

OC 146-06 Holleger, Sandra
Site Plan 11109

CC 3/22/06

CC 3/30/06

MSA. S. 1829-5853

Robert L. Ehrlich, Jr.
Governor

Michael S. Steele
Lt. Governor



Martin G. Madden
Chairman

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Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

March 30, 2006

Ms. Gail Blazer, Stormwater Engineer
Planning and Community Development
P.O. Box 158
Ocean City, MD 21843

RE: 718 – 32nd Street Property owner: Sandra Holleger; File # 11109

Dear Ms. Blazer:

Thank you for your recent resubmittal for the above applicants request to construct a 167 square foot addition to the above referenced residence.

While we recognize that incorrect information was previously submitted, it is extremely difficult to review these projects for Ocean City's Critical Area Program compliance when there is contradictory information supplied for review. The most recent information supplied also has errors on the plat concerning the areas of impervious surface. The "General Notes" section # 15 indicates a total impervious surface of 1,047.37 square feet where the "Impervious Area Calculation" table reflects a number of 1,578.57 square feet. Using the conservative calculation under the stormwater management application and Critical Area 10% rule compliance, the project meets the intent of the regulation.

The site appears to have met with the stormwater management and Critical Area Buffer vegetative compliance requirements. The Commission has no further comment on the project.

Thank you once again for providing the Commission with the required documentation. If you have any further questions regarding this project, please call me directly at 410-260-3476.

Best regards,

A handwritten signature in black ink, appearing to read "Chris Clark".

Chris Clark
Natural Resources Planner

cc: OC146-06

Mr. Blaine Smith, Zoning Administrator for the Deaf

Annapolis: (410) 974-2609 D.C. Metro: (301) 586-0450

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March 22, 2006

Mr. Blaine Smith, Zoning Administrator
Planning and Community Development
P.O. Box 158
Ocean City, MD 21843

RE: 718 – 32nd Street Property owner: Sandra Holleger; File # 11109

Dear Mr. Smith:

Thank you for your recent submittal for the above applicants request to construct a 186 square foot addition to the above referenced residence.

The applicant and/or Town has forwarded the Commission incomplete and incorrect information regarding this project. The following comments are noted and need to be addressed before this permit should move forward:

1. The Critical Area Project Application lists the current impervious surface area as 1,417 square feet with the proposed impervious conditions as 1,579 square feet. The Standard Stormwater Management Plan lists the existing impervious surface as 1,579 square feet and the proposed impervious surface as 1,579 square feet. The applicant needs to clarify.
2. The additional requirements under the Stormwater Plan are not included other than the area of the grass swale.
3. Rain garden detail needs to be provided in addition to a list of proposed plantings.
4. The applicant signature is absent on the Stormwater Plan providing no acknowledgement of receipt or intent to comply with the Plan. The details of which will be needed to meet the applicants requirement for the afforestation of at least 25% within the setback.
5. We would like to receive as listed in the "Stormwater Management Checklist": All necessary structural and construction details and specifications for all components of the proposed drainage system or systems, and stormwater management facilities, a table of materials to be used for stormwater facility vegetation, a plan with a legend scale and north arrow, owner/developer certifications that all stormwater management construction will be done according

to this plan, and a professional Engineer, Surveyor or a Landscape Architects Seal. Sketch plans which are not to scale are not acceptable for review.

6. The applicant or Town does not acknowledge or address the proposed deck on the plan. This must be addressed.

With the above information provided the Commission staff can not complete our review. Please revise and fully complete the site plan and provide for resubmittal to the Commission staff for review.

We look forward to the updated documentation. If you have any further questions regarding this project, please call me directly at 410-260-3476.

Best regards,



Chris Clark
Natural Resources Planner

cc: OC146-06



TOWN OF
OCEAN CITY

The White Marlin Capital of the World

OC146-06

Engineering Department
(410) 289-8825

March 27, 2006

Chris Clark
Natural Resources Planner
Critical Area Commission
1804 West Street, Suite 100
Annapolis, MD 21401

RE: 718 32nd Street, Sandra Holleger Permit #11109

Dear Mr. Clark:

In response to your letter dated March 22, 2006 for the above referenced property we are resubmitting to address your comments.

We inadvertently attached a Stormwater Management Standard Plan to this project. This SWM Standard Plan is for projects over 5,000 sf that need to meet the MDE Stormwater Management requirements. This project is <1000 sf and only needs to meet the 10% rule requirement. The Town of Ocean City has a standard Water Quality Management Plan for additions, alterations and paving permits. We use Option 2 in the 10% rule guidance document, which is vegetative mitigation. See attached "Standard Water Quality Management Plan" as opposed to the previous submitted "Standard Stormwater Management Plan". The 5 X 5 raingarden, rooftop disconnect and additional landscaping meet the intent of the 10% rule compliance requirements. The 5 X 5 raingarden will be planted with a minimum of one shrub and 5 plants. We have attached the bioretention construction detail for your reference.

The Deck is an existing deck that will be removed and replace according to the deck detail. The only increased impervious surface is the addition of 167 sf. The Stormwater form was changed and the error in the existing impervious surface was corrected on the new form, which the owner and contractor have signed. The Xerox enlargement was for landscaping purposes only and the proposed site plan is to scale.

This should address the comments you have regarding this property. Should you have any questions please contact me at (410)289-8825.

Sincerely

Gail P. Blazer
Environmental Engineer

MAYOR & CITY COUNCIL
P.O. BOX 158
OCEAN CITY,
MARYLAND 21843-0158

www.town.ocean-city.md.us

MAYOR
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City Manager

CAROL L. JACOBS
City Clerk

Ocean City, MD



2001

**Critical Area Project Application
Town of Ocean City**

Date: 3.2.06 File# 11109

Project Name: SAUNDRA L & ANGELA LEE HOCHEM RES.

