AA 366-06 SUB

Muziks Mooring 06-025

MSA-5-1829-5447

Chy converted AM Communt

Martin O'Malley

Governor

Anthony G. Brown Lt. Governor



'Margaret G. McHale

Ren Serey
Executive Director

STATE OF MARYLAND CRITICAL AREA COMMISSION CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100, Annapolis, Maryland 21401 (410) 260-3460 Fax: (410) 974-5338 www.dnr.state.md.us/criticalarea/

November 8, 2007

Mr. Jeff Torney Anne Arundel County Office of Planning and Zoning 2664 Riva Road, MS 6303 Annapolis, MD 21401

Re:

Muziks Mooring

MS 06-025

Dear Mr. Torney:

Thank you for forwarding the above referenced revised subdivision application. The application is for the subdivision of one residential lot with an existing house into three residential lots with construction of two new houses. It appears that the applicant has addressed this office's previous comments from my July 6, 2007 letter and I have no further comments on this project.

Thank you for the opportunity to comment. Please telephone me if you have any questions at (410) 260-3481.

Sincerely,

Amber Widmayer

Natural Resources Planner

cc:

AA 366-06



STATE OF MARYLAND CRITICAL AREA COMMISSION CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100, Annapolis, Maryland 21401 (410) 260-3460 Fax: (410) 974-5338 www.dnr.state.md.us/criticalarea/

March 28, 2007

Mr. Jeff Torney Anne Arundel County Office of Planning and Zoning 2664 Riva Road, MS 6301 Annapolis, MD 21401

Re: Muziks Mooring

MS 06-025

Dear Mr. Torney:

Thank you for forwarding the above referenced subdivision application. The application is for the subdivision of one residential lot with an existing house into three residential lots with construction of two new houses. It appears that the applicant has addressed this office's previous comments from Lisa Hoerger's December 4, 2006 letter. I have outlined my remaining comments below.

- 1) The required reforestation calculations are incorrect. The applicant proposes to clear 9,428 square feet of forest, which is 30% of the site's existing forest. When the proposed clearing is more than 20% of a site's existing forested area, the applicant must provide reforestation at a rate of 1:1.5. Therefore, 14,142 square feet of reforestation is required here.
- 2) We note that the applicant has included a notation on the plat and plan that Buffer plantings will be shown on a plan at the grading permit stage. We request that the applicant add the following information to this notation:
 - how much of the total required reforestation will be provided in the Buffer
 - if this amount is less than the total required reforestation, an explanation for why it is not possible to do all of the required reforestation in the Buffer and a description of where the rest of the required reforestation will be done
 - that the reforested areas will be in a conservation easement

Mr. Jeff Torney March 28, 2007 Page Two

3) It should be noted on the plat and plan that the existing impervious surface on proposed lot 2 is the maximum amount of impervious surface allowed. This will provide notice to the current and future property owners that no requests for additional impervious surface will be approved in the future. It is this office's position that future disturbance to newly created lots should not require variances to the County's Critical Area Program.

Thank you for the opportunity to comment. Please telephone me if you have any questions at (410) 260-3481.

Sincerely,

Amber Widmayer

Natural Resources Planner

cc: AA 366-06

Tom Burke, Anne Arundel County

Anthony G. Brown Lt. Governor



Margaret G. McHale Chair

Ren Serey
Executive Director

STATE OF MARYLAND CRITICAL AREA COMMISSION CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100, Annapolis, Maryland 21401 (410) 260-3460 Fax: (410) 974-5338 www.dnr.state.md.us/criticalarea/

July 6, 2007

Mr. Jeff Torney Anne Arundel County Office of Planning and Zoning 2664 Riva Road, MS 6301 Annapolis, MD 21401

Re: Muziks Mooring

MS 06-025

Dear Mr. Torney:

Thank you for forwarding the above referenced subdivision application. The application is for the subdivision of one residential lot with an existing house into three residential lots with construction of two new houses. It appears that the applicant has addressed most of this office's previous comments from my March 28, 2007 letter. I have provided my remaining comment below.

1. We note that the applicant will be providing the required 14,142 square feet of plantings on site and that these reforested areas will be put in a conservation easement. However, it is unclear why more of the plantings can not be located in the Buffer. Under Anne Arundel County Code §17-8-602(f), reforestation and afforestation plantings shall be established first within the 100-foot Buffer, if feasible. Please have the applicant show more of the required replanting in the Buffer, or provide an explanation for why this is not feasible.

