plans unless otherwise noted.
- Testing, approval, and acceptance of sanitary sewers and manholes shall be by the direction of the Talbot County Department of Public Works.
- Benchmark: Top of Iron Rod - Elev. = 10.34' (See sheet 4 For Location)

SOIL EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

- Contractor to install soil erosion and sediment control devices prior to any grading. Following initial disturbance or redistribution, permanent or temporary stabilization shall be completed within seven (7) calendar days or to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, slopes greater than (3) horizontal to (1) vertical (3:1) and fourteen (14) days or to all other disturbed or graded areas on the project site.
- All temporary erosion and sediment control devices are to be provided as indicated on this plan, with location adjustments to be made in the field as necessary, and to be maintained at the end of each working day until project completion. The minimum area protected shall be disturbed for the minimum amount of time possible.
- Clearing and grubbing shall include all trees, brush, debris, root mat and organic material to be removed.
- Temporary seeding shall be accomplished between February 1st through April 30th or August 15th through November 1st. During other times, temporary mulching shall be provided.
- Temporary seeding shall conform to the following applications: 600 lbs. per acre of 10-10-10, 4,000 lbs. per acre of ground limestone, to be incorporated into the soil by disking or other suitable means. Annual rye grass shall be applied at a rate of 50 lbs. per acre using suitable equipment. Mulching shall be accomplished immediately after seeding.

Seed Mixture (Hardness Zone 7a) From Table 26				Fertilizer Rate (10-10-10)	Lime Rate
No.	Species	Application Rate (lb/acre)	Seeding Dates		
1	Annual Rye grass	50	2/1 to 4/30 8/15 to 11/1	1/4"-1/2"	2 tons/acre (100 lb/1000 sf)
2	Millet	50	5/1 to 8/14	1/4"-1/2"	2 tons/acre (100 lb/1000 sf)

- Mulching shall be unchopped, unrotted, small grain straw applied at a rate of 2-2 1/2 tons per acre. Anchor mulch anchoring tool on the contour, or cellulose fiber at 750 lbs. per acre net dry weight or 50 lbs. of wood cellulose fiber per 100 gals. of water, or with synthetic liquid binder according to manufacturer recommendations.
- Permanent seeding shall be accomplished between March 1st through May 15th, or August 15th through November 15th. Permanent seeding of other than specified times will be allowed only upon written approval. Permanent seeding shall conform to the following applications: Permanent seeding for hoving disturbed over (5) acres shall use fertilizer rates recommended by a soil testing agency and the recommendations provided in the Permanent Seeding Summary Table. Permanent seeding for conditions other than listed above shall be performed at the rates and dates as provided in the Permanent Seeding Summary Table below. Fertilizer and lime amendments shall be incorporated into the top 3" to 5" of the soil by disking or other suitable means. Mulching shall be accomplished as discussed in Item No. 6 of these specifications.

Seed Mixture (Hardness Zone 7a) From Table 25				Fertilizer Rate (10-20-20)			Lime Rate
No.	Species	Application Rate (lb/acre)	Seeding Dates	N	P205	K20	
10	Tall Fescue (60%) Hard Fescue (20%)	120 30	3/1 - 5/15 or 8/15 - 11/15	1"	90 lb/acre (2.0 lb/1000 sf)	175 lb/acre (4 lb/1000 sf)	2 tons/acre (100 lb/1000 sf)
3	Tall Fescue (60%) Perennial Rye grass (10%) Kentucky Bluegrass (30%)	125 15 10	3/1 - 5/15 or 8/15 - 11/15	1"	90 lb/acre (2.0 lb/1000 sf)	175 lb/acre (4 lb/1000 sf)	2 tons/acre (100 lb/1000 sf)
1	Tall Fescue Canada Bluegrass Kentucky Bluegrass Reed Top	150	3/1 - 5/15 or 8/15 - 11/15	1"	90 lb/acre (2.0 lb/1000 sf)	175 lb/acre (4 lb/1000 sf)	2 tons/acre (100 lb/1000 sf)

- Any spoil or borrow will be placed at a site approved by the Soil Conservation District.
- All areas remaining or intended to remain disturbed for longer than fourteen (14) days shall be stabilized in accordance with the USDA, Natural Resources Conservation Service Standards and Specifications for Soil Erosion and Sediment Control in developing area for critical area stabilization.
- It will be the responsibility of the contractor or subcontractor to notify the engineer of any deviation from this plan. Any change made in this plan without written authorization from the engineer will place responsibility of soil change on the contractor or subcontractor.

