

OC 685-06 Wright - Hinchcliffe
site Plan 11814

MSA.S.1829-5877

CC 10/22/06

Robert L. Ehrlich, Jr.
Governor

Michael S. Steele
Lt. Governor



Martin G. Madden
Chairman

Ren Serey
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

October 17, 2006

Mr. Blaine Smith, Zoning Administrator
Town of Ocean City
PO Box 158
Ocean City, MD 21843

RE: Site Plan – 10610 Pine Needle Road; Local Case # 11814

Dear Mr. Smith:

Pursuant to your request, I have reviewed the supplied information regarding the above referenced site plan. The applicant proposes to redevelop a 5,366 square foot lot designated IDA with a 15-foot setback. The site is waterfront and it is assumed that the entire lot will be disturbed during construction. The applicant proposes to construct a single family dwelling and associated parking. Existing impervious surface on the site will increase from 2,408 square feet to 2,630 square feet. Critical Area issues include stormwater management, setback mitigation, and afforestation/landscaping requirements.

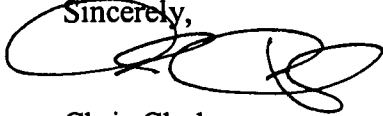
The Commission has the following comments based upon the information provided:

1. The afforestation requirement and the 25% landscape mitigation for intrusion into the setback will be met on-site through the proposed landscape schedule using the 2% cost of construction method.
2. Stormwater will be met through the use of infiltration trenches and dry swales on the site.
3. All decking will be pervious per the detail provided.

Mr. Blaine Smith
File #11814
October 17, 2006

As submitted, the applicant has met the intent of the Town of Ocean City's Critical Area Program. Thank you for the opportunity to comment. If you have any questions or concerns, please contact me directly at 410-260-3476.

Sincerely,

A handwritten signature in black ink, appearing to read 'Chris Clark', with a large, stylized flourish at the end.

Chris Clark
Natural Resources Planner

cc: OC685-06

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MEMORANDUM

To: Joe Kincaid, MDE

From: LeeAnne Chandler 

Date: October 12, 2006

RE: Tidal Wetlands Permit Application 200665675, Bahia Vista, LLC

Thank you for the opportunity to review the above referenced permit application. The applicant, Bahia Vista, LLC, has applied to install 4 boatlifts with associated pilings on the ends of existing slips. The subject property is developed with a condominium building containing 40 units. The existing piers and slips were permitted prior to redevelopment of the site (and combination of the lots involved) with the condominium. The condominium was constructed under the Town's Critical Area Program.

Notwithstanding the previously approved permit for the 28 slips in 2004, the subject property is subject to all aspects of the Critical Area Law. According to the Town's Critical Area ordinance, the property is permitted a total of 5 slips. Given the allowance for projects approved in the period before the Town's ordinance became effective, the 28 slips may remain. However, any increase would be a violation of Section 30-556 of the Town Code and Natural Resources Article §8-1808.5. We recommend denial of the permit requested.

Thank you again for coordinating with our office. If you have any questions or concerns regarding this matter or if I can provide additional information, please contact me at (410) 260-3477. Thank you.

cc: Blaine Smith, Zoning Administrator, Town of Ocean City
Chris Clark

**Critical Area Project Application
Town of Ocean City**

Date: 8/18/06 File# 11814

Project Name: _____

Project Address 10610 PINE NEEDLE ROAD OCEAN CITY, MD 21842

Tax Map: 116 Parcel: 1697 Block: — Lot# 68 Zoning R-1

Property Owner NOREEN WRIGHT / CHARLOS HINCHLIFFE Phone _____

Property Owner Address 5414 JEFFERSON BLVD FREDERICK, MD 21703

Parcel size (SF): 5,366 \neq

I. Project Description

In the 100 foot buffer? Yes No _____ (If yes, continue with Sec. I)
(If no, skip to Sec. III)

Parcels 40,000 SF or more: Critical Area setback is 25 feet. No impervious surface or cantilevering permitted within 25 feet of the shoreline/wetlands. ("Pervious" decks are permitted 10' into setback, per construction standards.)

Parcels less than 40,000 SF: Critical Area set back is equal to the zoning setback (15 feet). No impervious surfaces permitted within the setback. ("Pervious" decks at ground level are permitted in the setback, per construction standards.)