Thank you for the opportunity to comment. Please telephone me if you have any questions at (410) 260-3464.

Sincerely,

Amber Widmayer

Natural Resources Planner

c: AA 366-06

Robert L. Ehrlich, Jr. Governor

Michael S. Steele



Martin G. Madden Chairman

Ren Serey
Executive Director

STATE OF MARYLAND CRITICAL AREA COMMISSION CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100, Annapolis, Maryland 21401 (410) 260-3460 Fax: (410) 974-5338 www.dnr.state.md.us/criticalarea/

December 4, 2006

Mr. Gary Maragos Anne Arundel County Office of Planning and Zoning 2664 Riva Road, MS 6305 Annapolis, Maryland 21401

Re:

Muziks Mooring

MS 06-025

Dear Mr. Maragos:

This office has received a resubmittal for the above-referenced subdivision request. The applicants have responded to my last letter dated September 26, 2006. I have outlined my remaining comment below.

• As stated in my last two comment letters, because this is a newly created lot, the 100-foot Buffer must be established in native vegetation (see Article 17-8-303). We recommend this be a plat note (we see it has been included as a note on the plan), and this area of planting be shown on the plat and plan.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3478 if you have any questions.

Sincerely,

Lisa A. Hoerger, Chief

Project Evaluation Division

Lusia a. Haciga

cc:

AA 366-06

Robert L. Ehrlich, Jr. Governor

Michael S. Steele



Martin G. Madden Chairman

Ren Serey
Executive Director

STATE OF MARYLAND CRITICAL AREA COMMISSION CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100, Annapolis, Maryland 21401 (410) 260-3460 Fax: (410) 974-5338 www.dnr.state.md.us/criticalarea/

September 26, 2006

Mr. Steve Callahan Anne Arundel County Office of Planning and Zoning 2664 Riva Road, MS 6305 Annapolis, Maryland 21401

Re:

Muziks Mooring

MS 06-025

Dear Mr. Callahan:

This office has received a resubmittal for the above-referenced subdivision request. The applicants have responded to my last letter dated July 10, 2006. I have outlined my comments below.

- 1. The resubmittal does not show the limits of the minimum 100-foot Buffer on the plat and plans; however, the County must ensure the Buffer is based on field delineations. Please ensure this is a field delineated line. In addition, the Buffer line shown on the plat does not appear to be correct just according to the scale provided.
- 2. The applicant has provided an impervious surface and clearing table on the plat and plan; however, I get slightly different totals based on what appear to be minor addition errors. Please have the applicant recheck these numbers to ensure they are correct.
- 3. We recommend the required reforestation area to be planted be shown on the plat and plan. We recommend this mitigation be performed within the 100-foot Buffer on the waterfront lots.
- 4. As stated in my last letter, because this is a newly created lot, the 100-foot Buffer must be established in native vegetation. We recommend this be a plat note, and this area of planting be shown on the plat and plan.

Mr. Callahan September 26, 2006 Page Two

5. We recommend a note on the plat regarding the historic waterfowl concentration areas adjacent to the site that includes the time of year restriction for future water-dependent structures.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3478 if you have any questions.

Sincerely,

Lisa A. Hoerger

Natural Resources Planner

Lusi a. Hoerger

cc: AA 366-06

Robert L. Ehrlich, Jr. Governor

Michael S. Steele Lt. Governor



Martin G. Madden Chairman

Ren Serey
Executive Director

STATE OF MARYLAND CRITICAL AREA COMMISSION CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100. Annapolis, Maryland 21401 (410) 260-3460 Fax: (410) 974-5338 www.dnr.state.md.us/criticalarea/

July 10, 2006

Mr. Steve Callahan Anne Arundel County Office of Planning and Zoning 2664 Riva Road, MS 6305 Annapolis, Maryland 21401

Re: Muziks Mooring

MS 06-025

Dear Mr. Callahan:

This office has received the above-referenced subdivision request for review and comment. The applicants propose to subdivide an existing 3.91 acre parcel into three lots. The site is in the Limited Development Area (LDA). I have outlined my comments below.

