

AA 376-06 Hyatt, Alan
SUB 06-026

LH
comment
6/27/06
KS Comments
9/25/06
—
AW
comment
12/11/06

9/20

MSA-S-1829-5452

8/21/06 Meeting w/ Vanna Hestrad of
Sogma Engineering

- added riprap table
- added column in clearing table
- will submit Buffer Management Plan concurrent w/ subd.
- 3 large trees - in this case asked him to look at them as an area
- will talk to Chris about slope expansion.

Robert L. Ehrlich, Jr.
Governor

Michael S. Steele
Lt. Governor



Martin G. Madden
Chairman

Ren Serey
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

December 11, 2006

Mr. Michael Murray
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6301
Annapolis, MD 21401

Re: Hyatt and Petrie Property
Formerly Alan & Sharon Hyatt Property
MS 06-026

Dear Mr. Murray:

I have received a resubmittal for the above-referenced subdivision request. As indicated in the applicant's November 15, 2006 letter, the originally proposed subdivision has been modified and now proposes to subdivide one residential lot into two and no longer includes the construction of a new residential dwelling on one of the lots.

The applicant's November 15, 2006 letter notes that a revised critical area plan will be submitted with the next submittal. Based on the information we have at this time, our only comment is that the applicant must show that the 15% afforestation requirements will be met on both newly created lots.

Thank you for the opportunity to comment. Please feel free to call me at (410) 260-3483 if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Amber Widmayer'.

Amber Widmayer
Natural Resources Planner

cc: AA 376-06

Robert L. Ehrlich, Jr.
Governor

Michael S. Steele
Lt. Governor



Martin G. Madden
Chairman

Ren Serey
Executive Director

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September 25, 2006

Mr. Michael Murray
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6301
Annapolis, Maryland 21401

Re: Alan & Sharon Hyatt
MS 06-026

Dear Mr. Murray:

I have received the revised plans of the above-referenced subdivision request for review and comment. The applicant proposes to subdivide a 5.13 acre parcel into two lots. The parcel is in the Limited Development Area (LDA). I have outlined my comments below.

1. This office agrees that the expanded Buffer is acceptable as shown at this time.
2. Based on our calculations, the applicant will need additional plantings in order to meet the full mitigation requirement of 7,945 square feet across both lots, due to the use of the understory trees. Critical Area Commission guidelines recommend 400 square feet of credit be given by either combining 1 overstory tree with 2 understory trees or 1 overstory trees with 3 shrubs. I recommend the applicant add three additional overstory trees to their proposed planting mix to meet these guidelines.

Thank you for the opportunity to provide comments. If you have any questions, please contact me at (410) 260-3745.

Sincerely,

Kate Schmidt

Kate Schmidt
Natural Resources Planner

cc: AA376-06

Robert L. Ehrlich, Jr.
Governor

Michael S. Steele
Lt. Governor



Martin G. Madden
Chairman

Ren Serey
Executive Director

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www.dnr.state.md.us/criticalarea/

June 27, 2006

Ms. Kelly Krinetz
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6301
Annapolis, Maryland 21401

Re: Alan & Sharon Hyatt
MS 06-026

Dear Ms. Krinetz:

I have received the above-referenced subdivision request for review and comment. The applicant proposes to subdivide a 5.13 acre parcel into two lots. The parcel is in the Limited Development Area (LDA). I have outlined my comments below.

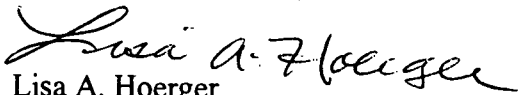
1. The applicant has shown an expanded Buffer that is drawn from the top of steep slopes regardless of their location. It is our understanding the 50-foot setback to steep slopes applies to those steep slopes inside the Buffer, and that for all steep slopes outside the 100-foot Buffer, the formula of four feet for every one percent of slope is used to calculate the area of expansion. Please have the applicant clarify the means for Buffer expansion.
2. It appears the existing forested area totals less than 15%; therefore, afforestation will be required. Planting in the 100-foot Buffer would be the preferred area for planting before plantings are considered elsewhere on the property. Please have the applicant show the areas proposed for planting to meet the afforestation requirement.
3. We recommend that the "Woodland Clearing Calculations" chart should include another column stating area to be planted for the proposed clearing on proposed lot 2.

