

AA 366-06  
SUB

Muziks Mooring  
06-025

MSA-S-1829-5447

CH  
Comment  
7/10/06

CH  
Comment  
of 1/20/06

CH  
Comment  
7/2/06

AN  
Comment  
3/28/07

Martin O'Malley  
Governor

Anthony G. Brown  
Lt. Governor



Margaret G. McHale  
Chair

Ren Serey  
Executive Director

STATE OF MARYLAND  
CRITICAL AREA COMMISSION  
CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100, Annapolis, Maryland 21401  
(410) 260-3460 Fax: (410) 974-5338  
[www.dnr.state.md.us/criticalarea/](http://www.dnr.state.md.us/criticalarea/)

November 8, 2007

Mr. Jeff Torney  
Anne Arundel County  
Office of Planning and Zoning  
2664 Riva Road, MS 6303  
Annapolis, MD 21401

Re: Muziks Mooring  
MS 06-025

Dear Mr. Torney:

Thank you for forwarding the above referenced revised subdivision application. The application is for the subdivision of one residential lot with an existing house into three residential lots with construction of two new houses. It appears that the applicant has addressed this office's previous comments from my July 6, 2007 letter and I have no further comments on this project.

Thank you for the opportunity to comment. Please telephone me if you have any questions at (410) 260-3481.

Sincerely,

A handwritten signature in black ink, appearing to read "AW", written over a horizontal line.

Amber Widmayer  
Natural Resources Planner

cc: AA 366-06



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March 28, 2007

Mr. Jeff Torney  
Anne Arundel County  
Office of Planning and Zoning  
2664 Riva Road, MS 6301  
Annapolis, MD 21401

Re: Muziks Mooring  
MS 06-025

Dear Mr. Torney:

Thank you for forwarding the above referenced subdivision application. The application is for the subdivision of one residential lot with an existing house into three residential lots with construction of two new houses. It appears that the applicant has addressed this office's previous comments from Lisa Hoerger's December 4, 2006 letter. I have outlined my remaining comments below.

- 1) The required reforestation calculations are incorrect. The applicant proposes to clear 9,428 square feet of forest, which is 30% of the site's existing forest. When the proposed clearing is more than 20% of a site's existing forested area, the applicant must provide reforestation at a rate of 1:1.5. Therefore, 14,142 square feet of reforestation is required here.
- 2) We note that the applicant has included a notation on the plat and plan that Buffer plantings will be shown on a plan at the grading permit stage. We request that the applicant add the following information to this notation:
  - how much of the total required reforestation will be provided in the Buffer
  - if this amount is less than the total required reforestation, an explanation for why it is not possible to do all of the required reforestation in the Buffer and a description of where the rest of the required reforestation will be done
  - that the reforested areas will be in a conservation easement

Mr. Jeff Torney  
March 28, 2007  
Page Two

- 3) It should be noted on the plat and plan that the existing impervious surface on proposed lot 2 is the maximum amount of impervious surface allowed. This will provide notice to the current and future property owners that no requests for additional impervious surface will be approved in the future. It is this office's position that future disturbance to newly created lots should not require variances to the County's Critical Area Program.

Thank you for the opportunity to comment. Please telephone me if you have any questions at (410) 260-3481.

Sincerely,



Amber Widmayer  
Natural Resources Planner

cc: AA 366-06  
Tom Burke, Anne Arundel County

Martin O'Malley  
Governor

Anthony G. Brown  
Lt. Governor



Margaret G. McHale  
Chair

Ren Serey  
Executive Director

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July 6, 2007

Mr. Jeff Torney  
Anne Arundel County  
Office of Planning and Zoning  
2664 Riva Road, MS 6301  
Annapolis, MD 21401

Re: Muziks Mooring  
MS 06-025

Dear Mr. Torney:

Thank you for forwarding the above referenced subdivision application. The application is for the subdivision of one residential lot with an existing house into three residential lots with construction of two new houses. It appears that the applicant has addressed most of this office's previous comments from my March 28, 2007 letter. I have provided my remaining comment below.

1. We note that the applicant will be providing the required 14,142 square feet of plantings on site and that these reforested areas will be put in a conservation easement. However, it is unclear why more of the plantings can not be located in the Buffer. Under Anne Arundel County Code §17-8-602(f), reforestation and afforestation plantings shall be established first within the 100-foot Buffer, if feasible. Please have the applicant show more of the required replanting in the Buffer, or provide an explanation for why this is not feasible.

Thank you for the opportunity to comment. Please telephone me if you have any questions at (410) 260-3464.

Sincerely,

A handwritten signature in black ink, appearing to read "Amber Widmayer".

Amber Widmayer  
Natural Resources Planner

cc: AA 366-06

Robert L. Ehrlich, Jr.  
Governor

Michael S. Steele  
Lt. Governor



Martin G. Madden  
Chairman

Ren Serey  
Executive Director

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December 4, 2006

Mr. Gary Maragos  
Anne Arundel County  
Office of Planning and Zoning  
2664 Riva Road, MS 6305  
Annapolis, Maryland 21401

Re: Muziks Mooring  
MS 06-025

Dear Mr. Maragos:

This office has received a resubmittal for the above-referenced subdivision request. The applicants have responded to my last letter dated September 26, 2006. I have outlined my remaining comment below.

- As stated in my last two comment letters, because this is a newly created lot, the 100-foot Buffer must be established in native vegetation (see Article 17-8-303). We recommend this be a plat note (we see it has been included as a note on the plan), and this area of planting be shown on the plat and plan.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3478 if you have any questions.

Sincerely,

A handwritten signature in cursive script that reads "Lisa A. Hoerger".

Lisa A. Hoerger, Chief  
Project Evaluation Division

cc: AA 366-06

Robert L. Ehrlich, Jr.  
*Governor*

Michael S. Steele  
*Lt. Governor*



Martin G. Madden  
*Chairman*

Ren Serey  
*Executive Director*

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September 26, 2006

Mr. Steve Callahan  
Anne Arundel County  
Office of Planning and Zoning  
2664 Riva Road, MS 6305  
Annapolis, Maryland 21401

Re: Muziks Mooring  
MS 06-025

Dear Mr. Callahan:

This office has received a resubmittal for the above-referenced subdivision request. The applicants have responded to my last letter dated July 10, 2006. I have outlined my comments below.