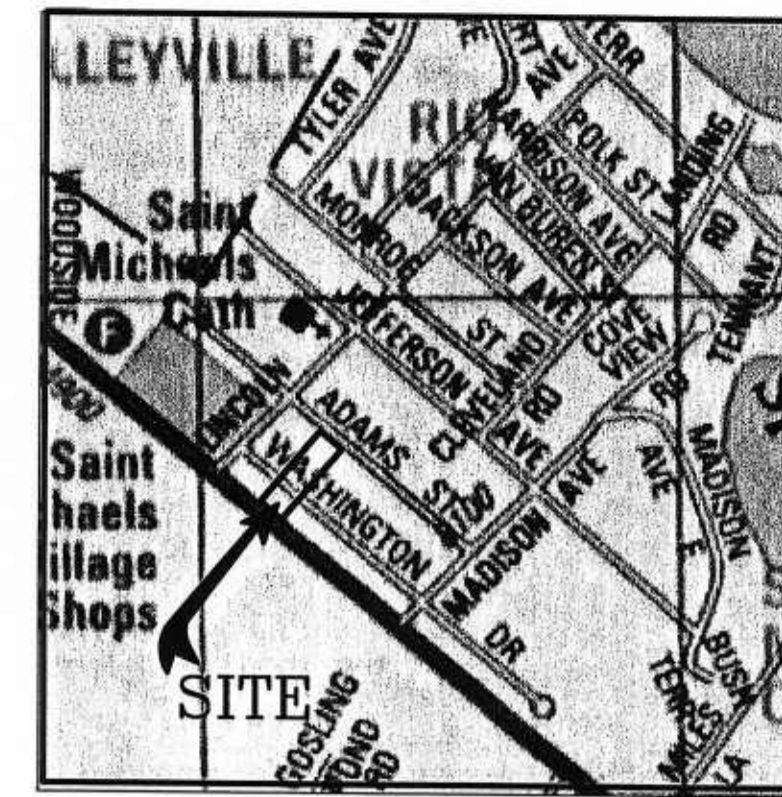
PHASE OF CONSTRUCTION

- Contact Maryland Department of the Environment (410) 901-4020, Talbot County Soil Conservation District (410) 822-1583, Talbot County Planning and Zoning (410) 770-8030, Talbot County Department of Public Works (410) 770-8170, Maryland State Highway Administration (S.H.A. Access) (410) 545-5585, and Miss Utility (800) 257-7777, 2 weeks prior to the start of construction. Schedule a pre-construction meeting to review and become familiar with all permits.
- Clear only for and install temporary sediment control measures and forest conservation measures, obtain forest conservation compliance certificate.
- Install stormwater management pond with temporary dewatering device and sediment traps as required and shown on plan.
- Construct road surfaces, utilities, and building as required and as shown on the plan.
- Fine grade, topsoil, seed, and mulch per specifications.
- Once the site is fully stabilized and with the approval of the Maryland Department of the Environment inspector, convert sediment trap to stormwater management pond, remove sediment from the trap to an upland area within the limits of disturbed area (LDA) and cover with topsoil and stabilize, remove temporary sediment control devices.

Notes:

- The phase of construction as listed above is for the use by the contractor as a general guidelines for sequencing the construction. The contractor must alter the phase of construction, as needed, upon the approval by the owner and the Maryland Department of the Environment.

SITE IMPROVEMENTS AND SOIL EROSION AND SEDIMENT CONTROL PLAN FOR RIO VISTA SELF STORAGE IN THE SECOND ELECTION DISTRICT TALBOT COUNTY, MARYLAND



VICINITY MAP
SCALE: 1" = 1000'

Copyright of the ADC Map People
Permitted Use No. 20992180

STORMWATER MANAGEMENT MAINTENANCE SCHEDULE

THE OWNER OF THE PROPERTY WILL ESTABLISH AN INSPECTION AND MAINTENANCE LOG UPON COMPLETION OF THE STORMWATER MANAGEMENT FACILITY. THE LOG WILL BE UPDATED QUARTERLY OR AFTER ANY MAJOR STORM.

THE INSPECTION WILL CONSIST OF, BUT NOT BE LIMITED TO, TRASH AND DEBRIS REMOVAL ON OR BLOCKING OUTLET ORIFICES ON THE OUTLET STRUCTURE, INVASION OF INVASIVE PLANTS OR GRASSES, (I.E. PHRAGMITES, REMOVAL OF DEAD PLANTINGS).

THOSE AREAS IN THE IMMEDIATE VICINITY OF THE BASIN AND NOT PLANTED WITH LANDSCAPE MATERIAL, WILL CONSIST OF A MAINTAINED LAWN.

THE CONTROL STRUCTURE AND OUTFALL PIPE WILL BE INSPECTED FOR ANY SIGNS OF DAMAGE OR DEBRIS. THE RIPRAP PAD WILL HAVE ALL WEEDS AND UNSIGHTLY VEGETATION REMOVED WHEN NECESSARY.

THIS LOG WILL BE MADE AVAILABLE FOR REVIEW UPON REQUEST BY THE TALBOT COUNTY SOIL CONSERVATION DISTRICT

SHEET INDEX

1.	TITLE SHEET
2.	SITE GRADING AND SCS PLAN
3.	ROAD PLAN AND PROFILE
4.	SHA ENTRANCE PLAN
5.	DETAIL SHEET
6.	GENERAL SITE PLAN AND LANDSCAPE PLAN

WARNING!
THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE QUANTITIES SHOWN ON THIS PLAN ARE FOR INFORMATIONAL AND PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES TO HIS OWN SATISFACTION PRIOR TO BEGINNING CONSTRUCTION.

NOTE:
THESE PLANS ARE FOR SITE, UTILITY, GRADING AND SEDIMENT CONTROL EROSION CONTROL WORK ONLY. SEE OWNER FOR INFORMATION REGARDING ARCHITECTURAL, STRUCTURAL, FOUNDATION, MECHANICAL, ELECTRICAL, PLUMBING, ETC.

REVIEWED FOR TALBOT COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

U.S.D.A. NATURAL RESOURCE CONSERVATION SERVICE DATE
TERESA WHITE KAMPMEYER

APPROVED: _____

TALBOT SOIL CONSERVATION DISTRICT DATE
CRAIG S. ZINTER

NOTE: THE TALBOT COUNTY SOIL CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, DELETE, MODIFY OR OTHERWISE ALTER THE SOIL EROSION AND SEDIMENT CONTROL PROVISIONS OF THIS PLAN IN THE EVENT ADDITIONAL PROTECTION BECOMES NECESSARY.

DEVELOPERS CERTIFICATE

I HEREBY CERTIFY THAT ALL THE DEVELOPMENT AND/OR CONSTRUCTION SHALL BE DONE ACCORDING TO THIS PLAN OF EROSION AND SEDIMENT CONTROL.

ROBERT D. HIGGINS DATE
TERESA A. HIGGINS
P.O. BOX 40
NEWCOMB MARYLAND 21653-0040
443-496-1301

- ANY CLEARING, GRADING CONSTRUCTION OR DEVELOPMENT, OR ALL OF THESE, WILL BE DONE PURSUANT TO THIS PLAN. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATIONS FROM THIS PLAN. ANY CHANGE MADE IN THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL PLACE RESPONSIBILITY FOR SAID CHANGE ON THE CONTRACTOR OR THE SUBCONTRACTOR.
- ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION OF THIS PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT CONTROL BEFORE BEGINNING THE PROJECT.
- THE DEVELOPER WILL PROVIDE THE DISTRICT ONE COPY OF A RED LINE AS-BUILT DRAWING OF EACH FACILITY REQUIRING A STATE POND PERMIT.

OWNER/APPLICANT/DEVELOPER
ROBERT D. HIGGINS
TERESA A. HIGGINS
P.O. BOX 40
NEWCOMB MARYLAND 21653-0040
443-496-1301

ENGINEER
Lane Engineering, Inc.
117 BAY STREET
EASTON, MARYLAND 21601
410-822-8003

CONTRACTOR
TO BE DETERMINED

SITE ANALYSIS

SITE ACREAGE = 0.42 ACRES
LIMITS OF DISTURBED AREA = 0.80 ACRES
* ESTIMATED VOLUME OF FILL = 280 CY
* ESTIMATED VOLUME OF CUT = 220 CY
* FOR SEDIMENT CONTROL REVIEW ONLY. QUANTITIES SHALL NOT BE USED FOR BIDDING.