Ms. Krinetz
June 27, 2006
Page Two

4. ✓ We did not receive a copy of the plat; however, we recommend the impervious surface information also be included on the final plat.
5. I was unable to locate the well for proposed lot 1. Please have the applicant show it on the plans and plat.
6. On the Critical Area Plan Title Sheet under the "Site Tabulations" the building setbacks concerning the front setbacks are not clear. We recommend this information be reworded to make clear that in addition to the minimum 100-foot setback, there is an additional front setback in the case of steep slopes.

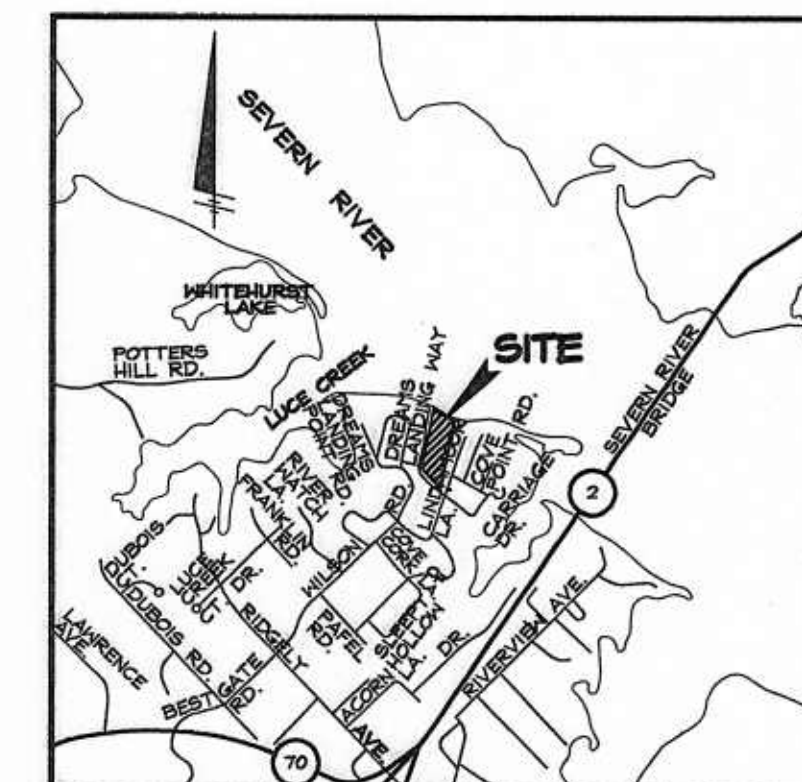
Thank you for the opportunity to comment. Please telephone me at (410) 260-3478 if you have any questions.