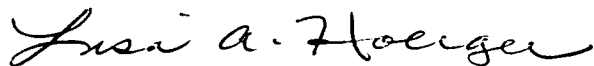
1. The resubmittal does not show the limits of the minimum 100-foot Buffer on the plat and plans; however, the County must ensure the Buffer is based on field delineations. Please ensure this is a field delineated line. In addition, the Buffer line shown on the plat does not appear to be correct just according to the scale provided.
2. The applicant has provided an impervious surface and clearing table on the plat and plan; however, I get slightly different totals based on what appear to be minor addition errors. Please have the applicant recheck these numbers to ensure they are correct.
3. We recommend the required reforestation area to be planted be shown on the plat and plan. We recommend this mitigation be performed within the 100-foot Buffer on the waterfront lots.
4. As stated in my last letter, because this is a newly created lot, the 100-foot Buffer must be established in native vegetation. We recommend this be a plat note, and this area of planting be shown on the plat and plan.

Mr. Callahan  
September 26, 2006  
Page Two

5. We recommend a note on the plat regarding the historic waterfowl concentration areas adjacent to the site that includes the time of year restriction for future water-dependent structures.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3478 if you have any questions.

Sincerely,



Lisa A. Hoerger  
Natural Resources Planner

cc: AA 366-06



Robert L. Ehrlich, Jr.  
*Governor*



Michael S. Steele  
*Lt. Governor*

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July 10, 2006

Mr. Steve Callahan  
Anne Arundel County  
Office of Planning and Zoning  
2664 Riva Road, MS 6305  
Annapolis, Maryland 21401

Re: Muziks Mooring  
MS 06-025

Dear Mr. Callahan:

This office has received the above-referenced subdivision request for review and comment. The applicants propose to subdivide an existing 3.91 acre parcel into three lots. The site is in the Limited Development Area (LDA). I have outlined my comments below.

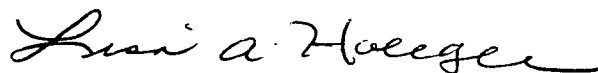
1. We received an 8 ½ x 11 site plan of the proposal. It does not show the limits of the minimum 100-foot Buffer. The final plat and plans must show the limits of the Buffer to ensure the new waterfront lot is in conformance with this setback requirement.
2. It appears the lot that will support the existing dwelling and associated improvements will be over one acre; therefore, it is limited to 15% impervious coverage. This lot however, must not exceed the 15% limit otherwise the subdivision will create a nonconforming lot.
3. The other two lots are similarly restricted by impervious surface limitations. We recommend a table appear on the final plat and plan indicated the allowed, proposed and remaining (if any) impervious area for each lot.
4. The proposed clearing appears to be under 20%, therefore 1:1 mitigation will be required. We recommend this mitigation be performed within the 100-foot Buffer on the waterfront lots.

Mr. Callahan  
July 10, 2006  
Page Two

5. Even if no reforestation mitigation would be required, the newly created waterfront lot must establish the 100-foot Buffer in native vegetation. This includes a mix of canopy trees, understory trees and shrubs.
6. The letter from the Department of Natural Resources indicates this area of the Magothy River supports historic waterfowl concentration areas. Any future piers that may be permitted, may require a time of year restriction.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3478 if you have any questions.

Sincerely,



Lisa A. Hoerger  
Natural Resources Planner

cc: AA 366-06

# Anne Arundel Soil Conservation District

Heritage Office Center

Suite 150, MS #7001, 2662 Riva Road, Annapolis, MD 21401 Telephone (410) 222-7822



December 7, 2004

**Mr. James F. Muzik**  
349 Ferry Point Road  
Pasadena, MD 21122

Dear Mr. Muzik:

**Subject: Shoreline Stabilization and adjacent Slopes at 349 Ferry Point Rd.**

A on site investigation was made on the 6<sup>th</sup> of December in an effort to evaluate a failing retaining wall. In attendance were Jim Stein and Vernon Murray of the District and yourself. The District offers the following observations and recommendations.

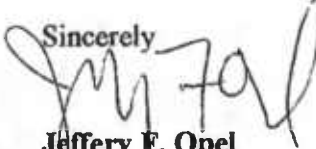
- As evidenced by the adjacent picture an existing and failing retaining wall exists. The District agrees that if some action is not taken an eventual erosion problem will occur. In addition the situation is dangerous.
- There are two possible alternatives that the District feels are acceptable. The options are precedent on weather the tree can be saved. If a forester agrees that the tree can be saved by constructing a wall around it then this option may be pursued. And in addition the remainder of the retaining wall should be removed and graded back to a 2:1 slope. Otherwise if the tree is not likely to survive and you opt to remove it, then the entire wall should be removed and the slope graded back to a 2:1 slope.
- Either way a grading permit will be required through the county. This letter should suffice to waive a variance hearing to grade in the critical areas buffer.
- All disturbances shall be planted with native species as directed by the county.
- The existing bulkhead as per your statement is plus 25 years old and is showing evidence of failure. You can either obtain a replacement permit through the



county or obtain a permit to place stone as approved by the State in front of the bulkhead. We recommend for the stone due to its environmental attributes and longevity.

- Any excess burden from grading back the slope shall be placed on site. You have indicated possible low areas you would like to address.
- This letter may be used a vehicle to obtain necessary approvals as needed.

Questions may be made to the District employees present at the site meeting.