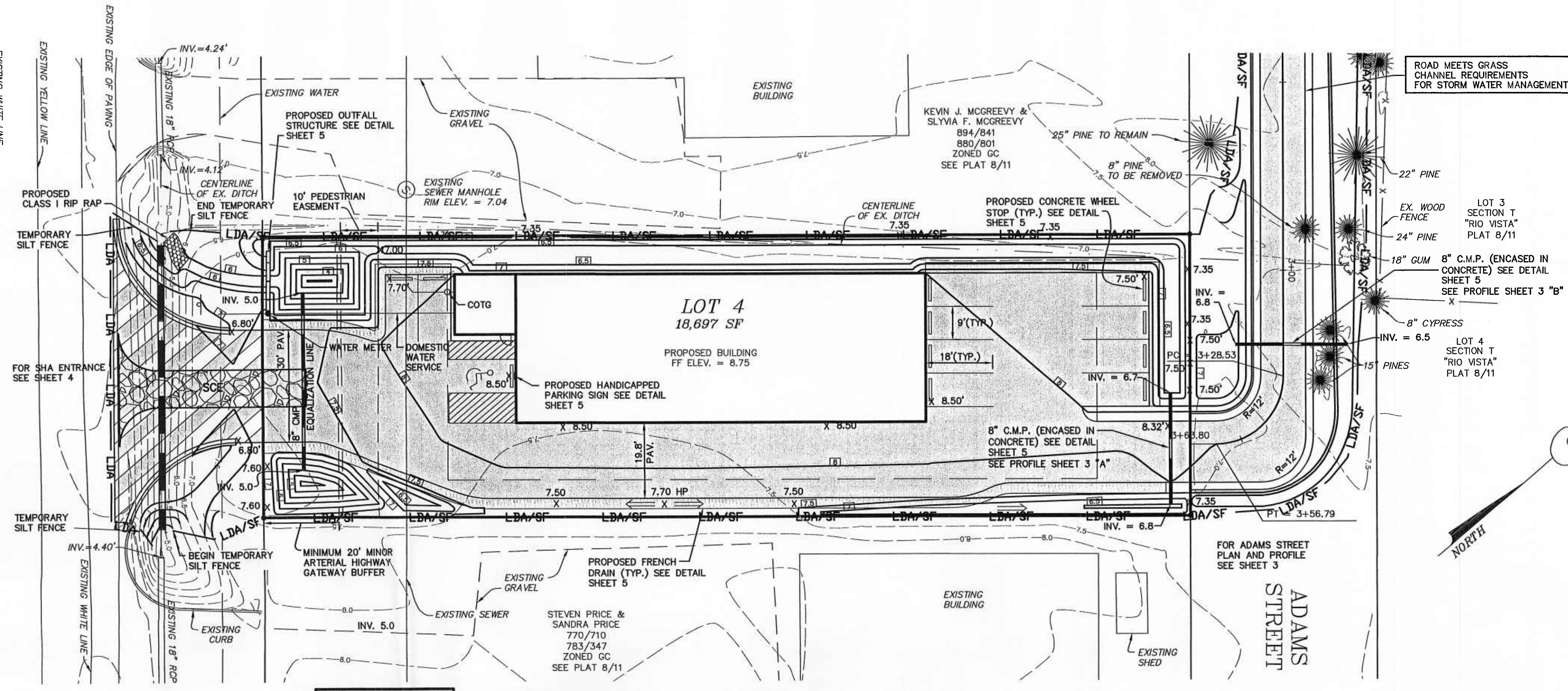
PREDOMINANT SOIL TYPES: Es Elkton Silt Loam
On Othello silt Loam

DATE	5/11/06
SCALE	AS SHOWN
TAX MAP	06007ESP
DRAWN BY	J.E.P.
DWS NAME	06007ESP
APPROVED	R.S.M.
FILE No.	1491
TITLE SHEET	LOT 4, SECTION W
	RIO VISTA
	GRID 10 PARCEL 105 LOT 4
	TAX MAP 32
SHEET No.	1 OF 6
FILE No.	1491

SEP 2 2006
OFFICIAL AREA COMMISSIONER
THE SECOND ELECTION DISTRICT
TALBOT COUNTY, MARYLAND
Chesapeake & Atlantic Coastal

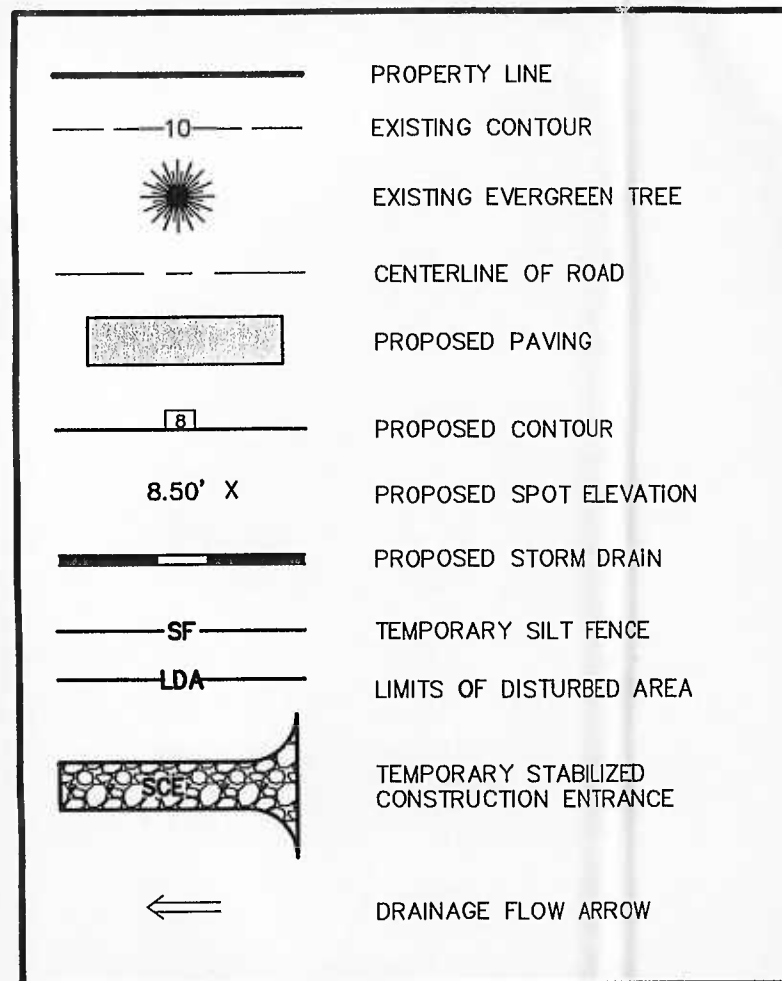
Lane Engineering, Inc.
Civil Engineers - Land Planning - Land Surveyors
E-mail: mail @ lane.com
117 Bay St. Easton, MD 21601 (410) 822-8003 FAX (410) 822-2024
15 West St. Cambridge, MD 21613 (410) 221-0816 FAX (410) 796-9942
1148 West Water St. Centerville, MD 21037 (410) 758-2295 FAX (410) 758-4422