Existing Conditions

Impervious surface (SF) 2408 % of site impervious: 45%

Impervious surface within the 100-foot buffer (SF): 2408

Proposed Conditions

Impervious surface (SF): 2630 % of site impervious: 49%

Total SF of disturbed area: 5,366 \neq

Impervious surface within the 100-foot buffer (SF): 2630 \neq

II. Mitigation Worksheet in the 100-foot Buffer

1. Detached Single Family Dwellings

Value of Construction: \$ 250,000

a. Landscaping required in the amount of 2% of the cost of construction
(Value of construction x .02 = \$ 5,000)

b. Total landscaping provided. Attach cost values and plant schedule. (Must equal or exceed "Means" book value.)
\$ 5,850.00

c. Mitigation requirement (if a - b > 0) = Fee in Lien of landscaping.
\$ 0 - (To be paid prior to issuance of Certificate of Occupancy.)

2. Multi-Family and Commercial Mitigation worksheet (within the 100' buffer)
- If not in 100-foot buffer skip to Section III below.
- All SF values determined from "Landscaping Conversion Table" below.

Activity Description (Complete all that apply):

- a. Trees or shrubs removed from buffer (outside of setback):
_____ x _____ SF x 1 = _____ SF
- b. Trees or shrubs removed from setback # _____ x SF = _____ x 2 = _____ SF
- c. Pervious to impervious _____ SF x 2 = _____ SF
- d. Improved pervious to improved pervious _____ SF x 1 = _____ SF
- e. Undisturbed surface disturbed but remaining pervious _____ SF x 1 = _____ SF
- f. Impervious to impervious _____ SF x 1 = _____ SF
- g. Impervious to pervious _____ SF x 0 = 0 SF
- h. Construction of decks in setback _____ SF x 2 = _____ SF
- i. TOTAL MITIGATION REQUIRED (sum of a through h) = _____ SF
- j. TOTAL LANDSCAPING PROVIDED (Refer to "Landscaping Conversion Chart" below)

	Number	Value	Total
Large trees	<u>3</u>	x 200 SF	SF <u>600</u>
Small trees		x 100 SF	SF _____
Large shrubs	<u>40</u>	x 75 SF	SF <u>3000</u>
Small shrubs	<u>20</u>	x 50 SF	SF <u>1500</u>
Herbaceous Plants		x 2 SF	SF _____
TOTAL VALUE OF LANDSCAPING PROVIDED			SF <u>5850</u>

(Maximum allowed credit is 2 times the plantable area unless a receipt is submitted justifying higher density and certification from a landscaper)

FEE-IN-LIEU OF LANDSCAPING (OFFSET) = i - j x \$1.20 \$ 0 -
(To be paid prior to issuance of Certificate of Occupancy)

k. Setback from water/wetlands _____ SF x .25 = _____ SF
(Landscape to be provided in setback area)

LANDSCAPING CONVERSION CHART

Credit

\$ 200	Large tree = 200 square feet of mitigation	2 1/2 cal	\$
\$ 100	Small tree = 100 square feet " " "	1 1/2 cal	
\$ 75	Large shrub = 75 square feet " " "	36" - raise/spread	
\$ 50	Small shrub = 50 square feet " " "	24" - raise/spread	
\$ 2	Herbaceous plants = 2 square feet of mitigation per plant		

III. Afforestation (Landscaping) Requirements Outside the 100-foot Buffer

1. All Development within the 1000' Critical Area (but outside the 100' buffer) every development or redevelopment must be planted in woody vegetation in an amount of 15% of the site area.

a. Total landscaping required: Parcel size x .15 = 804.9 SF.
 (This SF area must be plantable and planted with the following number of plants)

b. Landscaping provided (use Landscaping Conversion Chart)

Large trees	#	<u>3</u>	x	200 SF =	<u>600</u>	SF	
Small trees	#		x	100 SF =		SF	
Large shrubs	#	<u>40</u>	x	75 SF =	<u>3000</u>	SF	3750
Small shrubs	#	<u>30</u>	x	50 SF =	<u>1500</u>	SF	1500
Herbaceous Plants			x	2 SF =		SF	

TOTAL VALUE OF LANDSCAPING PROVIDED: 5850 SF

IV. Stormwater management and the 10% rule - Pollutant reduction requirement for all disturbances over 250 SF in the 1000 foot Critical Area.

1. Single family development subject to stormwater management requirements that use the "Standard Stormwater Management Plan" automatically meet the 10% Rule.

2. Single family development not subject to stormwater management regulations can meet the intent of the 10% Rule by submitting a Water Quality Management Plan.