Project Address 718 32ND ST., OCEAN CITY, MD

Tax Map: 112 Parcel: 4481 Block: Lot# 19 Zoning R-3

Property Owner SAUNDRA L HOCHER Phone

Property Owner Address 188 ANGIE DR., FLEMING, DE 19943-6137

Parcel size (SF): 2795

I. Project Description

In the 100 foot buffer? Yes No (If yes, continue with Sec. I)
(If no, skip to Sec. III)

Parcels 40,000 SF or more: Critical Area setback is 25 feet. No impervious surface or cantilevering permitted within 25 feet of the shoreline/wetlands. ("Pervious" decks are permitted 10' into setback, per construction standards.)

Parcels less than 40,000 SF: Critical Area set back is equal to the zoning setback (10 feet). No impervious surfaces permitted within the setback. ("Pervious" decks at ground level are permitted in the setback, per construction standards.)

Existing Conditions

Impervious surface (SF) 1417 % of site impervious: 51

Impervious surface within the 100-foot buffer (SF):

Proposed Conditions

Impervious surface (SF): 1579 % of site impervious: 56

Total SF of disturbed area: 2795

Impervious surface within the 100-foot buffer (SF):

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II. Mitigation Worksheet in the 100-foot Buffer

1. Detached Single Family Dwellings

Value of Construction: \$ 191,000.00

a. Landscaping required in the amount of 2% of the cost of construction
(Value of construction x .02 = \$ 3,820.00)

b. Total landscaping provided. Attach cost values and plant schedule. (Must equal or exceed "Means" book value.)
\$ 1400.00
*41 Core w/ globe - 4 @ \$50 = \$200
 Juniper - 10 @ \$20 = \$200
 Pampas grass - 20 @ \$20 = \$400*

c. Mitigation requirement (if a - b > 0) = Fee in Lieu of landscaping.
\$ 2420.00 (To be paid prior to issuance of Certificate of Occupancy.)

2. Multi-Family and Commercial Mitigation worksheet (within the 100' buffer)
 - If not in 100-foot buffer skip to Section III below.
 - All SF values determined from "Landscaping Conversion Table" below.

Activity Description (Complete all that apply):

a. Trees or shrubs removed from buffer (outside of setback):
0 x _____ SF x 1 = 0 SF

b. Trees or shrubs removed from setback # _____ x SF = _____ x 2 = 0 SF

c. Pervious to impervious 186 SF x 2 = 372 SF

d. Improved pervious to improved pervious _____ SF x 1 = 0 SF

e. Undisturbed surface disturbed but remaining pervious _____ SF x 1 = _____ SF

f. Impervious to impervious _____ SF x 1 = _____ SF

g. Impervious to pervious _____ SF x 0 = 0 SF

h. Construction of decks in setback _____ SF x 2 = _____ SF

i. TOTAL MITIGATION REQUIRED (sum of a through h) = 372 SF

j. TOTAL LANDSCAPING PROVIDED (Refer to "Landscaping Conversion Chart" below)

	Number	Value	Total
Large trees	_____	x 200 SF	SF _____
Small trees	<u>2</u>	x 100 SF	SF <u>200</u>
Large shrubs	<u>8</u>	x 75 SF	SF _____
Small shrubs	<u>12</u>	x 50 SF	SF <u>600</u>
Plants	_____	x 2 SF	SF _____
TOTAL VALUE OF LANDSCAPING PROVIDED			SF <u>800</u>

(Must provide this SF of plantable area not only the plants listed above)

FEE-IN-LIEU OF LANDSCAPING (OFFSET) = i - j x \$1.20 \$ 0
 (To be paid prior to issuance of Certificate of Occupancy)

k. Setback from water/wetlands 325 SF x .25 = 82 SF
 (Landscape to be provided in setback area)

LANDSCAPING CONVERSION CHART

Large tree = 200 square feet of mitigation
 Small tree = 100 square feet " " "
 Large shrub = 75 square feet " " "
 Small shrub = 50 square feet " " "
 Herbaceous plants = 2 square feet of mitigation per plant

III. Afforestation (Landscaping) Requirements Outside the 100-foot Buffer

1. All Development within the 1000' Critical Area (but outside the 100' buffer) every development or redevelopment must be planted in woody vegetation in an amount of 15% of the site area.

a. Total landscaping required: Parcel size x .15 = _____ SF.
 (This SF area must be plantable and planted with the following number of plants)

b. Landscaping provided (use Landscaping Conversion Chart)

6 x 31' disturbed Area x 2 = 372

Large trees	# _____	x	200 SF =	_____ SF
Small trees	# <u>2</u>	x	100 SF =	<u>200</u> SF
Large shrubs	# _____	x	75 SF =	_____ SF
Small shrubs	# <u>12</u>	x	50 SF =	<u>600</u> SF

TOTAL VALUE OF LANDSCAPING PROVIDED: 800 SF

IV. Stormwater management and the 10% rule - Pollutant reduction requirement for all disturbances over 250 SF in the 1000 foot Critical Area.

1. Single family development subject to stormwater management requirements that use the "Standard Stormwater Management Plan" automatically meet the 10% Rule.

2. Single family development not subject to stormwater management regulations can meet the intent of the 10% Rule by submitting a Water Quality Management Plan.

3. Commercial and multi-family development must submit the 10% Rule Worksheet.

V. Habitat Protection (skip if it is less than 40,000 SF)

For lots of 40,000 square feet or greater, the applicant must consult with the Maryland Department of Natural Resources to determine the existence of any Habitat Protection Areas that may be affected by the proposed development.



STORMWATER MANAGEMENT APPLICATION
Critical Area 10% Rule Compliance
Paving and Additions

Date 3/27/06 Permit # 11109
Project Name / Site Location 718 32nd Street
Owner Name SANNORA L HOLLEGER
Owner Address 718 32nd ST OCEAN CITY
Contact Name/ Title BRAD SHANE / CONTRACTOR Phone 410-845-2208
Contact Address 2802 32nd ST OCEAN CITY MD
Lot size: 2941
Limit of Disturbance: 1000
Existing Impervious 1416 (Tabulate on back or on site plan)
Proposed Impervious 1578 Increase 162 sf (Tabulate on back or on site plan)
Existing land cover: yard + driveway
Proposed construction Addition replace deck
Property Description Waterfront/ IDA or Non-Waterfront (circle one)
Soil Type and Slope Made Land < 1 % Slope

Permits for single-family sites with more than 250 sf-disturbed area must meet the intent of the Atlantic Coastal Bays Ordinance. This would be to submit 4 copies of the site plan with existing and proposed grades and the footprint of the entire impervious surface including existing and proposed.