Sincerely,


Lisa A. Hoerger
Natural Resources Planner

cc: AA 376-06

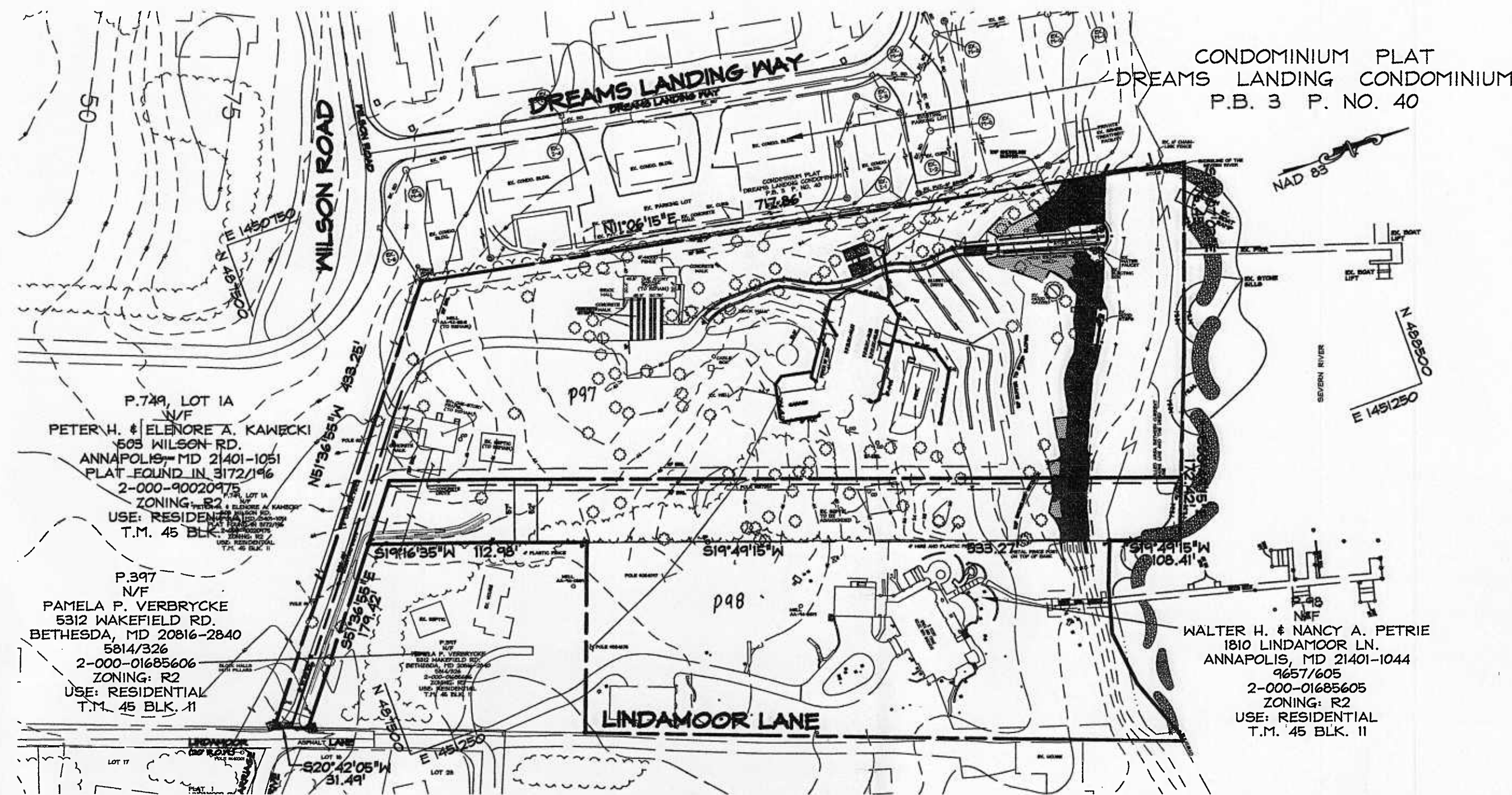
HYATT & PETRIE PROPERTY AN R2 - 2 LOT MINOR SUBDIVISION PLAN



VICINITY MAP
1" = 2,000'