Sincerely  
  
Jeffery F. Opel  
District Manager

Stein/Murray

12/16 Doug Munser 222-7441 - City Forester - stated include the 43" Red Oak on the grading plan  
& see how much disturbance they calculate - His estimate is \$600.00 fee on 1 tree & 3.6 acres

**DETAILS AND SPECIFICATIONS FOR VEGETATIVE ESTABLISHMENT**

- Following initial soil disturbance or disturbance, permanent or temporary stabilization shall be completed within seven calendar days for the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes greater than 3 horizontal to 1 vertical (3:1) and fourteen days for all other disturbed or graded areas on the project site.
- Permanent Seeding
    - A. Soil Tests: Lime and fertilizer will be applied per soil tests results for sites greater than 5 acres. Soil tests will be done at completion of initial grading and/or as recommended by the sediment control inspector. Dates and analyses will be provided to the grading inspector as well as the contractor.
    - 1. Occurrence of acid sulfate soils (grayish black color) will require covering with a minimum of 12 inches of clean soil with 6 inches minimum topsoil or soil. No discharge of material in effect. If needed, soil tests should be done before and after a 6 week incubation period to allow oxidation of sulfates.

**STANDARD AND SPECIFICATIONS FOR TOPSOIL**

**DEFINITION:**  
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

**PURPOSE:**  
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, microsites toxic to plants, and / or unacceptable soil gradation.

**CONDITIONS WHERE GRAVITY APPLIES:**

- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization on the plans.

**CONSTRUCTION AND MATERIALS SPECIFICATIONS**

- Topsoil salvaged from the existing site may be used provided that it meets the standards set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.
- Topsoil Specifications--Soil to be used as topsoil must meet the following:
  - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and soil contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, twigs, or other materials larger than 1/2" in diameter.
  - Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutgrass, plan peas, thistle, or others as specified.

**SCOPES OF WORK**

This plan is intended to provide sediment control during the grading of the lot(s) and the construction of the House(s). Measures have been taken to prevent sediment from leaving the site.

**CONSULTANT'S CERTIFICATION**

The Developer's plan to control all soil erosion is adequate to contain the silt and erosion on the property owned by the Developer. I certify that this plan of erosion and sediment control represents a practical and workable plan based on my personal knowledge of this site, and was prepared in accordance with the requirements of the Anne Arundel Soil Conservation District Plan Submittal Guidelines and the current Maryland Standards and Specifications for Sediment Control. I have reviewed this erosion and sediment control plan as the owner/developer.

Signature: *Michael A. Horn* MD P.E. License #23390 Date: 9/23/07

Name: Michael A. Horn  
Firm Name: ANAREX, Inc.  
Address: 303 Najoles Road  
Suite 114  
Millsville, MD 21108-2506

**ANAREX, INC.**  
CIVIL ENGINEERING SERVICES  
LAND SURVEYING

303 Najoles Road - Suite 114  
Millsville, MD 21108-2512  
Phone: 410-987-6901  
Fax: 410-987-0589  
Email: www.jeff@anarex.com

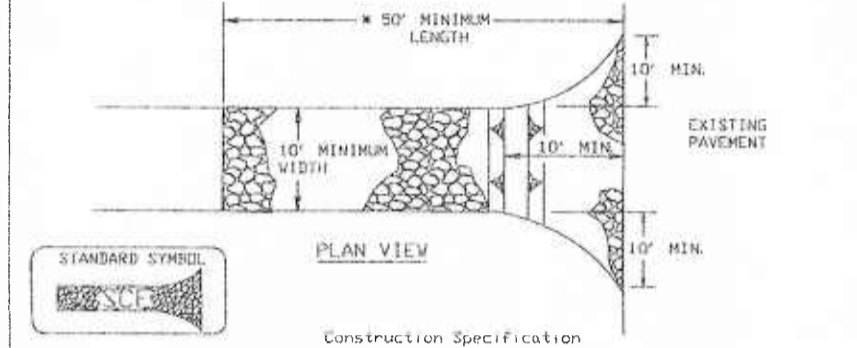
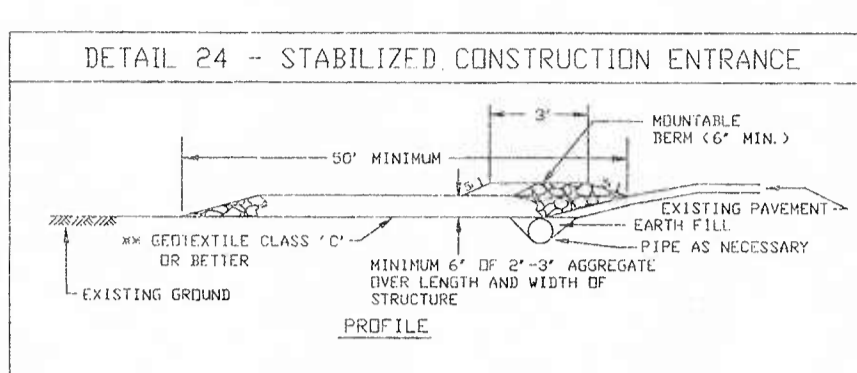
**STANDARD RESPONSIBILITY NOTES**

- (We) certify that:
- All development and construction will be done in accordance with this permit and the provisions of the current Maryland Department of the Environment's approved building program for the control of sediment and erosion before beginning the project.  
Responsible personnel on site:
  - The developer is responsible for the acquisition of all easements, rights and/or rights-of-way that may be required for the sediment and erosion control practices, stormwater management practices and the discharge of stormwater out or across adjacent or downstream properties included in this plan.
  - Initial soil disturbance or re-disturbance, permanent stabilization shall be completed within seven calendar days for all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes greater than 3 horizontal to 1 vertical (3:1) and fourteen days for all other disturbed or graded areas on the project site. Temporary stabilization of the surface of perimeter controls, dikes, swales, ditches, and perimeter slopes may be allowed at the discretion of the sediment control inspector.
  - The sediment control approvals on this plan extend only to areas and practices identified as proposed work.
  - The approval of this plan for sediment and erosion control does not relieve the developer/contractor from complying with any Federal, State, or County requirements pertaining to environmental issues.
  - The developer must request that the Sediment Control Inspector approve work completed in accordance with the approved erosion control plan, the grading or building permit, and the ordinance.
  - All material shall be taken to a site with an approved sediment and erosion control plan.
  - All soil sites with disturbed areas in excess of 2 acres, approval of the sediment and erosion control inspector shall be required on completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. The inspector will perform first phase inspections. Other building or grading inspection approvals may not be authorized until the initial approval by sediment and erosion control inspector is given.
  - Approval shall be requested for final stabilization of all sites with disturbed areas in excess of 2 acres before removal of controls.
  - Dewatering topography must be field verified by responsible personnel to the satisfaction of the sediment control inspector prior to commencing work.