3. Commercial and multi-family development must submit the 10% Rule Worksheet.

V. Habitat Protection (skip if it is less than 40,000 SF)

For lots of 40,000 square feet or greater, the applicant must consult with the Maryland Department of Natural Resources to determine the existence of any Habitat Protection Areas that may be affected by the proposed development.

Standard Stormwater Management Plan
Check List for Single Family over 5,000 sf

I. SITE INFORMATION (Please Print)

Owner's Name NOREEN WRIGHT & CHARLES HINCHLIFFE Phone # _____
 Permanent Address 5414 JEFFERSON BLVD FREDERICK, MD 21703
 Name/Site Address 10610 PINE NEEDLE ROAD OCEAN CITY, MD 21842
 Tax Map 116 Parcel 1697 Lot 68 Block - Zone _____
 Contractor's Name C. E. L. HOMES Phone # 410.213.7065
 Contractor's Address 9428 STEPHEN DRAWR HWY BELLW, MD 21811
 Total Area of Site 5,366 Total Proposed Impervious 2,680 Total Existing Impervious 2408

II. GENERAL INFORMATION

1. Review Fee \$50 **Attach**
2. Sediment Control approval or waiver- **Attach**
3. Building permit application form and approval check list; **Attach**
4. Wetlands and wetland buffers if applicable **Attach**
5. Wetland JD (Jurisdictional Delineation) or copy of application if applicable **Attach**
6. Geotechnical investigations **Attach**
 - a. Soil borings, Soil Texture Classification
 - b. Infiltration test which shows the percolation rate of the soil
 - c. Ground Water Elevation
 - d. Site-specific data and any additional information necessary to support the proposed stormwater management design. Made land will have soil going to three feet minimum.
7. Cost estimate of stormwater management designs \$ _____

III. STORMWATER MANAGEMENT - Requirements for Standard Stormwater

Management on Single Family residential lots, which implement the following site planning techniques, shall meet the intent of the Stormwater Management Ordinance and the 10% rule regulation. Provide site plan with the following information illustrated.

1. Minimize impervious surface use pervious paving and landscaping should be maximized. Lots 5,001 to 6,000 SF maximum imperviousness 3,000 SF and lots over 6,000 maximum imperviousness 50% of lot area. 3,000 SF maximum impervious area
2. SWM computations: (Site Plan must show exactly the proposed footprint of imperviousness)
 - i. $WQ_v \text{ cf} = \text{New Impervious area} + 20\% \text{ of existing impervious} * .95/12 =$
 $2630 + 482 * 0.95/12 = 246 \text{ cf, and } > 100$
 - ii. Required surface area of pervious non-structural measures (sf) = $WQ_v \times 4$
 $= 984 \text{ sf}$

(Impervious area is the roof top, sidewalk, driveways patios covered decks etc.)
3. BMP's to be incorporated: Show on SWM site Plan the areas comparable to this formula.