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ANNE ARUNDEL CO. "STANDARD DETAILS AND SPECIFICATIONS", DATED 1988, UNLESS OTHERWISE NOTED.
- UTILITIES: PRIVATE WELL AND PRIVATE SEPTIC.
- THE EXISTING UTILITIES AND OBSTRUCTIONS SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS SATISFACTION PRIOR TO CONSTRUCTION.
- NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SERVICES AND MAINS, AND ANY DAMAGE TO THESE MAINS DUE TO HIS NEGLIGENCE SHALL BE REPAIRED IMMEDIATELY AT HIS EXPENSE.
- THE CONTRACTOR SHALL NOTE THAT IN THE CASE OF A DISCREPANCY BETWEEN THE SCALED AND THE FIGURED DIMENSIONS SHOWN ON THE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES AT LEAST (5) FIVE WORKING DAYS BEFORE STARTING WORK ON THESE DRAWINGS.
 - MISS UTILITY 1-800-257-7777
 - THE ANNE ARUNDEL COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS 410-222-7347
- TAMPED FILL TO BE COMPACTED TO A MINIMUM DENSITY OF 95% IN ACCORDANCE WITH AASHTO DESIGNATION T-180 METHOD-C.
- UNLESS OTHERWISE NOTED, PIPE ELEVATIONS FOR WATER MAINS REFER TO TOP OF PIPE AND SANITARY SEWER ELEVATIONS REFER TO INVERT.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" ISSUED BY THE WATER RESOURCES ADMINISTRATION AND THE SOIL CONSERVATION SERVICE.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS AND SUBSURFACE TEST REPORTS AND SHALL MAKE ALL ADDITIONAL TEST AND INVESTIGATIONS AS HE DEEMS NECESSARY TO DETERMINE QUANTITIES OF WORK AND PHYSICAL CONDITIONS WHICH MAY AFFECT THE WORK.
- WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, MINOR FIELD ADJUSTMENTS CAN AND WILL BE MADE TO INSURE THE CONTROL OF ANY SEDIMENT.
- AT THE END OF EACH WORKING DAY, ALL SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND LEFT IN OPERATIONAL CONDITION.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A.) SEVEN CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND B.) FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ANY SIGNIFICANT CHANGE TO THE GRADING PROPOSED ON THIS PLAN REQUIRES RESUBMITTAL TO ANNE ARUNDEL COUNTY FOR APPROVAL.
- DUST CONTROL WILL BE PROVIDED FOR ALL DISTURBED AREAS. REFER TO "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", PG. 62.01 AND 62.02.
- ANY VARIATION FROM THE SEQUENCE OF CONSTRUCTION STATED ON THIS PLAN REQUIRES THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR AND THE ANNE ARUNDEL SOIL CONSERVATION DISTRICT PRIOR TO THE INITIATION OF THE CHANGE.
- ON ALL SITES WITH DISTURBED AREA IN EXCESS OF 2 ACRES, APPROVAL OF THE DEPARTMENT OF INSPECTIONS AND PERMITS SHALL BE REQUIRED ON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROL MEASURES, BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THE INITIAL APPROVAL BY THE DEPARTMENT OF INSPECTIONS AND PERMITS IS GIVEN.
- APPROVAL SHALL BE REQUESTED ON FINAL STABILIZATION OF ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES BEFORE REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SAFETY PRECAUTIONS AND PROGRAMS. THE CONTRACTOR IS RESPONSIBLE AND MUST ENSURE THAT ALL O.S.H.A./M.O.S.H.A. RULES AND REGULATIONS ARE BEING ADHERED TO DURING CONSTRUCTION.
- GRADING MAY NOT OCCUR ON SLOPES OF 15% OR MORE OR WITHIN 50 FEET OF THE TOP OF THE SLOPE, WITHOUT THE APPROVAL OF THE DEPT. OF PLANNING AND ZONING.
- BOUNDARY AND TOPOGRAPHIC SURVEY WAS PERFORMED BY CHARLES P. JOHNSON & ASSOC., INC. ON DEC. 2004.
- COORDINATES SHOWN HEREON ARE MARYLAND STATE PLANE COORDINATES (NAD83/91 & NAVD83) AND DERIVED FROM GPS AND CONVENTIONAL OBSERVATIONS USING NATIONAL GEODETIC SURVEY CORS STATIONS GAIT, ANPI, AND RED1.