- 1. We received an 8 ½ x 11 site plan of the proposal. It does not show the limits of the minimum 100-foot Buffer. The final plat and plans must show the limits of the Buffer to ensure the new waterfront lot is in conformance with this setback requirement.
- 2. It appears the lot that will support the existing dwelling and associated improvements will be over one acre; therefore, it is limited to 15% impervious coverage. This lot however, must not exceed the 15% limit otherwise the subdivision will create a nonconforming lot.
- 3. The other two lots are similarly restricted by impervious surface limitations. We recommend a table appear on the final plat and plan indicated the allowed, proposed and remaining (if any) impervious area for each lot.
- 4. The proposed clearing appears to be under 20%, therefore 1:1 mitigation will be required. We recommend this mitigation be performed within the 100-foot Buffer on the waterfront lots.

TTY for the Deaf Annapolis: (410) 974-2609 D.C. Metro: (301) 586-0450

- 5. Even if no reforestation mitigation would be required, the newly created waterfront lot must establish the 100-foot Buffer in native vegetation. This includes a mix of canopy trees, understory trees and shrubs.
- 6. The letter from the Department of Natural Resources indicates this area of the Magothy River supports historic waterfowl concentration areas. Any future piers that may be permitted, may require a time of year restriction.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3478 if you have any questions.

Sincerely,

Lisa A. Hoerger

Natural Resources Planner

Lui a Hoeeger

cc: AA 366-06

Anne Arundel Soil Conservation District



Heritage Office Center
Suite 150, MS #7001, 2662 Riva Road, Annapolis, MD 21401 Telephone (410) 222-7822

December 7, 2004

Mr. James F. Muzik 349 Ferry Point Road Pasadena, MD 21122

Dear Mr. Muzik:

Subject: Shoreline Stabilization and adjacent Slopes at 349 Ferry Point Rd.

A on site investigation was made on the 6th of December in an effort to evaluate a failing retaining wall. In attendance were Jim Stein and Vernon Murray of the District and yourself. The District offers the following observations and recommendations.

- As evidenced by the adjacent picture an existing and failing retaining wall exists. The District agrees that if some action is not taken an eventual erosion problem will occur. In addition the situation is dangerous.
- There are two possible alternatives that the District feels are acceptable. The options are precedent on weather the tree can be saved. If a forester agrees that the tree can be saved by constructing a wall around it
- then this option may be pursued. And in addition the remainder of the retaining wall should be removed and graded back to a 2:1 slope. Otherwise if the tree is not likely to survive and you opt to remove it, then the entire wall should be removed and the slope graded back to a 2:1 slope.
- Either way a grading permit will be required through the county. This letter should suffice to waive a variance hearing to grade in the critical areas buffer.
- All disturbances shall be planted with native species as directed by the county.
- The existing bulkhead as per your statement is plus 25 years old and is showing evidence of failure. You can either obtain a replacement permit through the

District programs and services are offered on a nondiscriminatory basis, without regard to race, color, national origin, religion, sex, age, marital status, or handicap.

- county or obtain a permit to place stone as approved by the State in front of the bulkhead. We recommend for the stone due to its environmental attributes and longevity.
- Any excess burden from grading back the slope shall be placed on site. You have indicated possible low areas you would like to address.
- This letter may be used a vehicle to obtain necessary approvals as needed.

Questions may be made to the District employees present at the site meeting.

IM

Jeffery F. Opel District Manager

Stein/Murray

12/16 Doug Musses 222-7441 - the fruiter - stated unclude the 43" Red Oak on the grading plane of see how much disturbance they colculates. His estimate is \$ 600 mile free on 1 Tree of 3 seelines

Following initial soil disturbance or redisturbance, permonent or temporary stabilization shall be completed within seven colendar days for the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and oll slapes greater than 3 horizontal to 1 vertical (3:1) and fourteen days for all other disturbed or graded areas on the project site.

A. Soil Tosts: Lime and fertilizer will be applied per soil tests results for sites greater than 5 acres. Soil tests will be done of completion of initial rough grading or as recommended by the sediment control inspector. Rates and analyses will be provided to the grading inspector as well as

1. Occurrence of acid sulfate sails (grayish black calor) will require covering with a minimum of 12 inches of clean soil with 6 inches minimum capping of tap soil. No stockpiling of material is allowed. If needed, soil tests should be done before and ofter a 6 week incubation period to allow axidation of sulfates.

The minimum soil conditions required for permanent vegetative establishment

a. Soil pH shall be between 6.0 and 7.0. b. Soluble solts shall be less than 500 parts per million (ppm).