Minimum Homeowners BMP's to be incorporated

- Maximum Imperviousness of site 65%
- All new impervious surfaces must drain toward pervious surface and no drainage toward neighboring properties containment may be needed at property line. on 5¹⁵ yard
- All decks must be built pervious see deck detail
- Vegetative mitigation
 - Out of setback - 1 tree or 3 shrubs for every 100 sf of new impervious surface
 - Inside setback first 25' - 3 trees or 9 shrubs for every 100 sf of new 2 Trees + 5 shrubs impervious surface than 1 tree or 3 shrubs
 - Provide vegetation 2 trees or 5 shrubs (Tree is 4' minimum and shrub is a 3 gal container)
- See landscaping plan for additional vegetation.
- Follow other engineering conditions

Owner Signature Sandra L. Hollegger

Contractor Signature Brad Shane for Craftwork Construction

Engineering Approval David P. Blaylock



CONDITIONS OF ENGINEERING, STORMWATER APPROVAL
AND CRITICAL AREA
<5,000SF Lots

Date: March 6, 2006

Permit # 11109

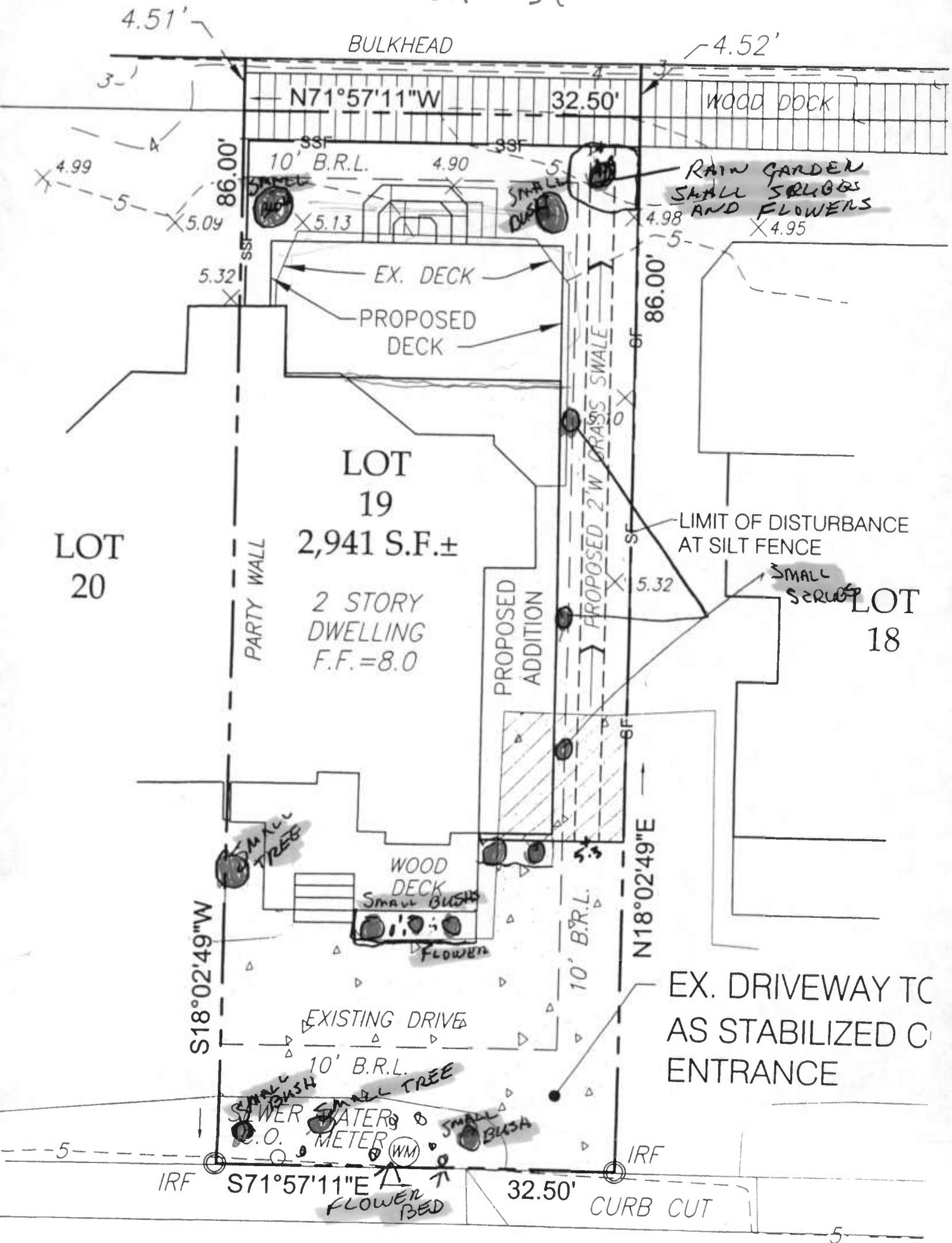
Site Name: 718 32nd Street

Engineering 

1. This review/approval does not relieve the developer's Liability for conformance to the City's Ordinance and subdivision regulations requirements.
2. Critical Area compliance is contingent on attached approved site plan and the proposed impervious surface. If site plan as-built is not exactly like the approved plans a revisions is required to be submitted to Engineering for review and approval at a cost of \$40.00. Proposed grading must be inspected prior to landscaping. Call engineering for grading inspection. All measures approved on this plan will be inspected and maintained according site plan. As-built survey may be requested should site conditions merit such a request. This approval will be cumulative to any future improvements or impervious surface
3. Call Engineering for initial, progress and final inspections 48 hours in advance at 410-289-8845.
4. Final Grades should have positive drainage and runoff drain toward street/bay over grass. Drainage arrows are shown in red. An adjustment of the grade to the site is the responsibility of the contractor - minimum slope is 1" in 10'. Ponding water is unacceptable unless part of a designed Stormwater Management System.