- a. **Impervious Surface Limit** -Apply impervious surface limits as listed above, % or SF. There will be a \$1.20 per square foot over the allowed impervious surface. In additions to the required swm BMPs listed below
 - b. **Grass Swale** - Grass/vegetated Swale will be utilized for conveyance and disconnection of rooftop runoff. Minimum of 2 foot wide by 20' long disconnect at less than 2% slope and soil depth of one foot consisting of sandy or sandy/loam soil. Substitute other ground cover media. (Mulch, stone, etc) if desired but impervious plastic may not be used as a weed barrier. Attach standard detail. All roof water and downspouts must be directed to this pervious surface. Detail attached Length provided _____ X 2 = _____ SF
 - c. **Rain Garden** – Rain Garden/ Bioretention Areas will be installed according to the attached standard detail. Area will be depressed 4 to 6" and with a sandy/loam soil. Area will be defined with stone, landscaping ties, edging, etc. Landscaping plan/schedule listed below must cover 50% of the site see landscaping requirement below. Surface area of Rain Garden (SF) = _____ Tree is 5' high and a shrub is a 3 gallon container
 - d. **Dry Wells or Gravel Trenches**- can be utilized according to the attached detail. Minimum depth is 1'. These areas cannot be covered with impervious surfaces however they can be covered with deck material and/or with topsoil and vegetated. Surface area of gravel trench or drywell (SF) 356
 - e. **Pervious Deck Detail** – Uncovered deck see attached detail. Must have 1/8' spacing and filter fabric and gravel beneath for erosion control. Area must not be used for storage.
 - f. **Vegetative mitigation**
 Out of buffer – 1 tree or 3 shrubs for every 100 sf of new impervious surface
 - o Provide vegetation _____ trees or _____ shrubs
 (Tree is 4' minimum and shrub is a 3 gal container)
 - g. **Other BMP as approved by the Department – Attached for review**
4. **Landscaping Plan:** Rain Gardens have to provide a landscaping plan with proposed plantings. Use native water tolerant species. Surface area must cover 50% with vegetation See attached list
- a. Grasses and ground cover 1 plant = 2 sf, 1 shrub = 15 sf 1 tree=100 sf. Plants have to be water and drought tolerant and are salt tolerant. For every one tree you need 3 shrub and 5 grasses. **Attach plant list and schedule** Ground water has to be a minimum of 2' below the sidewalk or top of curb elevation.
 - b. Soil textures of Sand, Sandy Loam, or Loamy Sand, as per the USDA Soils Textural Triangle will be required for all vegetated BMP's to a depth of 1 foot. Site soils may be used if meet this criteria else soil amendments will be required.
 - c. All drainage will be disconnected from impervious surfaces and drain toward the proposed BMP's. Rooftop downspouts (if present) will be directed to landscaping.
5. **Additional Stormwater Management Requirements**
- a. No bare soil will be allowed. Silt Fence will remain until stabilized. All property will be stabilized before Certificate of Occupancy. Under decks will be stabilized with filter cloth and stone.
 - b. Positive Drainage toward street with 1" in 10 feet minimum will be required for site grading.
 - c. Roof top and Driveway will be directed to grass swale or vegetation
 - d. Sheet Flow to a vegetated buffer with a 20 foot minimum
 - e. A maintenance and inspection agreement will be executed for this site in accordance with the City Ordinance and recorded within the Land Records of Worcester County for a Fee of \$40 made payable to the Worcester County Clerk of Court.

6. Site Plan with the following information

- a. Proposed improvements including location of buildings, structures, utilities, impervious surfaces, storm drain facilities and property lines insurance rate map zone designations and elevation
- b. Topographic map showing drainage, existing and proposed spot elevation and drainage direction.
- c. Location of existing and proposed structures and utilities;
- d. Any easements or rights-of-way;
- e. All necessary structural and construction details and specifications for all components of the proposed drainage system or systems, and stormwater management facilities;
- f. Dimensions, volume and cross section of each structure;
- g. Sequence of construction including any phasing;
- h. A table of materials to be used for stormwater facility vegetation and its maintenance schedule

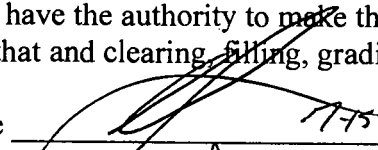
IV. CONDITIONS

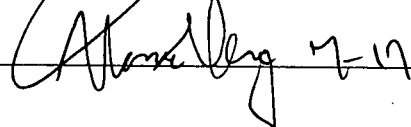
- 1. Access to site shall be available at all time for inspection s by the Town of Ocean City Engineering Department
- 2. Inspection requests are the responsibility of the developer/contractor/owner as per the Stormwater Management Ordinance not limited to
 - a. Pre-construction inspection
 - b. Pre-stormwater management installation inspection
 - c. Progress inspection
 - d. Final inspection
- 3. In the event that the applicant fails to provide adequate stormwater management according to the provisions of this plan, the Town of Ocean City, Engineering Department reserves the right to require corrective action
- 4. Nothing herein relieves the applicant from complying with and all other Federal, State, County and Town regulations.
- 5. Permits required by Federal or State Agencies for the protection of Tidal and Non-Tidal wetland are the responsibility of the owner of the property or the person conduction the activity. Contact the Maryland Department of Natural Resources at (410) 537-3000.