ST. MICHAELS ROAD
(MD ROUTE 33)

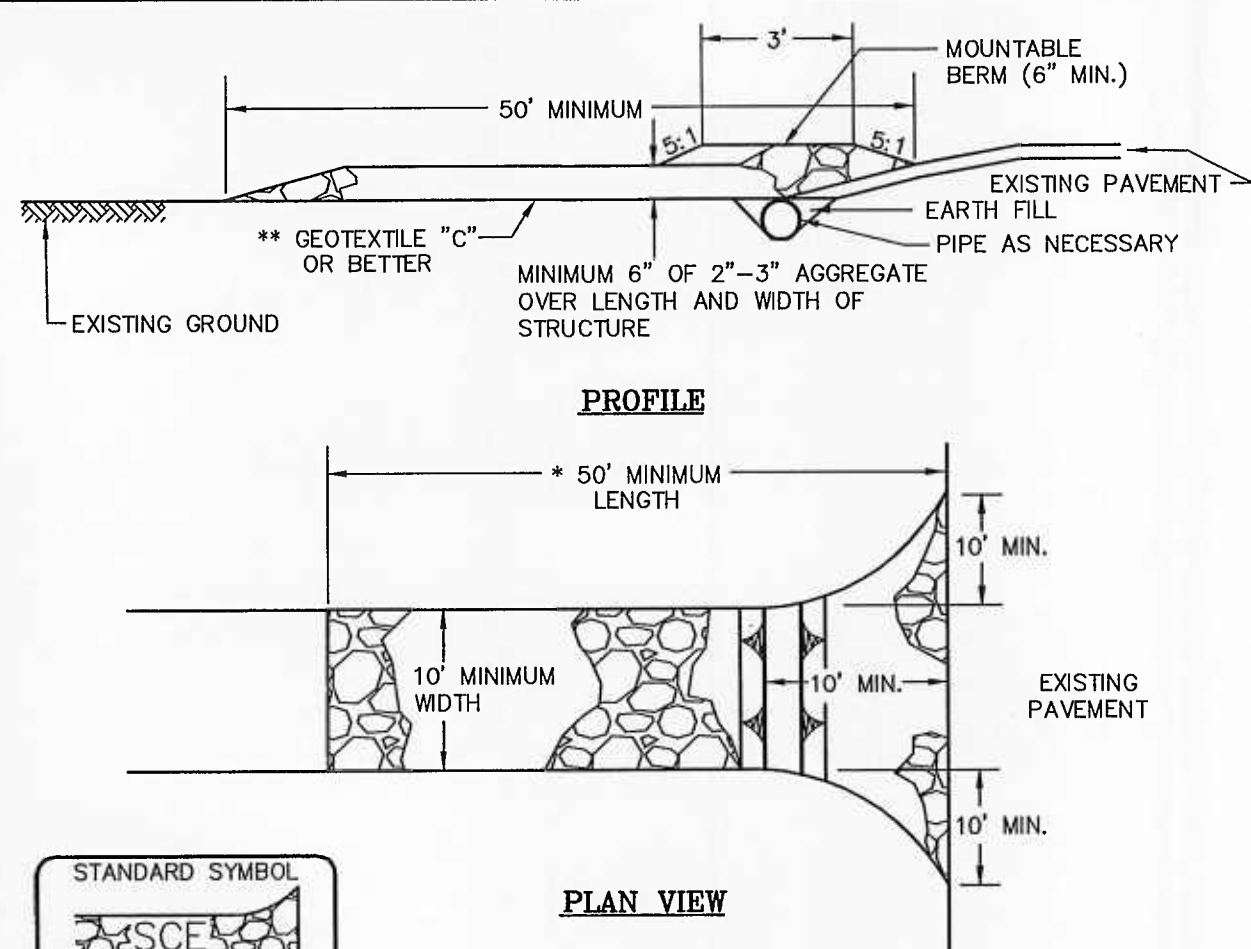


PLAN
SCALE 1" = 20' HORIZONTAL

LEGEND



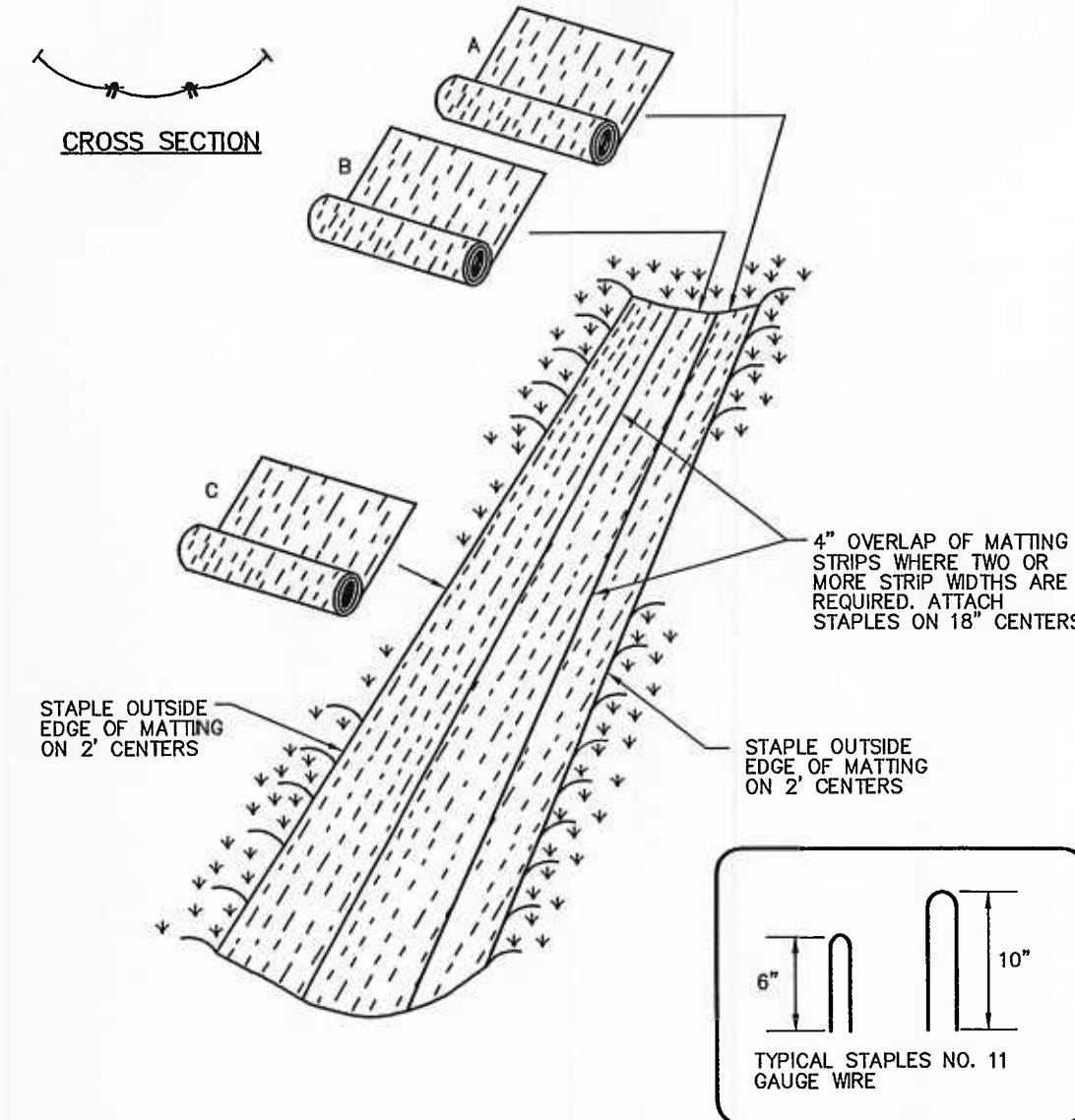
DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



- Construction Specification
- Length - minimum of 50' (*30' for single residence lot).
 - Width - 10' minimum, should be flared at the existing road to provide a turning radius.
 - Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
 - Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
 - Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mounding berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
 - Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F - 17 - 3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

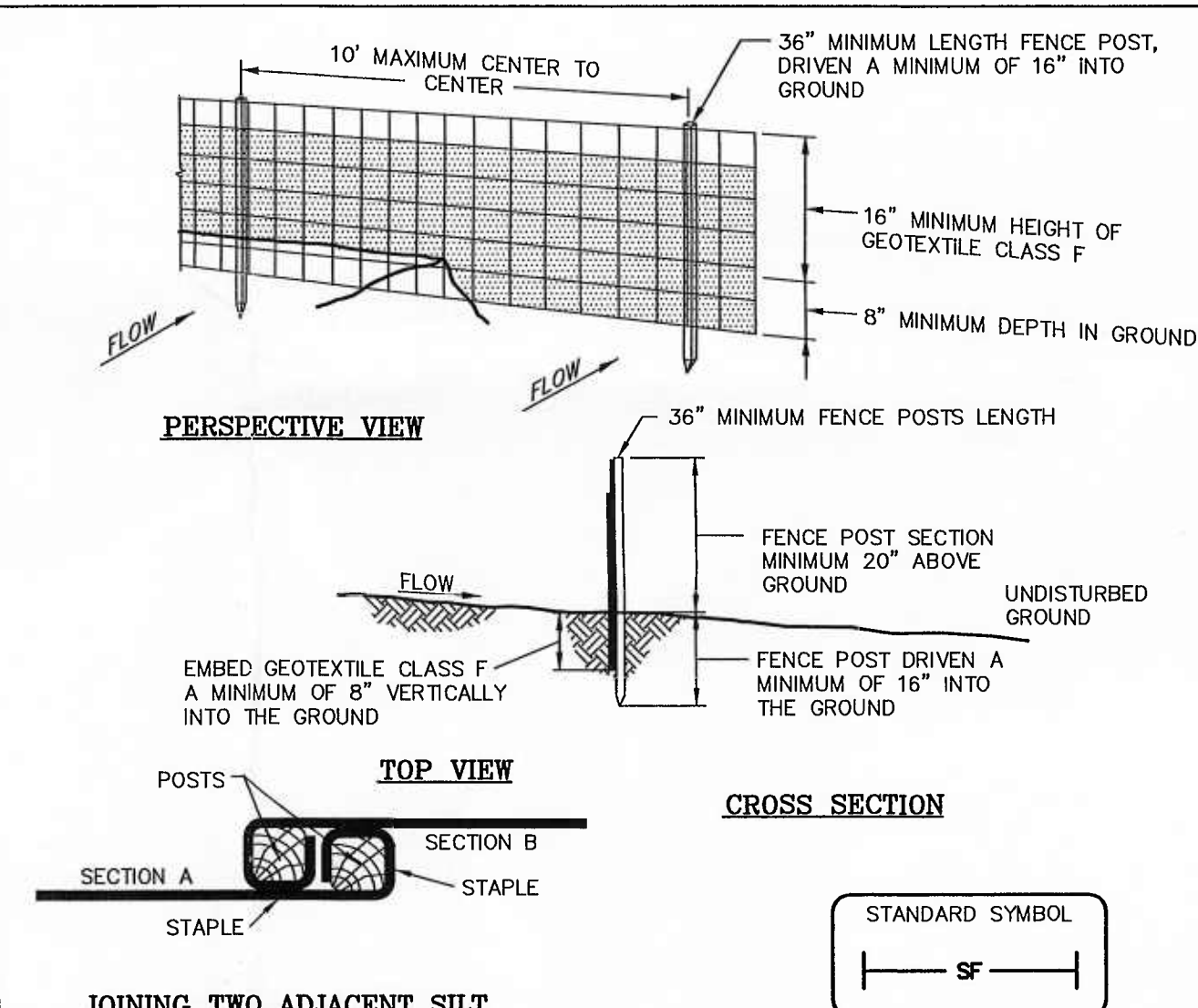
DETAIL 30 - EROSION CONTROL MATTING



- Construction Specifications
- Key-in the matting by placing the top ends of the matting in a narrow trench. Backfill the trench and trench firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".
 - Staple the 4" overlap in the channel center using on 18" spacing between staples.
 - Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
 - Staples shall be placed 2' apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
 - Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", shiplap fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
 - The discharge end of the matting liner should be similarly secured with 2 double rows of staples.
- Note: If flow will enter from the edge of the matting the area affected by the area affected by the flow must be key-in.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE G - 22 - 2 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 22 - SILT FENCE