Signature of Developer/Owner Date  
Print Name: JAMES MUZIK  
Title: OWNER  
Affiliation:  
Address:  
Telephone: 410-265-2349

**GENERAL NOTES**

- AGENCY NOTIFICATION  
Anne Arundel County Department of Inspection and Permits (410-222-7780) 48 hours before starting work.
- MAINTENANCE OF SOIL EROSION CONTROL PROCEDURES  
1. All damage to the soil and erosion methods shown on this plan shall be repaired at the end of each days work.  
2. The contractor is to maintain these Sediment and Erosion Control Structures as specified on each detail.  
3. All structures are to be placed on all areas shown and on graded area with slopes greater than 3:1.
- GENERAL EROSION CONTROL PROCEDURES  
1. Soil is to be placed on all areas shown and on graded area with slopes greater than 3:1.  
2. All downspouts are to be connected to the lot of fill slopes.  
3. Splash blocks are to be provided at the end of downspouts not discharging on a paved surface.  
4. All excess material (if any) shall be removed to a site approved by the Anne Arundel Soil Conservation District (410-222-7822).



Lot Number	Total Area	Existing Woodlands	Woodlands Cleared (Proposed)	Impervious Area (Existing)	Maximum Allowable Impervious Area	Proposed Impervious Area	Total Impervious Area
1	43,129 ±	20,494 ±	7,348 ± (35.8%)	0 ±	6,467 ±	6,125 ±	6,125 ±
2	74,052 ±	2,483 ±	0 ±	11,100 ±	11,100 ±	11,100 ±	11,100 ±
3	53,143 ±	8,539 ±	2,080 ± (24.3%)	0 ±	7,980 ±	7,662 ±	7,662 ±
<b>TOTAL</b>	<b>170,319 ±</b>	<b>31,516 ±</b>	<b>9,428 ± (30%)</b>	<b>11,100 ±</b>	<b>25,547 ±</b>	<b>24,887 ±</b>	<b>24,887 ±</b>

Slope Steepness	Maximum Slope Length	Maximum Silt Fence Length
Flatter than 5:1	Unlimited	Unlimited
5:1 to 10:1	185 Feet	1,000 Feet
10:1 to 5:1	100 Feet	750 Feet
5:1 to 3:1	60 Feet	500 Feet
3:1 to 2:1	40 Feet	250 Feet
2:1 and steeper	20 Feet	125 Feet

Symbol	Name	Hydrological Soil Type
TsB	TINTON	A
TsC	TINTON	A

**CRITICAL AREA NOTES**

Total Site Area: 3.91 Ac.  
LDA Designation: 3.91 Ac.  
Restoration Required= 1:1.5= 14,142 Sq. Ft.  
Restoration Provided= 14,159 Sq. Ft.

\* NO ADDITIONAL IMPERVIOUS AREA ALLOWED ON LOT 2.

**SOIL CLASSIFICATION CHART**

**STORMWATER MANAGEMENT NOTE**  
Muziks Mooring

The site consists of existing woods, grass and impervious areas on moderate slopes that drain naturally to the south and directly into the Magothy River. The entire site is on Tinton loamy sand which is in the hydrologic soil group "A". The proposed minor subdivision will create 2 new lots and the existing house will remain on the 3rd lot.

The water quality volume (WQv) is provided by using the rooftop disconnection credit for the two proposed houses.

All recharge volume (Rv) for the entire site is provided by using the rooftop disconnection credit.

The channel protection volume (Cpv) or one year post development discharge is less than 2 cfs, therefore channel protection volume (Cpv) is not required.

The overbank flood protection volume (Op10) is not required since the entire site has a direct discharge into the Magothy River.

The extreme flood protection volume (Qp10) is not required as since the entire site has a direct discharge into the Magothy River.

**SITE ANALYSIS**

- EXISTING ZONING: R-1
- PROPOSED USE: 3 SINGLE FAMILY LOTS
- TAX MAP: 32 BLOCK 6 PARCEL 6B
- PREDOMINANT SOIL TYPE: PqB - PATAPSCO
- TAX ACCOUNT: 03-000-08485810
- DEED REFERENCES: 10212/791
- SETBACKS: (R-1) FRONT = 40'  
SIDE = 15'  
COMBINED = 40'  
REAR = 35'
- PRIVATE WATER AND PRIVATE SEWER.
- FLOOD PLAINS DOES NOT EXIST ON SITE
- THIS SITE IS 100% WOODED.
- SITE BREAKDOWN:  
A: TOTAL SITE AREA: 3.91 AC.  
B: TOTAL LOT AREA: 3.91 AC.
- RECREATION AREA REQUIRED = 2,000 SF. (1 EXISTING LOT)
- RECREATION AREA PROVIDED = 0 SF.  
ACTIVE RECREATION REQUIRED = 1,500 SF.  
ACTIVE RECREATION PROVIDED = 0 SF.
- WETLANDS DO NOT EXIST ON THIS SITE.
- ANNE ARUNDEL TOPO 1-13
- STORMWATER MANAGEMENT IS BEING PROVIDED ON SITE.
- OWNERS & DEVELOPER: JAMES MUZIK & LINDA MUZIK  
319 N. FERRY POINT ROAD  
FASADENA, MD. 21122