LOCATION MAP
SCALE: 1" = 100'

GENERAL NOTES

- TITLE REFERENCE: P. 97 - 15551/0281
P. 98 - 9657/605
- TAX ACCOUNT NO: P. 97 - 2-00008846950
P. 98 - 2-00001685605
- ZONING: EXISTING - R2
PROPOSED - R2
- CRITICAL AREA DESIGNATION: LDA
(THIS SITE IS ENTIRELY WITHIN THE LDA CRITICAL AREA ZONE.)
- EXISTING USE: RESIDENTIAL
- PROPOSED USE: RESIDENTIAL
- UTILITIES: PRIVATE WELL AND SEPTIC
- UTILITIES LOCATION: EXISTING UTILITIES SHOWN ON THIS PLAN WERE TAKEN FROM THE BEST AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY ALL INVERTS PRIOR TO TRENCHING. ALL UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR TO HIS OWN SATISFACTION PRIOR TO THE START OF CONSTRUCTION. ANY UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED IMMEDIATELY AT HIS OWN EXPENSE.
- NO KNOWN SIGNIFICANT HISTORICAL OR CULTURAL RESOURCES EXIST ON THIS SITE.
- THIS SITE IS LOCATED IN ZONES C AND A6 (ELEV. 7') AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP 240008 0034 C, WHICH DOES CONTAIN THE 100 YEAR FLOODPLAIN.
- THERE ARE NO WETLANDS ON THIS SITE.
- THERE ARE NO INTERMITTENT OR PERENNIAL STREAMS ON THIS PROPERTY.
- COORDINATES SHOWN HEREON ARE MARYLAND STATE PLANE COORDINATES (NAD83/91 & NAVD83) AND DERIVED FROM GPS AND CONVENTIONAL OBSERVATIONS USING NATIONAL GEODETIC SURVEY CORS STATIONS GAIT, ANPI, AND RED1.
- STEEP SLOPES EXIST ON THE SITE AS INDICATED ON PLAN VIEW.
- SOIL TYPES FOR THIS SITE ARE AS FOLLOWS:
Aud - ANNAPOLIS-URBAN LAND COMPLEX - HYDROLOGIC SOIL GROUP C, K FACTOR= .24, NOT HYDRIC
CoC - COLLINGTON-WIST COMPLEX, HYDROLOGIC SOIL GROUP B, K FACTOR= .28, NOT HYDRIC
CpD - COLLINGTON-WIST-URBAN LAND COMPLEX, HYDROLOGIC SOIL GROUP B, K FACTOR= .28, NOT HYDRIC
CSF - COLLINGTON, WIST, AND WESTPHALIA SOILS, HYDROLOGIC SOIL GROUP B, K FACTOR= .35, NOT HYDRIC

SITE TABULATIONS

SITE AREA - 315,056 S.F. OR 7.23 AC.
TOTAL LOT AREA - 229,682 S.F. OR 5.13 AC.
ALLOWABLE MINIMUM LOT SIZE - 20,000 S.F.
ALLOWABLE DENSITY (PER R-2 ZONE)
 $315,056 / 20,000 = 15.75$ LOTS
ALLOWABLE DENSITY (PER LDA ZONE)
 $7.23 \text{ AC.} \times 4 = 28.92$ LOTS
PROPOSED DENSITY - 2 LOTS
PROPOSED MINIMUM LOT SIZE - 133,914 S.F. OR 3.07 AC.
AVERAGE LOT SIZE - 157,528 S.F.
ZONING - R2
CRITICAL AREA - LDA
BUILDING SETBACKS, (R2 ZONING):
FRONT - 100' SHORELINE SETBACK
OR 50' STEEP SLOPE BUFFER
SIDE: 7 / 20
REAR: 25'
MINIMUM WIDTH @ FRONT B.R.L. - 80'
ABUTTING MAJOR ARTERIAL ROADWAY - 40'
ALLOWABLE COVERAGE PER STRUCTURE = 30% OF LOT AREA
REQUIRED RECREATION AREA: 2 LOTS X 1,000 SQ.FT. = 2,000 SQ.FT.
PROPOSED RECREATION AREA = 0 SQ.FT. (SEE MODIFICATION NOTE)
REQUIRED ACTIVE RECREATION AREA: 2,000 SQ.FT. X 75% = 1,500 SQ.FT.
PROPOSED ACTIVE RECREATION AREA = 0 SQ.FT. (SEE MODIFICATION NOTE)
REQUIRED OPEN SPACE: 315,056 X 30% = 94,517 SQ.FT.
PROPOSED OPEN SPACE AREA = 0 SQ.FT. (SEE MODIFICATION NOTE)