- JOINING TWO ADJACENT SILT FENCE SECTIONS
- Construction Specifications
- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pound per linear foot.
 - Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal ft ² /minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322
 - Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
 - Silt Fences shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

Silt Fence Design Criteria

Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

Note: In areas of less than 2% slope and sandy soils (USDA general classification system, soil Class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E - 15 - 3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

Lane Engineering, Inc.
Civil Engineers - Land Planning - Land Surveyors

DATE: 5/4/06
SCALE: 1" = 20'
JOB NO.: 06037
DRAWN BY: JES
CHECKED BY: JES
APPROVED BY: JES

SITE GRADING AND SCS PLAN
LOT 4, SECTION W
RIO VISTA
IN THE SECOND ELECTION DISTRICT
Baltimore & Annapolis Coastal Parkway
ANNAPOLIS, MARYLAND
GRID 10 PARCEL 105 LOT 4
TAX MAP 32

SHEET No. 2 OF 6
FILE No. 1491

Landscape Contractor General Notes and Specifications

Landscape Specifications

A. The landscape contractor(contrctor) is responsible for the complete installation of all landscaping shown or implied on this plan. Plant quantities are shown for convenience only. Prior to installation, if not otherwise previously accomplished, the contractor shall notify the landscape architect of proposed species or planting locations that should be revised to insure plant survival.

B. Plant Material- all plant material shall conform with the American Standard for Nursery Stock as approved by the American National Standards Institute, Inc. latest edition. All plant material shall be nursery grown under sound horticultural practices and unless otherwise approved by the landscape architect, grown in soil and climatic conditions similar to this installation. All material shall exhibit healthy growth with good branching structure, dense foliage and a minimum developed root system. All material shall be free of insect infestation and disease. The owner reserves the right to inspect and tag material at the growing site, and to reject any deficient material at the project site.

C. Plant Material Handling - all plant material shall arrive at the job site in a healthy state. Cracked root balls and other damaged materials shall be rejected and replaced by contractor. The contractor shall stage delivery and plant installation to minimize stress on plant material. Material to be staged on, or off, the job site shall be located to maximize protection from hot sun and drying winds, and shall be watered to maintain a stress free condition. At a minimum, the contractor shall adequately maintain and warranty all material through the completion(or phased as agreed with owner) of the project. Water may or may not be available for contractor use, and the lack of available water shall not relieve the contractor of adequate maintenance responsibility. See warranty specs for additional requirements.

D. Installation

1. The contractor shall verify the location of all underground utilities prior to commencing work. Coordinate with other contractors on site and Miss Utility to verify utility locations. Any repairs to existing underground utilities required as a result of actions of the landscape contractor and/or his assigns shall be borne by the landscape contractor. Any repairs to existing site improvements or construction required as a result of actions of the landscape contractor and/or his assigns shall be borne by the landscape contractor.

2. Contractor shall insure that final grades have been established and the site is ready for landscape installation. Specifically, the following preparations should be complete or coordinated for completion:

a. Parking lot islands, foundation shrub beds, and other island type planting areas within construction activity zone- unless otherwise approved by the landscape architect, island beds shall be excavated to a minimum depth of 18" and backfilled (beds shall mound slightly anticipating future settlement) with suitable loamy planting soil. If suitable, non-compacted planting soils exist, then this requirement may be waived or modified.

b. Lawn turf areas- shall be graded, worked to a depth of 4"-5", prepared with a final disking, harrowing, dragging and leveling as required to provide a suitable seed planting bed. (Roto-tilling alone will usually not be acceptable)

3. Contractor shall coordinate with the irrigation contractor(if applicable to this project) to insure that preliminary irrigation work is completed or coordinated with planting efforts.

4. All planting beds adjacent to paved areas shall be slightly mounded so that paving runoff does not directly run into proposed planting pits- coordinate with general contractor. Where planting beds may block sheet flow drainage patterns, provide passages for drainage.

5. Contractor shall layout beds and position plants for approval by owner or landscape architect. Review any significant field adjustments prior to installation. All bed areas shall be sprayed with herbicide as needed to kill weed or grass vegetation.

6. Planting Pit Excavation

a. Massed shrub and perennial planting areas shall be worked to a depth of 12" minimum (adding 4" of soil or compost amendments to build up planting beds rather than tilling or excavating down is generally acceptable subject to grade issues).

b. Azalea, rhododendron and yew planting areas or beds areas shall be raised and amended with sand and compost to achieve adequate drainage.

c. Areas shown for annual flowering plantings shall be worked and readied for planting.

d. Tree pits shall be excavated to at least twice(2) times the diameter of the root ball to a minimum depth of 18", and deeper where the root ball will rest. Root balls shall rest on stable soil. Utilize excess soils for soil saucers around trees, located immediately outside edge of root ball.

e. Planting pits located on slopes shall be excavated to appropriate depths governed by the uphill side.

7. Planting- all plants shall be installed slightly higher than nursery depth to provide for settlement and increased drainage. Plants shall be installed vertically plumb. Trim and remove the top 1/4 of burlap or other ball wrap and cut turn down wire basket loops to below grade. Remove all string ties, strapping, labels, etc. from the plant material. Plant pits shall be backfilled and compacted. All plants shall be watered during planting to minimize air pockets and to insure soil contact with roots. Let plant pits settle, and add soil to fill voids, etc. prior to mulching. Water additionally as required for plant survivability.