Site grading:
 - a. Fill material is required clean and be free of debris, organic material and clay
 - b. Stockpiles of dirt should be stabilized with vegetation or protected with silt fence, hay bales, straw or other appropriate protection.
 - c. Compaction of fill is required
 - d. Slope and height of fill should not exceed requirements for retaining wall. Building permit required for retaining wall.
 - e. Disturbance to adjoining property will require their approval of condition of disturbed property.
5. Use wall/berm/swale at property line to prevent drainage and sediment on to adjacent lots. Keep streets clean of dirt and debris and site free of litter and debris. Remove all construction materials, dumpsters, port-a-pots, etc. from City property and rights-of-way at completion of project. Any disturbance to neighboring property will require their permission and must be replaced to their satisfaction. Sidewalk must be repaired of any damage made during placement of structure.
6. Install and maintain silt fence, if needed, until property is stabilized - bare soil will need to be stabilized with vegetation, straw, or other appropriate measure prior to Certificate of Occupancy. All disturbed property will be permanently and adequately stabilized including under deck to prevent soil runoff and erosion within 14 days. All stormwater Management structural devices will be protected from siltation until site is stabilized
7. For 10% Critical Area Compliance, see attached Residential Water Quality Management Plan and associated BMP's and Landscaping Plan.
8. Note all changes shown in red to site plan attached signature here agrees to any changes.

LANDSCAPE PLAN

718 32ND ST



32ND STREET

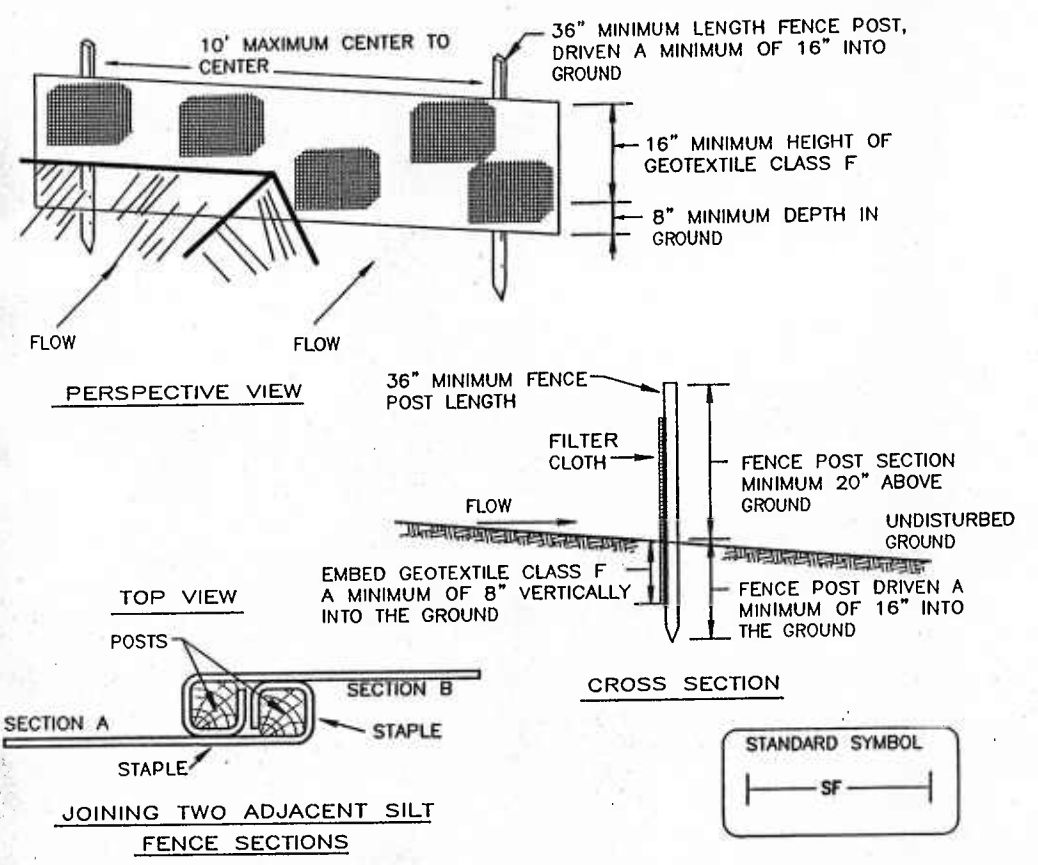
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CRITICAL AREA COMMISSION

MAR 21 2006

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Construction Specifications

- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pound per linear foot.
- Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