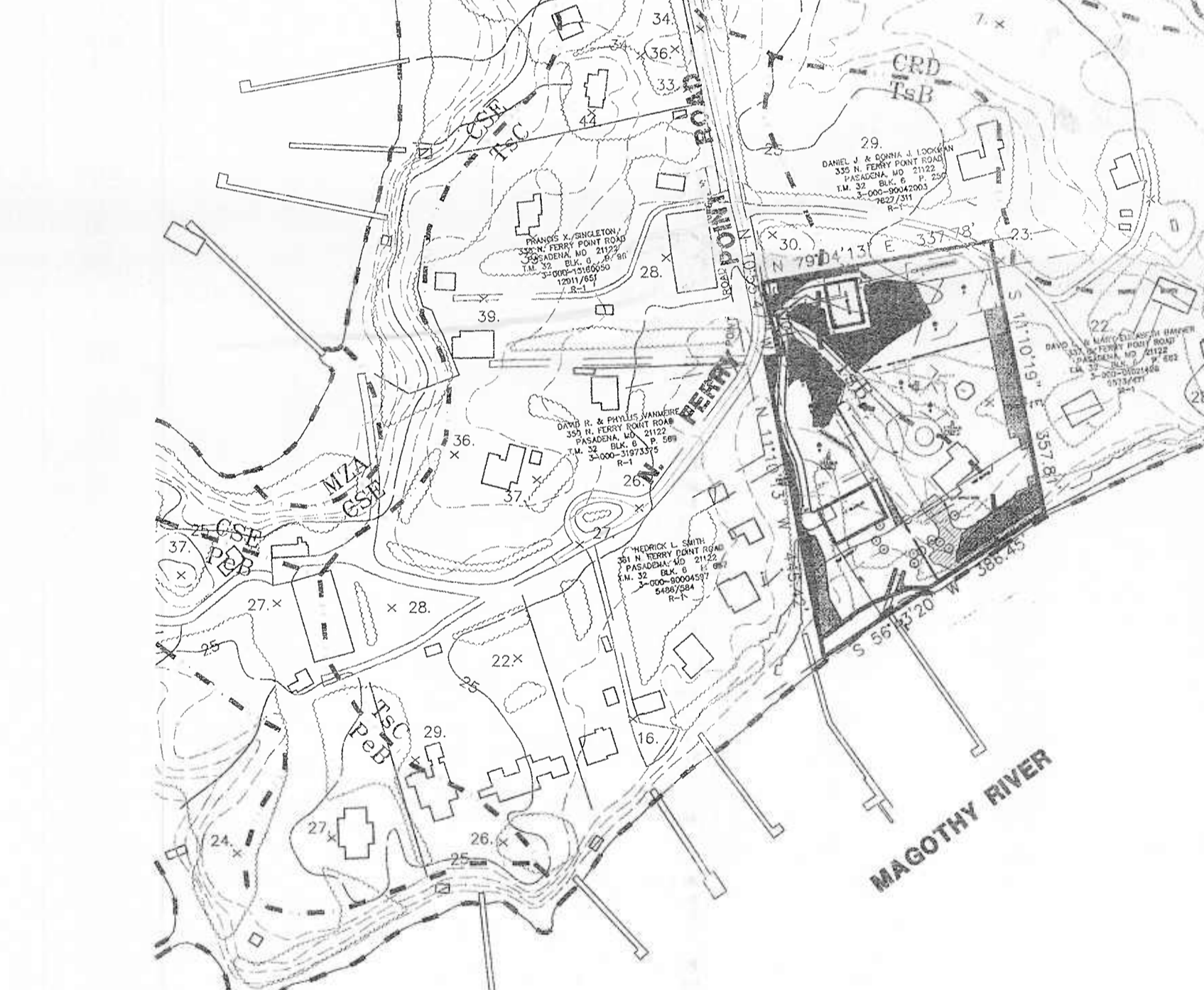
PERC.	TEST	RESULTS	CHART	PERC #T02035548	WATER TABLE
1	P	1	1	1	NO @ 15
2	P	1	5	1	NO @ 14
3	P	1	1	1	NO @ 14
4	P	1	1	1	NO @ 11
5	P	1	1	1	NO @ 11
6	P	1	1	1	NO @ 12
7	P	2	1	1	10-10 CAVING SAND
8	P	2	2	2	0-8 CAVING SAND
9	P	2	2	2	H2O @ 8
					H2O @ 9

**STORMWATER MANAGEMENT SUMMARY TABLE**

Minimum Sizing Criteria	Symbol	Drainage Area	Volume Required (cubic-feet)	Volume Req. After Credit (cubic-feet)	Volume Provided (cubic-feet)	SWM Practice	Notes
Water Quality Volume (WQv)		4.0 Ac.	1,937	0	0	Rooftop Disconnect	
Recharge Volume (Rv)		4.0 Ac.	1,403	0	0	Rooftop Disconnect	
Channel Protection Volume (CvP)		4.0 Ac.	0	0	0	0.1 < 2 cfs.	
Overbank Flood Protection (Op10)		Na	Na	Na	Na		Direct discharge into the Magothy River
Extreme Flood Volume (Qf)		Na	Na	Na	Na		Direct discharge into the Magothy River

**GENERAL NOTES**

- Modification # 9041 to pay fee in lieu of providing Open Space/Recreation Area was approved by the Anne Arundel County Office of Planning & Zoning on 10/15/07.
- Fee-in-lieu of Open Space/Recreation Area was paid by GC, MD.
- The open waters that are adjacent to or part of this site are known historic waterfowl concentration area. If there is construction of any water-dependent facilities, it should not occur during the October 15 to March 31 wintering period.
- The required planting per Article 17-B-303 is to be established at Grading Permit, as shown on the approved Final Development Plan on file with the Office of Planning and Zoning. All reforested areas will be required to be within a conservation Easement.