8. Staking and Guying- generally, the following requirements apply: a. deciduous trees over 2" caliper shall be staked and guyed with a minimum 2" x 2" x 6' hardwood stakes located in stable soils with suitable protectant guying, or other approved method. Staking shall provide adequate stability for newly planted trees for at least one full growing season. b. evergreen trees over 6' height shall be staked and guyed with a minimum 3" x 2" x 6' hardwood stakes located in stable soils with suitable protectant guying, or other approved method. Staking shall provide adequate stability for newly planted trees for at least one full growing season. c. the contractor shall stake and guy other plant material as deemed necessary to insure vigorous growth and survivability. Likewise, staking and guying may be eliminated on a site-by-site basis dependent on root ball type, soil and climatic conditions, and only with specific owner approval.

9. All planting beds and pits shall be edged with a 3" deep "V" trench edge and shall be mulched with 3" depth of double shredded, hardwood bark mulch. Mulch shall generally extend to the edge of paving or building, or back of curb, or in open areas adjacent to turf or naturalized areas, shall extend a minimum of 2' beyond the trunk for trees and 1' beyond the edge of shrub foliage. Mulching shall not be mounded against the trunk or foliage or plants, and shall generally increase in depth toward the edge of the root ball.

10. Planting schedules shall be coordinated with the owner.

11. The contractor shall maintain a clean job site and remove all planting and supply debris daily during the course of implementation.

12. The contractor shall continue maintenance and upkeep of the plantings and site areas through completion of the work. Unless otherwise specified or agreed, maintenance shall include watering of sodded turf installations until final acceptance by the owner. The contractor shall request an inspection of the work from the owner or his designated representative, and shall repair/replace any deficiencies identified. After a re-inspection and approval of any repairs, the contractor, unless otherwise specified herein, shall be relieved of maintenance responsibilities upon completion and acceptance of the job or phase. The owner shall not unreasonably delay approval of completed work.

13. Guarantees

a. the contractor shall provide the owner with written maintenance instructions for the various plant material and turf areas installed under this contract.

b. the contractor shall warrant all plant material for one full year from completion and final acceptance by the owner of the job, or phase as mutually agreed, against defect, unsatisfactory growth, latent insect infestation, and/or death resulting from improper installation techniques, defective plant material stock, improper maintenance directions, or failure to notify the owner prior to installation that a certain species or location would be impacted by site conditions. Plant losses caused by abnormal weather events, including abnormal flooding, extreme winds, or extreme, extended drought shall not be the contractor's responsibility.

c. the contractor shall warrant all staking and guying for one full year against failure or decay, etc. Unless otherwise specified, periodic adjustment shall be maintained by the owner and is not the responsibility of the contractor under this contract.

PROPOSED LANDSCAPE

Plant List	Qty	Scientific Name	Common Name	Specification
Shade Trees				
RB	2	Betula nigra clumps	Clump River Birch	7' hgt. multi-stem (min. 3 stem-1.0" ea.)
WO	1	Quercus phellos	Willow Oak	3.0' cal.
Shrubs				
CA	3	Clethra alnifolia	Summersweet	24" hgt., 5' o/c
WM	6	Myrica carifera	Waxmyrtle	4' hgt., 7' o/c
Grasses				
SG	9	Panicum virgatum	Switch Grass	1 gal., 5' o/c

Turf
All undeveloped areas not otherwise landscaped shall be limed at 1000#/acre, and seeded (8#/1000) or sodded with a turf type fescue blend containing 10% perennial ryegrass. Fertilize all planted area with a high phosphorous starter fertilizer at 200#/acre.

SPECIALIZED SEED MIX FOR STORMWATER SWALE AREAS

Base Seed Mix- Seed Rate Approx. 0.5/1000 Sq Ft, Curlex As Necessary, Equal Amounts Of	Red Top	Creeping Bent Grass	Fox Sedge	Switch Grass	Fowl Bluegrass
Agrostis alba					
Agrostis palustris					
Carex vulpinoidea					
Panicum virgatum					
Poa palustris					

Cost Estimate for Landscape Material and Installation

Plant List	Installed Cost (2 X Plant Wholesale cost)	TOTAL
Shade Trees		
RB	\$ 50	\$100
WO	\$180	\$360
Shrubs		
CA	\$10.75	\$21.50
WM	\$20.00	\$40.00
Grasses		
SG	\$ 3.50	\$ 7.00
		\$ 63.00
		\$ 928.50

SURETY

Total Cost:	\$ 928.50
SURETY:	\$1,114.20 (120% of the total cost)

SITE STATISTICS:

ZONING CLASSIFICATION:
SETBACKS:

GC (GENERAL COMMERCIAL)/GZ (GATEWAY OVERLAY ZONE)
FRONT 50'
REAR 10'
SIDE 10'
MARYLAND ROUTE 33 - 50'

LOT AREA

18,697 SQ. FT.

PROPOSED USE:

SELF STORAGE FACILITY WITH OFFICE

ALLOWABLE BUILDING SITE COVERAGE:
BUILDING SITE COVERAGE SHOWN:

4,674 SQ. FT. (25% OF SITE AREA)
4,400 (24%), SELF STORAGE FACILITY

REQUIRED LANDSCAPE AREA:
PROPOSED LANDSCAPE AREA:

4,674 SQ. FT. (25%)
5,446 SQ. FT. (29%)

CONTACT PERSON:

ROBERT D. HIGGINS
TERESA A. HIGGINS
P.O. BOX 40
NEWCOMB, MARYLAND 21653-0040
443-496-1301

EXISTING IMPERVIOUS AREA:

STRUCTURE: 4,400 SQ. FT. (24%)
PARKING AREA: 8,585 SQ. FT. (46%)
TOTAL: 12,985 SQ. FT. (69%)

PARKING SPACES REQUIRED:

3 SPACES TOTAL @ 1 SPACE/500 SQ. FT. OF GFA (17,600 SQ. FT.);
PARKING WAIVER APPROVED BY PLANNING COMMISSION
RECOMMENDATION BY PLANNING OFFICE.