IMPERVIOUS AREA CALCULATIONS FOR CRITICAL AREA PORTION OF SITE

PARCEL #	PARCEL SIZE	EXISTING IMPERVIOUS	EX. IMPERVIOUS TO BE REMOVED	EX. IMPERVIOUS TO REMAIN	PROPOSED COVERAGE	TOTAL COVERAGE	MAXIMUM IMPERVIOUS COVERAGE PERMITTED
TOTAL SITE	315,056 S.F.	39,186 S.F.	0 S.F.	39,186 S.F.	0 S.F.	39,186 S.F. (12.4%)	47,258 S.F. (15%)
97	181,142 S.F.	23,589 S.F.	0 S.F.	23,589 S.F.	0 S.F.	23,589 S.F. (13.0%)	27,171 S.F. (15%)
98	133,914 S.F.	19,351 S.F.	0 S.F.	19,351 S.F.	0 S.F.	19,351 S.F. (14.5%)	20,087 S.F. (15%)

WOODLAND CLEARING CALCULATIONS

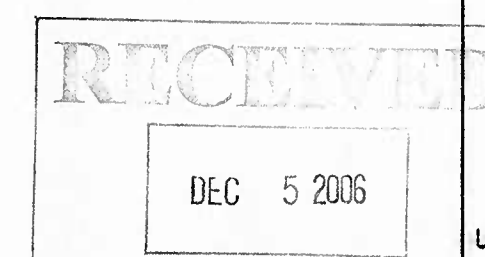
PARCEL #	PARCEL SIZE	EX. WOODLAND WITHIN LOT	AFFORESTATION REQ. (15%)	WOODLAND TO BE REMOVED
TOTAL SITE	315,056 S.F.	34,986 S.F. (11%)	47,258 S.F.	0
97	181,142 S.F.	24,316 S.F. (13%)	27,171 S.F.	0
98	133,914 S.F.	10,670 S.F. (8%)	20,087 S.F.	0

MODIFICATION NOTE

MODIFICATION # 9415 TO WAIVE RECREATION AREA AND OPEN SPACE REQUIREMENTS WAS GRANTED BY THE OFFICE OF PLANNING & ZONING ON AUGUST 23, 2006 WITH THE FOLLOWING CONDITION:
- A \$1,000.00 RECREATION FEE BE PAID PRIOR TO FINAL PLAT APPROVAL

SHEET INDEX

- SHEET 1 - MINOR SUBDIVISION TITLE SHEET
- SHEET 2 - SITE AND GRADING PLAN
- SHEET 3 - EROSION AND SEDIMENT CONTROL PLAN
- SHEET 4 - EROSION AND SEDIMENT CONTROL DETAILS
- SHEET 5 - SWM PROFILE, SPECS. AND NOTES



Anne Arundel Soil Conservation District
Sediment and Erosion Control Approval

District Official _____ Date _____

AASCD # _____ SMALL POND # _____

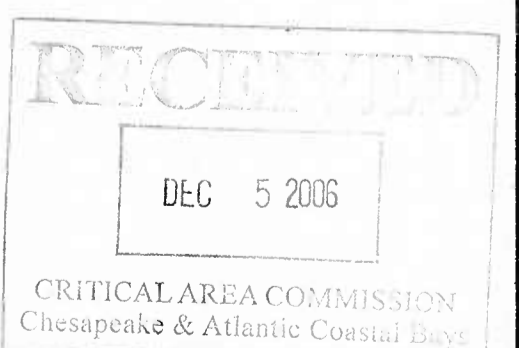
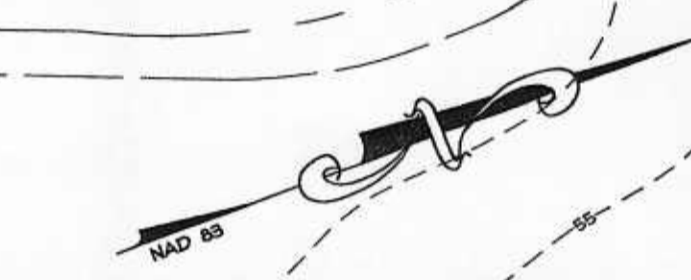
Reviewed for Technical Adequacy by
USDA, Natural Resources Conservation Service