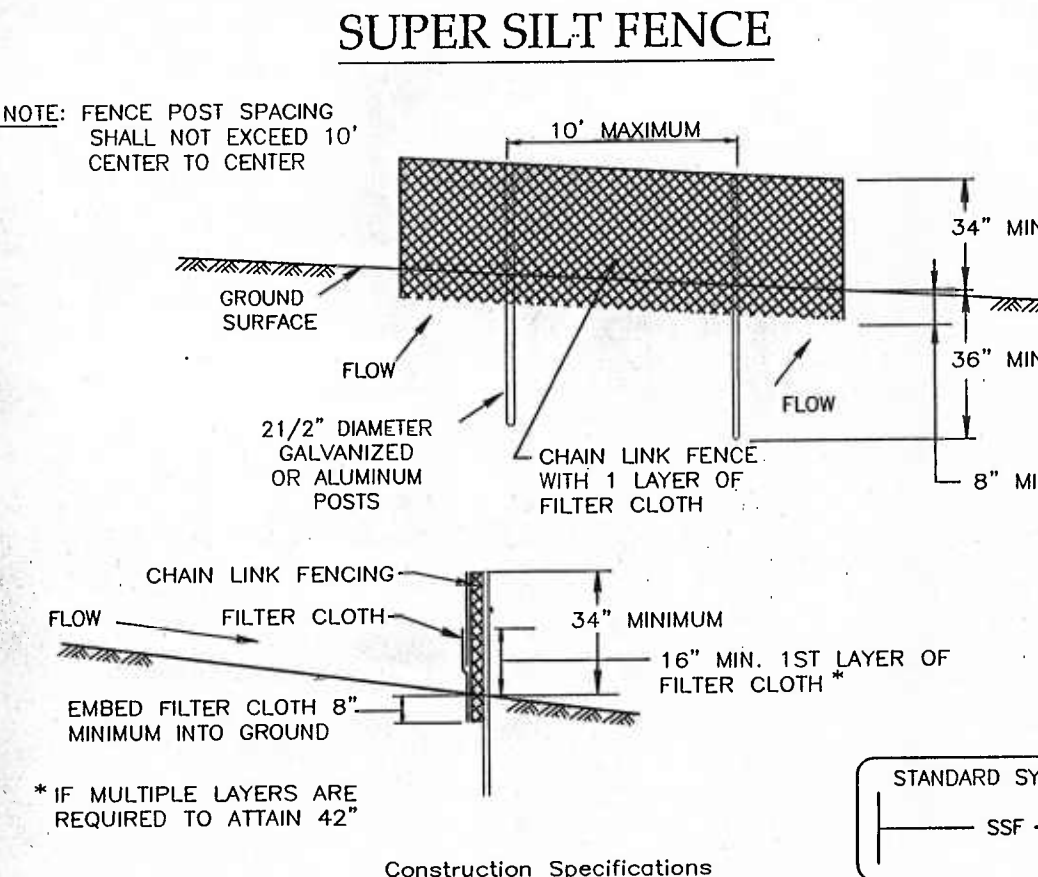
Tensile Strength	50 lbs/in. (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in. (min.)	Test: MSMT 509
Flow Rate	0.3 gal/ft ² /minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322
- Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
- Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

Silt Fence Design Criteria

Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

Note: In areas of less than 2% slope and sandy soils (USDA general classification system, soil Class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

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SILT FENCE

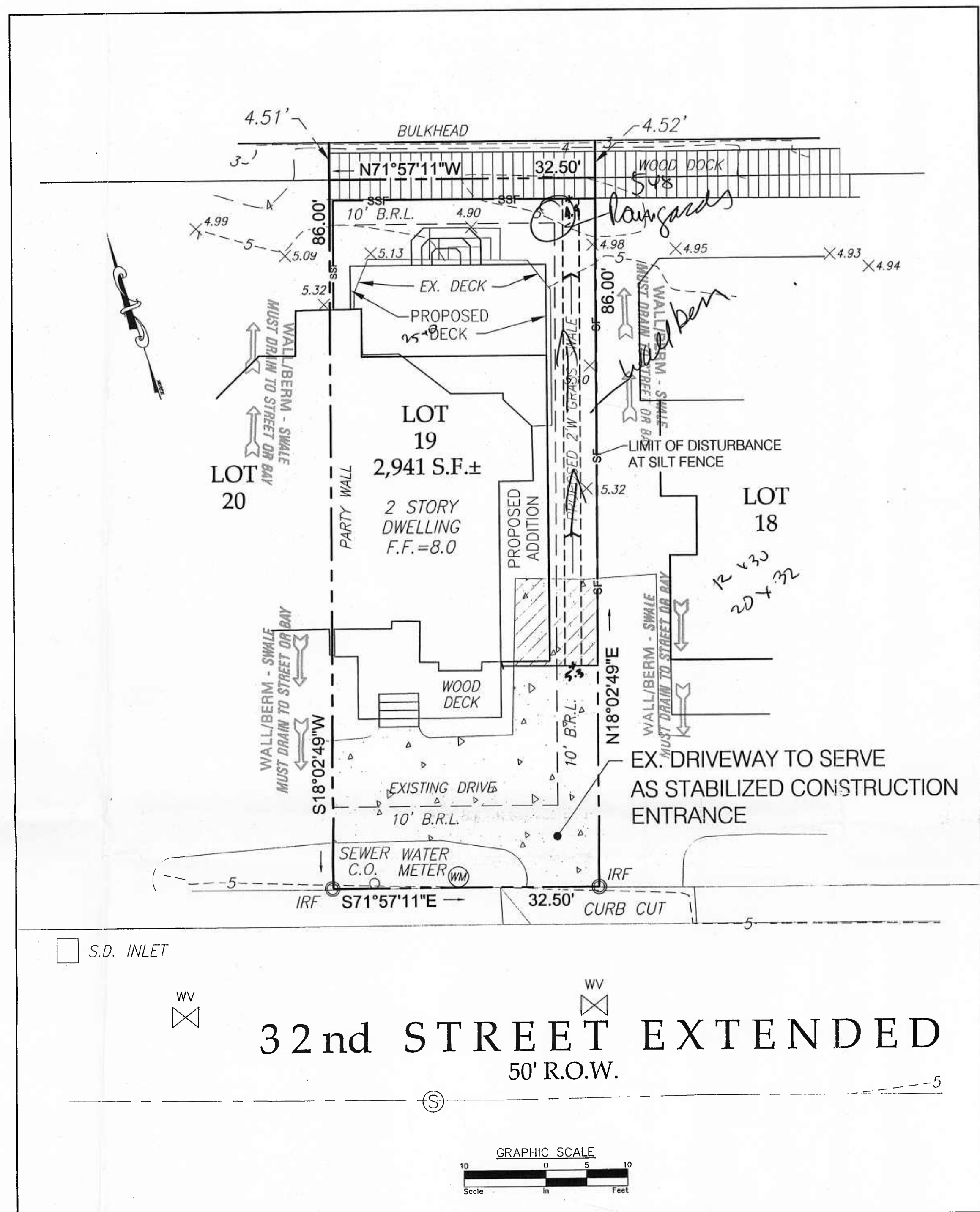


Construction Specifications

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.
- Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 8" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
- Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in. (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in. (min.)	Test: MSMT 509
Flow Rate	0.3 gal/ft ² /minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE H - 26 - 3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



PLAN
1"=10'

32nd STREET EXTENDED
50' R.O.W.