1. Permanent Secding

c. The soil shall contain loss than 40% clay but enough fine grained material (>30% silt plus clay) to provide the capocity to hold a moderate amount of moisture. An exception is if lovegrass or srecia lespedeza is to be plonted, then a sandy soil (<30% silt plus clay) would be acceptable. d. Soil shall cantain 1.5% minimum organic matter by weight. c. Soil must contoin sufficient pore space to permit adequate root penetration.

f. If these canditions cannot be met by soils on site, adding topsoil is required in occordance with Section 21 Standard and Specification for Topsoil or amendaments made as recommended by a certified agronomist. B. Seedbed Preparation: Area to be seeded shall be loose and friable to a

depth of at least 3 inches. The top layer shall be loosened by raking, disking or other acceptable means before seeding occurs. For sites less than 5 acres, apply 100 pounds of dolomitic limestone and 21 pounds of 10-10-10 fertilizer per 1,000 square feet. Harrow or disk time and fertilizer into the soil to a depth of at least 3 inches on slopes flatter

C. Seeding: Apply 5-6 pounds per 1,000 square feet of tall fescue between February 1 and April 30 or between August 15 and October 31. Apply seed uniformly on a moist firm seedbed with a cyclane seeder, cultipacker seeder ar hydrosecder (slurry includes seeds and fertilizer, recommended an steep slopes only). Maximum seed depth should be 1/4 inch in clayey soils and 1/2 inch in sandy soils when using other than the hydroseeder method. Irrigate where necessary to support adequate growth until vegetation is firmly established. If other seed mixes are to be used, select from Table 25, entitled "Permanent Seeding for Low Maintenance Areos" from the current Standards and Specifications for Soil Erasion and Sediment Control. Mixes suitable for this are 1,3 and 5-7. Mixes 5-7 are suitable in non-movable

D. Mulching: Mulch shall be applied to all secded areas immediately after seeding. During the time periods when seeding is not permitted, mulch shall be opplied immediately after groding.

Mulch shall be unrotted, unchapped, small grain straw applied at a rate of 2 tons per acre or 90 pounds per 1,000 square feet (2 bales). If a mulch anchoring tool is used, apply 2.5 tons per acre. Mulch materials shall be relatively free of all kind of weeds and shall be completely free of prohibited noxious weeds. Spread mulch uniformly, mechanically or by hand, to a depth of 1-2 inches.

E. Securing Straw Mulch: Straw mulch shall be secured immediately following mulch application to minimize movement by wind or water. The following methods are permitted:

flat areas where equipment can operate safely.

(i) Use o mutch archaring tool which is designed to punch and onchor mutch into the soil surface to a minimum depth of 2 inches. This is the most effective method for securing mulch, however, it is limited to relatively

(ii) Wood cellulose fiber may be used for encharing straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. If mixed with water, use 50 pounds of wood cellulose fiber per 100 gollons of water.

(iii) Liquid binders may be used. Apply at higher rates at the edges where wind totches mulch, such as in valleys and on crests of slapes. The remainder of the orea should appear uniform after binder opplication. Binders listed in the 1994 Standards and Specification for Soil Erosion and Sediment Cantrol or approved equal shall be applied at rates recommended by the

(iv) Lightweight plastic netting may be used to secure mulch. The netting will be stopled to the ground according to monufacturers recommendations.

Lime: 100 pounds of dolomitic limestone per 1,000 square feet.

Fertilizer: 15 gounds of 10-10-10 per 1,000 square feet. Perennial rye - 0.92 pounds per 1,000 square feet (February 1, through April 30 or August 15 through November 1).

Millet - 0.92 pounds per 1,000 square feet (May 1 through August 15). Mulch: Same as 1 D and E Above.