**INDEX OF SHEETS**

SHEET 1 OF 3 LOCATION, D.A. & VICINITY MAPS & GENERAL NOTES  
SHEET 2 OF 3 EX. & PROP. DRAINAGE AREA MAPS  
SHEET 3 OF 3 PLAN VIEW

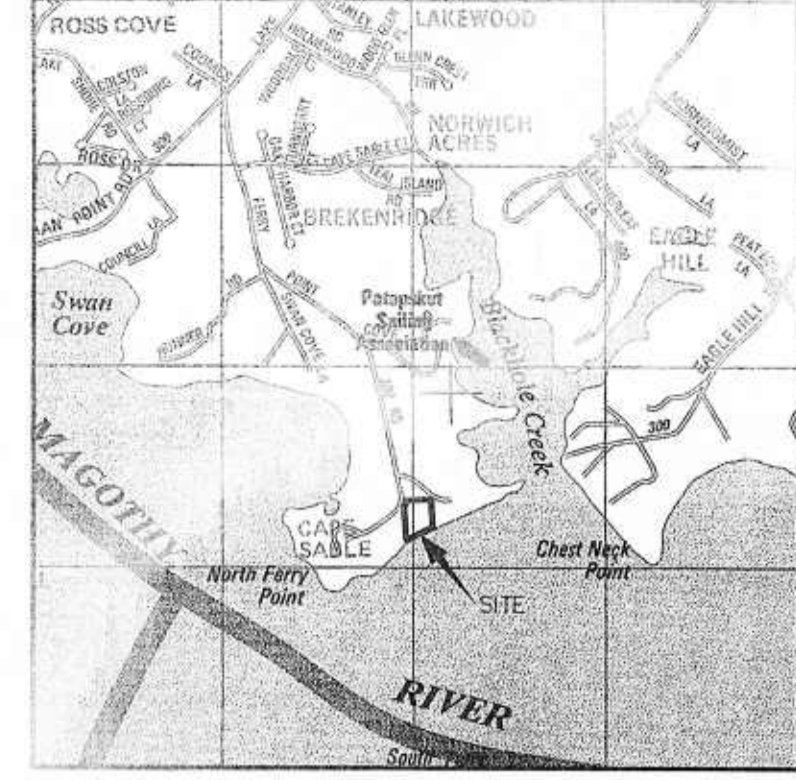
**CRITICAL AREA COMMISSION**  
Chesapeake & Atlantic Coastal Bays

**SHEET 1 of 3**  
**FINAL DEVELOPMENT PLAN**  
MUZIKS MOORING

3 SINGLE FAMILY LOTS  
MINOR SUBDIVISION NO: 06-025

THIRD DISTRICT ANNE ARUNDEL COUNTY, MARYLAND 21122  
SCALE: AS SHOWN  
TAX MAP 32 BLOCK 6 PARCEL 6B1

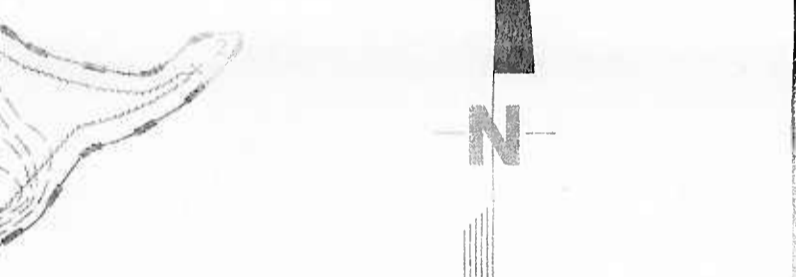
ZONING: R-1  
AREA TABULATIONS  
3 LOTS 3.91Ac.



**VICINITY MAP**  
SCALE: 1" = 200'  
Copyright ADC The Map People  
Permitted Use Number 20403131

**LEGEND**

- 152 --- Existing Contours
- 152 --- Proposed Contours
- - - - - Existing Free Line
- - - - - Soils Line