GRAPHIC SCALE
Scale 0 5 10 Feet

SEWER WATER C.O. METER
IRF
CURB CUT
WV

CONDITIONAL APPROVAL
W. E. Russell, ANNUAL INSPECTOR
3/1/06
6' ADDITION AND EXPANSION INTO THIRD LEVEL

TEMPORARY SEEDING SUMMARY

No.	Species	Application Rate (lb/1000)	Seeding Dates	Seeding Depth	Fertilizer Rate (10-10-10)	Line Rate
1.	ANNUAL RYEGRASS	50 lb.	3/1 - 4/30 AND 8/15 - 11/1	1/4" - 1/2"	600 lb/oc (15 lb/1000 sq ft)	2 tons/oc (100 lb/1000 sq ft)

PERMANENT SEEDING SUMMARY

No.	Species	Application Rate (lb/oc)	Seeding Dates	N	P205	K20	Line Rate
1.	Tall Fescue (850) Perennial Ryegrass (103) Kentucky Bluegrass (05)	125 lb. 15 lb. 10 lb.	3/1 - 5/15 AND 8/15 - 11/15	90 lb/oc (2.0 lb/1000 sq ft)	175 lb/oc (4 lb/1000 sq ft)	175 lb/oc (4 lb/1000 sq ft)	2 tons/oc (100 lb/1000 sq ft)
2.	Tall Fescue (850) Flatgrass (155)	110 lb. 20 lb.	3/1 - 5/15 AND 8/15 - 11/15	90 lb/oc (2.0 lb/1000 sq ft)	175 lb/oc (4 lb/1000 sq ft)	175 lb/oc (4 lb/1000 sq ft)	2 tons/oc (100 lb/1000 sq ft)
3.	Tall Fescue (805) Hard Fescue (202)	120 lb. 30 lb.	3/1 - 5/15 AND 8/15 - 11/15	90 lb/oc (2.0 lb/1000 sq ft)	175 lb/oc (4 lb/1000 sq ft)	175 lb/oc (4 lb/1000 sq ft)	2 tons/oc (100 lb/1000 sq ft)

SOIL EROSION AND SEDIMENT CONTROL NOTES

- The Contractor shall contact the State of Maryland (MDE) and Town of Ocean City, MD, Engineering Department, at least five days prior to start of construction.
- Limits of soil disturbance, grading, paving and/or seeding/stabilization include all areas within the limits as shown.
- Temporary erosion control devices shall be placed prior to grading. They shall be constructed and maintained in accordance with 1994 Maryland Standards & Specifications For Soil Erosion & Sediment Control Handbook, and Worcester County Requirements.
- All sediment control devices shall be cleaned periodically during construction to insure their integrity and proper function.
- All areas shall be permanently or temporarily stabilized according to the (1994 Maryland Standards & Specifications For Soil Erosion & Sediment Control Section G, Vegetative Practices), when site development work, grading or other earth disturbance activities cease to be continuous for more than 14 days.
- All sediment control devices shall remain in operation until construction project is fully stabilized by vegetation or paving and free from sediment.
- Periodic inspection and maintenance of all sediment control devices must be provided to insure the intended purpose is accomplished.
- During the layout of the sediment control devices shown on plans, field adjustments shall be made to insure that proper placement has been made to arrest and control any sediment that could leave the construction site.
- Public roads and other right-of-ways will be kept free of sediment deposits left from heavy truck traffic leaving the construction site.
- Permanent stabilization: all areas not to be sodded or paved shall be seeded and mulched in accordance with the above referenced standards and specifications.
- Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within seven calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes greater than 3 horizontal to 1 vertical (3:1); and 14 days as to all other disturbed or graded areas on the project site. The requirements of this subparagraph do not apply to those areas which are shown on the plan and are currently being used for material storage or for those areas on which actual construction activities are currently being performed or to interior areas of a surface mine site where the stabilization material would contaminate the recoverable resource. Maintenance shall be performed as necessary to ensure that stabilized areas continuously meet the appropriate requirements of the "1994 Maryland Standards & Specifications For Soil Erosion & Sediment Control", which is incorporated by reference in Regulation.
- Sequence of Construction for 124th Street

- Contact the Maryland Department of the Environment (MDE) and Town of Ocean City Engineering Department to schedule a pre-construction meeting at least 48 hours prior to commencing any site work. Failure to do so may result in an immediate stop work order.
- Install stabilized construction entrance and silt fence.
- Build addition
- Grade lot to final grade and stabilize.
- If necessary, install side yard grass channels as side yard silt fence is removed. Stabilize grass channel with sod or matting as constructed.
- Connect downspout pipes if applicable.
- Once final stabilization is complete, contact Maryland Department of the Environment (MDE) and Town of Ocean City Engineering Department to schedule a final inspection. Upon approval, those sediment measures may be removed.
- Install Rain Gardens after all disturbance is complete and dense vegetation covers the ground or two grass mowings.

IMPERVIOUS AREA CALCULATIONS

TOTAL SITE AREA=2,941.67 S.F.
EXISTING IMPERVIOUS AREA:
DWELLING= 740.92 S.F.
DECK/STEPS= 0.0 S.F.
WALK/DRIVE= 675.76 S.F.
TOTAL EXISTING IMPERVIOUS AREA= 1,416.68 S.F.