Required Surface Area	SF	Existing Impervious	Proposed impervious
BMP	Surface Area Provided	House 1395	House 2173
Grass Swale (2' X Length) ² = SF		Porch 555	Porch 75
Bioretention (Length x Width) = SF		Sidewalk	Sidewalk
Dry well/Gravel Trench Length x Width = SF	356	Shed STOP 42	Shed
Other		Driveway 354	Driveway 382
Total Provided, must meet required		Other PATD 62	Other
		Total 2408	2630

IV. CERTIFICATION

I certify that I have the authority to make the foregoing application and that the information contained herein is correct and that and clearing, filling, grading, or development will be done pursuant to this plan

Applicant's Signature 

Owner's Signature 



PER RECORD PLAT

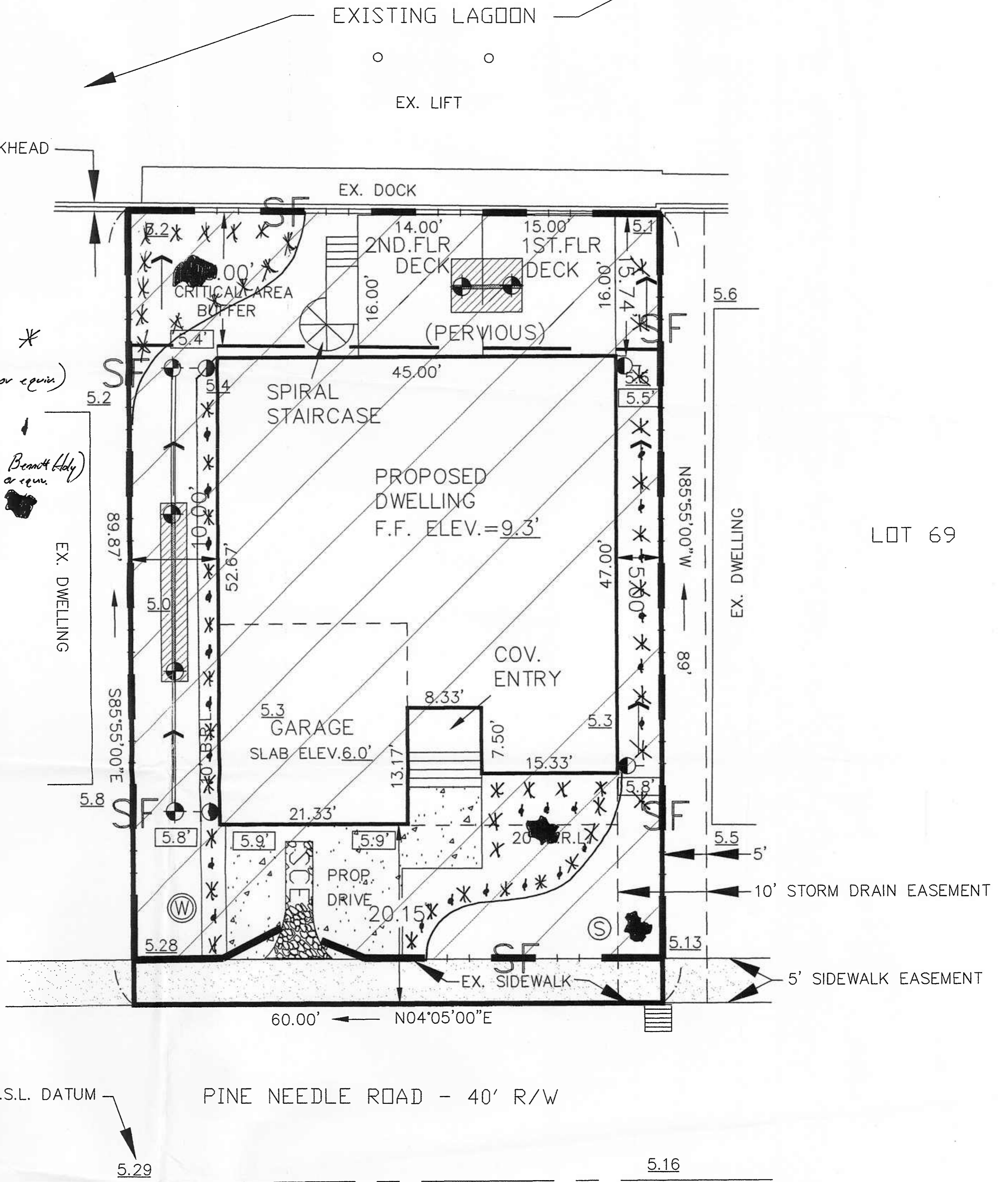
1" = 8'

Plants

50 large shrub *
(Tree's Crepe Myrtle or equiv.)

30 small shrub *
(Shrubs Tinus Viburnum or Bennett Holly or equiv.)

3 large trees *
LOT 67



EX. GROUND ELEVATION - M.S.L. DATUM

PINE NEEDLE ROAD - 40' R/W

5.29

5.16

RAIN DRAINAGE