MS # 2006-026

OWNER/DEVELOPER ALAN AND SHARON HYATT 1414 WEST STREET ANNAPOLIS, MD 21401 (410) 266-0626	NO.	REVISIONS	APP'D BY	DATE	 43 OLD SOLOMONS ISLAND ROAD SUITE 201 ANNAPOLIS, MARYLAND 21401 TELEPHONE (410) 266-5599 FAX (410) 266-3871	© 2005 Sigma Engineering, Inc. These drawings are the property of the Sigma Engineering, Inc. Unauthorized reproduction for any purpose is an infringement upon copyright laws. Violators will be subject to prosecution to the fullest extent of the law.	SCALE: AS SHOWN	MINOR SUBDIVISION TITLE SHEET
							DATE: 11-15-06	HYATT & PETRIE PROPERTY AN R2 - 2 LOT MINOR SUBDIVISION 1810 & 1910 LINDAMOOD LANE TAX MAP: 45 BLOCK-11 PARCELS: 97 & 98 2ND ASSESSMENT DISTRICT ANNE ARUNDEL COUNTY, MARYLAND

LEGEND

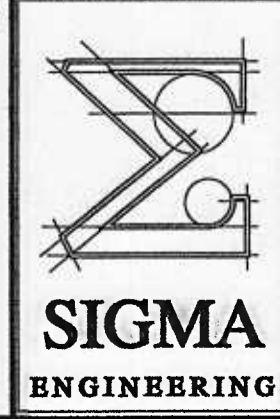
EXISTING GROUND	---	-28
PROPOSED GRADE	---	42
EXISTING TREE LINE	---	
EXISTING SPOT ELEVATION	+	40.0
PROPOSED SPOT ELEVATION	+	40.2
25% SLOPES OR GREATER	---	
5% STEEP SLOPES	---	
50' BUFFER TO STEEP SLOPES	---	
15-25% SLOPES	---	
CRITICAL AREA LIMITS	---	
EXISTING EDGE OF PAVEMENT	---	
FEMA FLOODPLAIN	---	
SOILS TYPE	---	
PROPOSED SD ROOF LEADER	---	
PROPOSED STORM DRAINS	---	
PROPOSED BUILDING	---	
EXISTING BUILDING	---	
PROPOSED PAVING	---	
EXISTING SEWER	---	



OWNER/DEVELOPER

ALAN AND SHARON HYATT
1414 WEST STREET
ANNAPOLIS, MD 21401
(410) 266-0626

NO.	REVISIONS	APP'D BY	DATE



43 OLD SOLOMONS ISLAND ROAD
SUITE 201
ANNAPOLIS, MARYLAND 21401
TELEPHONE (410) 266-5599
FAX (410) 266-3871

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SCALE: AS SHOWN
DATE: 11-15-06
DRAWN BY: RCT
DESIGNED BY: VNH
CHECKED BY: VNH
JOB NO. 04-75
SHEET 2 OF 2

SITE PLAN
HYATT & PETRIE PROPERTY AN R2 - 2 LOT MINOR SUBDIVISION
1810 & 1910 LINDAMOOD LANE TAX MAP: 45 BLOCK: 11 PARCELS: 97 & 98 2ND ASSESSMENT DISTRICT ANNE ARUNDEL COUNTY, MARYLAND
X:\04-75\DIVISION\GRADE-SHT2.DWG