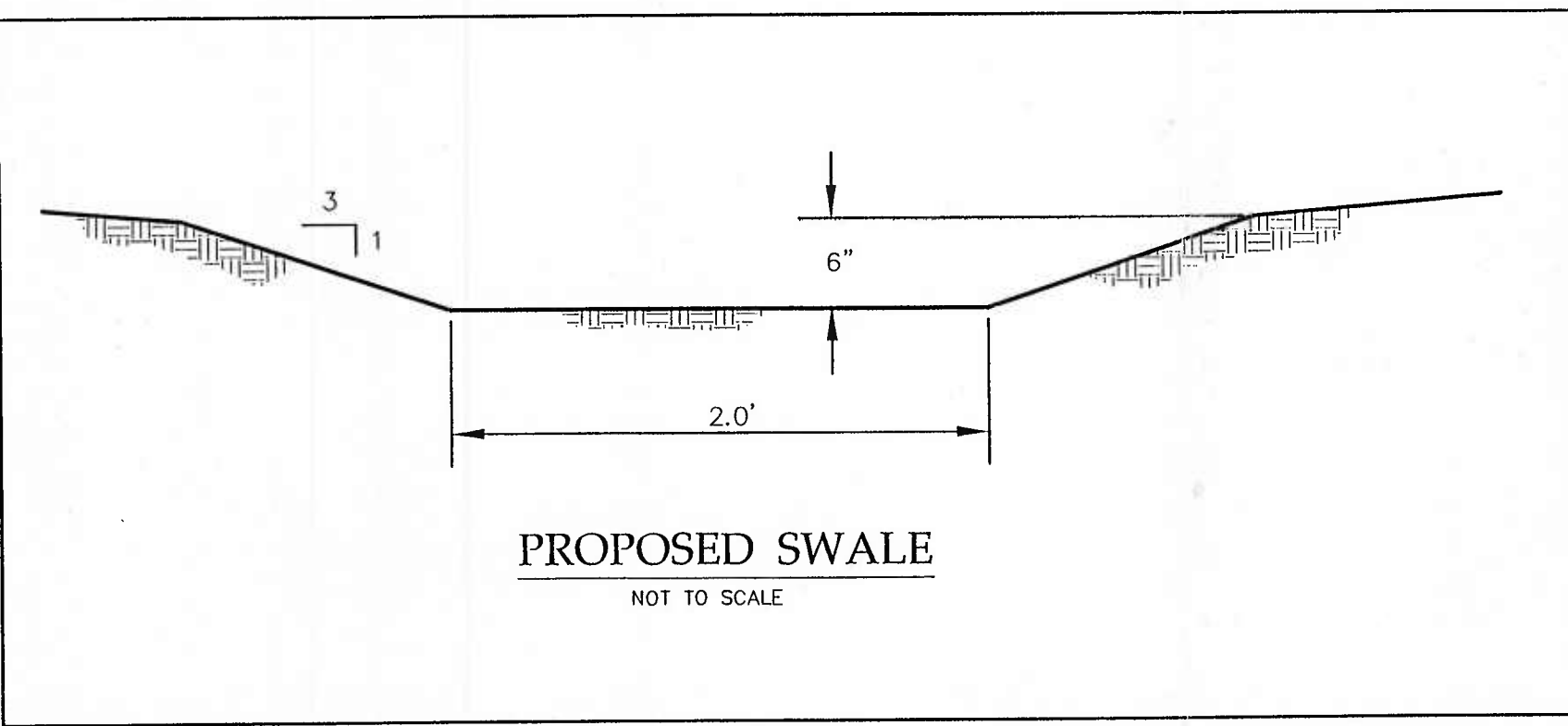
PROPOSED IMPERVIOUS AREA:
ADDITION= 226.38 S.F.
DECK/STEPS=0.0 S.F.

TOTAL ADDITIONAL PROPOSED IMPERVIOUS AREA= 226.38 S.F.

EXISTING IMPERVIOUS AREA TO BE REMOVED:
DECK/STEPS= 0.0 S.F.
DRIVEWAY= 64.19 S.F.

TOTAL EXISTING IMPERVIOUS AREA= 64.19 S.F.
TO BE REMOVED

EXISTING IMPERVIOUS AREA = 1,416.68 S.F.
PROPOSED IMPERVIOUS AREA = 1,578.57 S.F.
= 162.19 S.F. INCREASE IN IMPERVIOUS AREA



DEVELOPER'S CERTIFICATE

ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN AND THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND FURTHER AUTHORIZE THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY THE WORCESTER SOIL CONSERVATION DISTRICT BOARD OR SUPERVISORS OR THEIR AUTHORIZED AGENTS.

Brad Shane Island Builders LLC 3/1/06
BRAD SHANE, ISLAND BUILDERS LLC
802 32nd STREET
OCEAN CITY, MD 21842
Phone: 410-845-2208
Fax: 410-289-6497