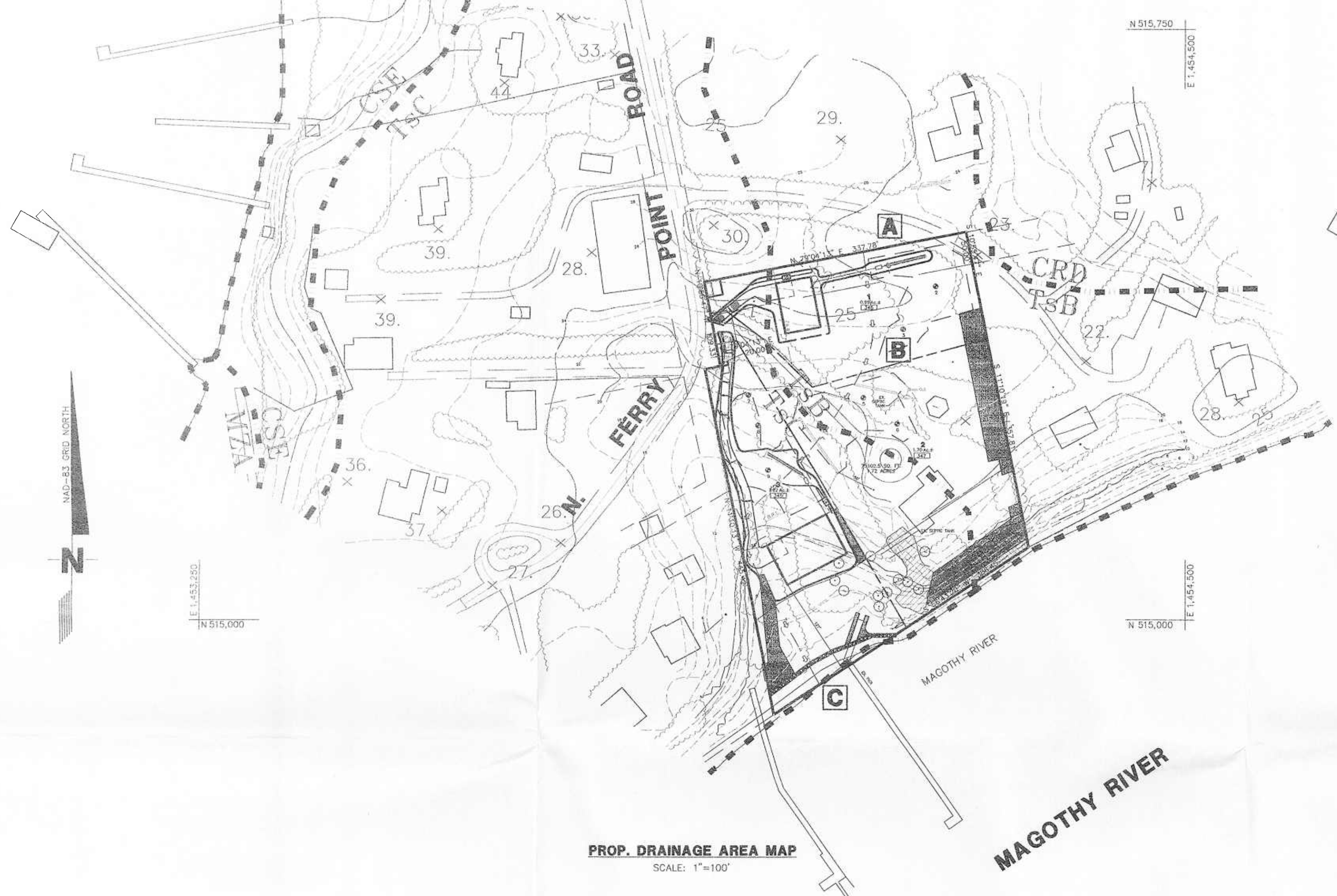


MS 06-0025

OCT 5 2007

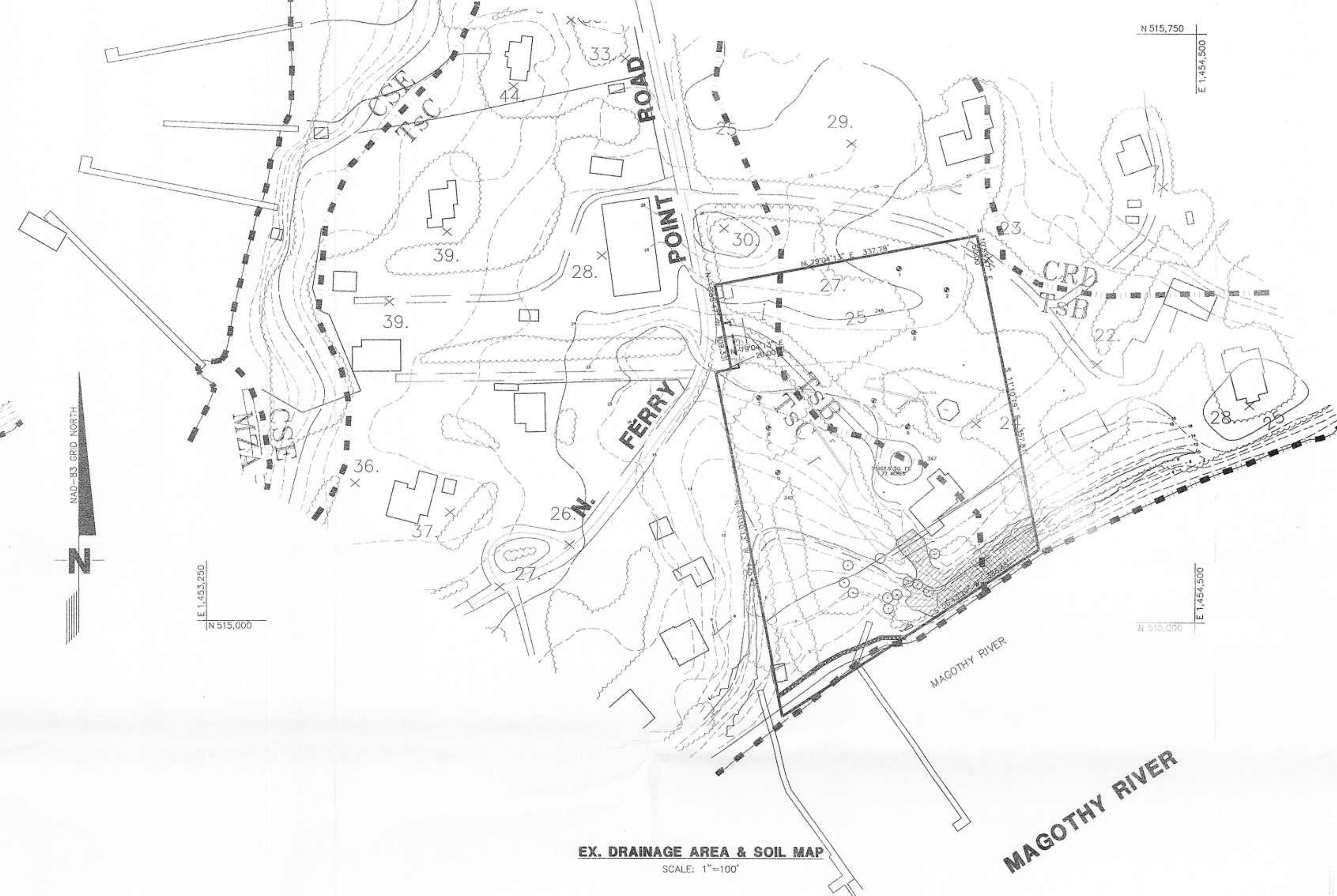
CRITICAL AREA COMMISSION  
Chesapeake & Atlantic Coastal Bays

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**PROP. DRAINAGE AREA MAP**  
SCALE: 1"=100'

Cpv D.A. = 3.91 Ac.  
 CN = 57  
 Tc = 0.34 hr.  
 Q1 = 0.1 CFS  
 Tc: A-B: 100' SHEET FLOW @ 1.0%  
 B-C: 475' SHALLOW CONC. FLOW @ 5.0%