PARKING SPACES PROVIDED:

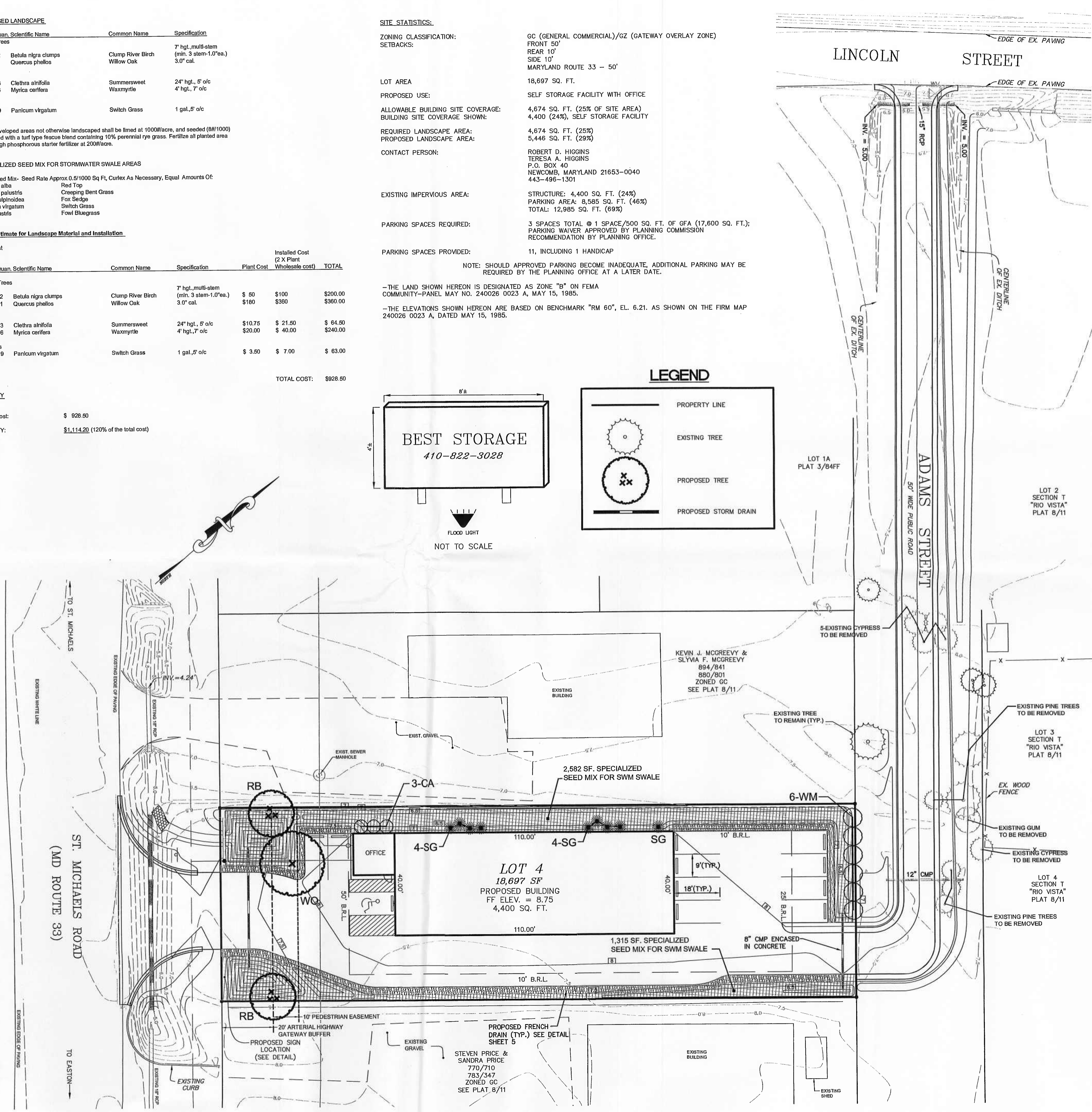
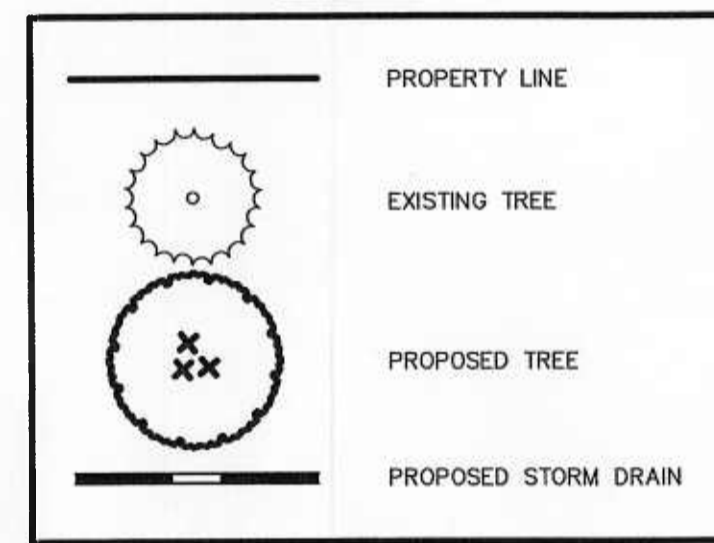
11, INCLUDING 1 HANDICAP

NOTE: SHOULD APPROVED PARKING BECOME INADEQUATE, ADDITIONAL PARKING MAY BE REQUIRED BY THE PLANNING OFFICE AT A LATER DATE.

-THE LAND SHOWN HEREON IS DESIGNATED AS ZONE "B" ON FEMA
COMMUNITY-PANEL MAY NO. 240026 0023 A, MAY 15, 1955.

-THE ELEVATIONS SHOWN HEREON ARE BASED ON BENCHMARK "RM 60", EL. 6.21. AS SHOWN ON THE FIRM MAP
240026 0023 A, DATED MAY 15, 1955.

LEGEND



GENERAL SITE PLAN & LANDSCAPE PLAN
DATE: 5-5-06
SCALE: 1" = 20'
JOB NO.: 060097
DRAWN BY: J. HIGGINS
CHECKED BY: J. HIGGINS
DATE PLOTTED: 5/5/06
E-MAIL: mail@laneinc.com
117 Bay St. Easton, MD 21601 (410) 822-8603 FAX (410) 822-2024
15 Washington St. Cambridge, MD 21613 (410) 221-0816 FAX (410) 221-0849
1148 West Water St. Centerville, MD 21037 (410) 758-2089 FAX (410) 758-4422

Lane Engineering, Inc.
Civil Engineers - Land Planning - Land Surveyors

LOT 4, SECTION W
RIO VISTA
IN THE SECOND ELECTION DISTRICT
CRITICAL AREA COMMISSION
Chesapeake & Atlantic Coastal Bay
TAX MAP 32
GRID 10 PARCEL 105 LOT 4

SHEET No. 6 OF 6
FILE No. 1491