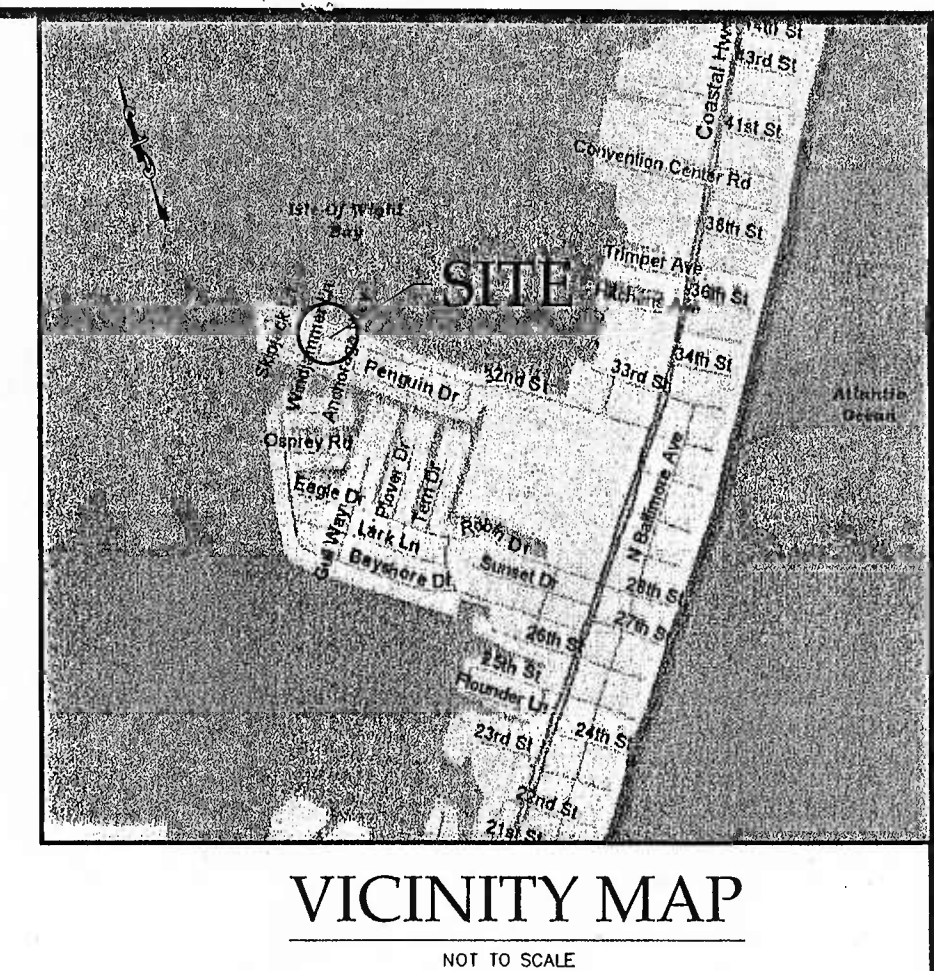
STORMWATER MANAGEMENT STATEMENTS

ALL PHASES OF STORMWATER MANAGEMENT CALCULATIONS, STRUCTURE DESIGN AND CONSTRUCTION WILL ADHERE TO CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR STORMWATER MANAGEMENT AND THE STORMWATER MANAGEMENT PLAN FOR THIS SITE.

ALL INFORMATION SET FORTH IN THIS PLAN ACCURATELY CONVEYS THIS SITE'S CONDITIONS TO THE BEST OF MY KNOWLEDGE.

ALL STRUCTURAL DEVICES FOR STORMWATER MANAGEMENT WILL BE PROTECTED BY PROPER SOIL EROSION AND SEDIMENT CONTROL DEVICES UNTIL ALL CONTRIBUTING AREAS HAVE PASSED FINAL STABILIZATION INSPECTION.

Brad Shane Island Builders LLC 3/1/06
BRAD SHANE, ISLAND BUILDERS LLC
802 32nd STREET
OCEAN CITY, MD 21842
Phone: 410-845-2208
Fax: 410-289-6497



GENERAL NOTES

- TAX MAP # 112, PARCEL 4481
- LOT 19
- ZONED: Residential
- PLAT REF: FWH 80/70 "RUNAWAY BAY"
- DEED REF: SVH 4349/712, RHO 2358/175
- TOTAL AREA OF PROPERTY = 2,941.67 sq. ft.
- SETBACK REQUIREMENTS
FRONT YARD = 10'
SIDE YARD = 10'
REAR YARD = 10'
- PROPERTY IS IN FLOOD ZONE AS PER FIRM 245207-0001-G.
- BASE FLOOD ELEVATION FOR SAID ZONE IS 6.0, NGVD 29.
- TOTAL DISTURBED AREA = ±9,000 sq. ft.
- SOILS CONSIST OF cb8 (COASTAL BEACHES)
- THERE IS ASSUMED TO BE NO WETLANDS ON THIS SITE.
- THIS SITE FALLS WITHIN THE ATLANTIC COASTAL BAYS CRITICAL AREA.
- THIS PROJECT IS EXEMPT FROM FOREST CONSERVATION
- TOTAL PROPOSED IMPERVIOUS AREA = 1,047.37 S.F.±
- TOTAL INCREASED IMPERVIOUS AREA = 162.19 S.F.±

REVIEWED STORMWATER MANAGEMENT/ENGINEERING

Date: 3-6-06
Name: *Miller*

This review is based upon information contained in this plan only, and does not cover unsatisfactory conditions resulting from errors, omissions or failure to clearly indicate conditions. Any alterations, additions or corrections of the plans must be submitted to this office for review. Conformance to drainage, grade, sidewalk, and city ordinance must be met. (See additional conditions attached)

RESPONSIBLE PERSONNEL (OWNER OR DEVELOPER) CERTIFICATION

I, ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT ON ALL OF THESE WILL BE DONE PURSUANT TO THIS PLAN, AND I, THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE CERTIFICATION OF TRAINING AT THE DEPARTMENT APPROVED TRAINING PROGRAM (GREEN-CARD CERTIFICATION) FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. (CERTIFICATION MAY BE WAIVED BY THE APPROVAL AUTHORITY ON ANY PROJECT INVOLVING FOUR OR FEWER RESIDENTIAL UNITS) AND AS APPLICABLE PER COUNTY. I, THE DEVELOPER WILL PROVIDE ONE COPY OF A RED LINE AS-BUILT DRAWINGS OF EACH FACILITY REQUIRING A STATE POND PERMIT.

Brad Shane Island Builders LLC 3/1/06
BRAD SHANE, ISLAND BUILDERS LLC
802 32nd STREET
OCEAN CITY, MD 21842
Phone: 410-845-2208
Fax: 410-289-6497

Date Plotted: _____

SOULE & ASSOCIATES, P.C. ENGINEERING / SURVEYING / PLANNING

122 ARLINGTON ROAD
ARLINGTON BUSINESS CENTER
SALISBURY, MARYLAND 21801
(410) 742-7797

REVISIONS
Date Issued for

STORMWATER MANAGEMENT & SEDIMENT AND EROSION CONTROL PLAN
#718 32nd STREET
TOWN OF OCEAN CITY

MARYLAND
WORCESTER COUNTY

Designed By: S8S
Drawn By: JND
Date: 2/2/06
Job No.: 06-032
Drawing File No.: SITEBASE.dwg
Sheet No.:

STATE OF MARYLAND
DEPARTMENT OF ENVIRONMENT & GENERAL ENGINEERING