**EX. DRAINAGE AREA & SOIL MAP**  
SCALE: 1"=100'

**SOIL CLASSIFICATION CHART**

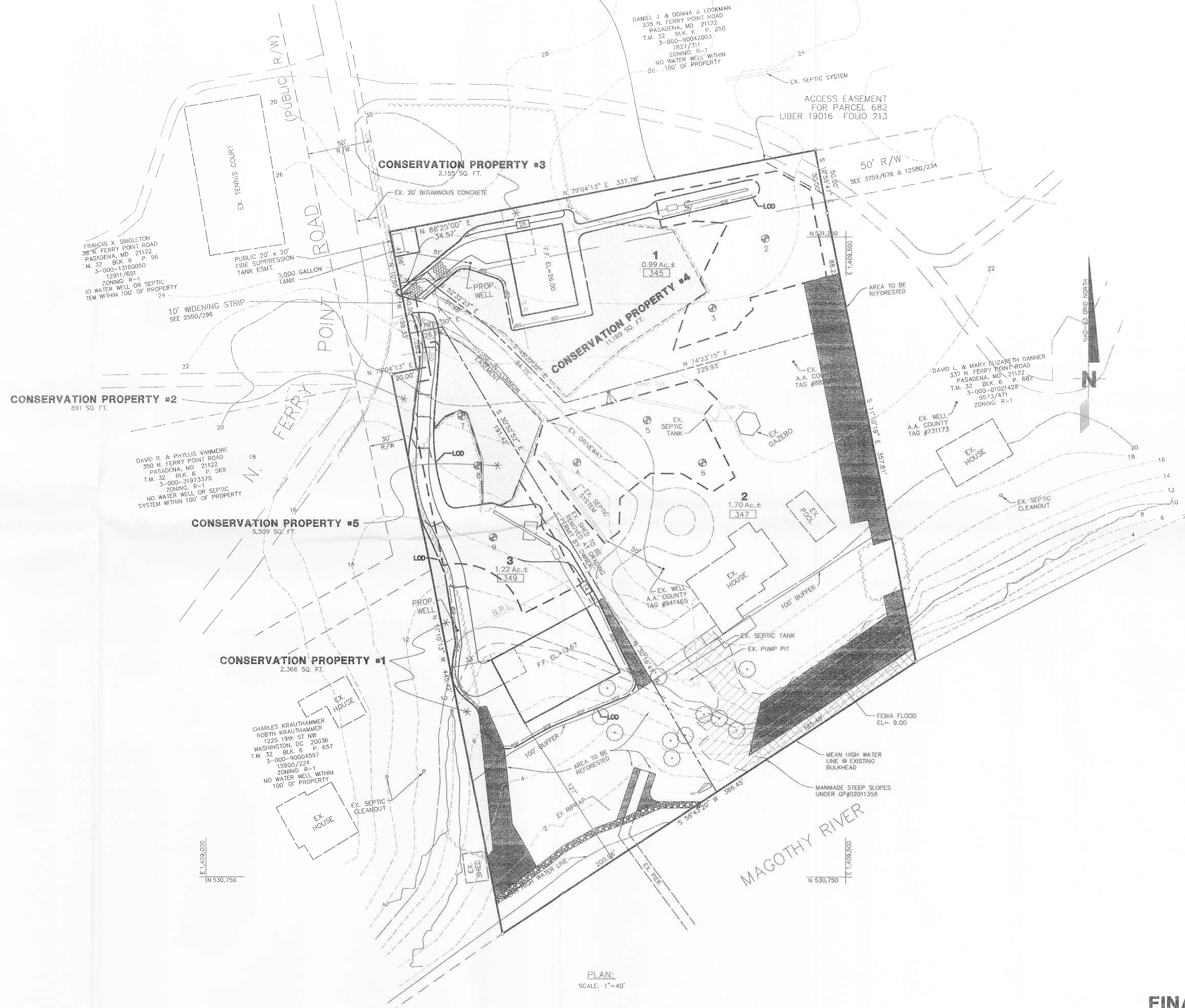
SYMBOL	NAME	HYDROLOGICAL SOIL TYPE
T&B	TINTON	A
T&c	TINTON	A

**ANAREX, INC**  
 CIVIL ENGINEERING SERVICES  
 LAND SURVEYING  
 303 Nujoles Road - Suite 114  
 Millersville, MD 21108-2512  
 Phone: 410-987-6901  
 Fax: 410-987-0589  
 Email: www.jef@anarex.com



**SHEET 2 of 3**  
**FINAL DEVELOPMENT PLAN**  
**MUZIKS MOORING**  
 3 SINGLE FAMILY LOTS  
 MINOR SUBDIVISION NO.: 06-025  
 THIRD DISTRICT ANNE ARUNDEL COUNTY, MARYLAND 21122  
 SCALE: AS SHOWN SEPTEMBER, 2007  
 TAX MAP 32 BLOCK 6 PARCEL 681

EXTINGUISHED 50' R/W DONE BY 12580/234 ON SEPT. 14, 2002.  
 PREVIOUSLY ESTABLISHED R/W THROUGH PARCEL 250  
 ESTABLISHED BY 3759/676 ON JUNE 29, 1984 AND EASEMENT  
 AGREEMENT THROUGH PARCEL 681, 19016/213 ON MARCH 8, 2007  
 FOR INGRESS AND EGRESS FOR PARCEL 682 AND PARCEL 18.



**LEGEND**

- - - - - Existing Contours
- [---] Proposed Contours
- - - - - Existing Tree Line
- - - - - Limit of Disturbance
- - - - - Reinforced Silt Fence
- [---] Stabilized Construction Entrance (S.C.E.)
- WELL
- [349] ADDRESS
- [---] 15-25% SLOPES
- [---] +25% SLOPES
- [---] AREA TO BE REFORESTED
- [---] CONSERVATION PROPERTY

PLAN:  
 SCALE: 1"=40'

**SHEET 3 of 3**  
**FINAL DEVELOPMENT PLAN**  
**MUZIK'S MOORING**  
 3 SINGLE FAMILY LOTS  
 MINOR SUBDIVISION NO.: 06-025  
 THIRD DISTRICT ANNE ARUNDEL COUNTY, MARYLAND 21122  
 SCALE: AS SHOWN SEPTEMBER, 2007  
 TAX MAP 32 BLOCK 6 PARCEL 681

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