3. No fills may be placed on frozen ground. All fill to be placed in approximately horizontal layers, each layer having a loose thickness of not more than 8 inches. All fill in roadways and parking areas is to be classified Type 2 as per Anne Arundel County Cado - Article 21, Section 2-308, and compacted to 90% density; compaction to be determined by ASTM D-1557-66T (Modified Proctar). Any fill within the building area is to be campacted to a minimum of 95% as determined by methods previously mentioned. Fills for pond embankments shall be compacted as per MD-378 Construction Specifications. All other fills shall be campacted sufficiently so as to be stable and prevent erosion and

Permanent Sod:

Installation of sod should follow permanent seeding dates. Seedbed preparation for sod shall be as noted in section (B) abovc. Permanent sod is to be tall fescue, state opproved sod; lime and fertilizer per permonent seeding specifiactons ond lightly irrigate soil prior to loying sod. Sed is to be laid on the contour with all ends tightly abbutting. Jaints are to be staggered between rows. Water and roll or tamp sod to unsure positive root contact with the soil. All slopes steeper than 3:1, as shown, are to be permanently sooded or pratected with an approval erasion cantrol netting. Additional watering for established may be required. Sod is not to be installed on fozen ground. Sod shall not be transplonted when moisture content (dry or wet) and/ or extreme temperature may adversely affect its survival. In the absence of adequate rainfall, irrigation should be performed to ensure established of sod.

Mining Operations:

Sediment control plans for mining operations must include the following seeding dates and mixtures: For seeding dates of: February 1 through April 30 and August 15 through October 31, use seed

mixture of tall fescue at the rate of 2 pounds per 1,000 square feet and sericea lespedaza et the minimum rate of 0.5 pounds per 1,000 square feet. 6. Topsoil shall be opplied as per the Standard and Specifications for Tapsoil

and Sediment Control. NOTE: Use of this information does not preclude meeting all af tha requirements of the current Maryland Standards and Specifications for Sail Erasian and Sediment Control. NOTE: Prajects within 4 miles of the BWI Airport will need to adhere to

from the current Maryland Standards and Specifications for Soil Erasian

Maryland Aviation Administration's seeding specifications restrictions.

CONSULTANT'S CERTIFICATION

"The Developer's plan to control silt and erosion is adequate to contain the sitt and erasion on the property covered by the plan. I certify that this plan of erasion and sediment control represents a practical and workable plan based on my personal knawledge of this site, and was prepared in accordance with the requirements of the Anne Arundel Soil Conservation District Plan Submittal Guidelines and the current Maryland Standards and Specifications for rision Control. I have reviewed this erosion and sediment cantrol ples i MD P.E. License #23380 Dat

Name: Michael 5. Werner Firm Name: AMAREX, Inc Address: 303 Najoles Road

Millersville, MD 21108-2506 CIVIL ENGINEERING SERVICES LAND SURVEYING 303 Najoles Road - Suite 114 Millersville, MD 21108-2512 Phone: 410-987-6901

> Fax: 410-987-0589 Email: www.jeff@anarex.com

STANDARD RESPONSIBILITY NOTES

I(Wc) certify that:

1. O. All development and construction will be done in occordance with this sediment and erasian control plan, and further, outhorize the right of entry for periodic on—site evaluation by the Anne Arundel Soil Conservation District Board of Supervisors or their authorized

> Any responsible personnel involved in the construction project will have a certificate of attendance from the Maryland Department of the Environment's approved training program for the control of sediment and erosian befare beginning the project.

Responsible personnel on site:

If applicable, the appropriate enclosure will be constructed and maintained an sediment basin(s) included in this plan. Such structure(s) will be in compliance with Anne Arundel County Code.

The developer is responsible for the acquisition of all eosements, rights and/or rights-of-way that may be required for the sediment and erasion control practices, starmwater management practices and the discharge of stormwater onto or across adjacent or downstreom properties included in

Initial soil disturbance or re-disturbance, permonenet stabilization shall be completed within seven colendar days for all controls, dikes, swoles, ditches, perimeter slopes, aand all slopes greater than 3 horizontal to 1 vertical (3:1) and fourteen days for all other disturbed or graded areas on the project site. Temporary stabilization of the surface of perimeter controls, tikes, swoles, ditches, and perimeter slopes may be allowed at the discretion of the sediment control inspector.

The sediment control approvals on this plan extend only to oreas and practices identified as proposed work.

The approval of this plan for sediment and erosion control does not relieve the developer/consultant from complying with any Federal, State, or County requirements appertaining to environmental issues.

The developer must request that the Seriment Control Inspector approve work completed in accordance with the approval erosion control plan, the greding or building permit,

All material shall be taken to a site with an approved sediment and erasion

On all sites with disturbed areas in excess of 2 acres, opproval of the sediment and erosion control inspector shall be required on completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. The will require first phase inspections. Other building or grading inspection opprovals may not be authorized until the initial approval by sediment and erosion control inspector

Approval shall be requested an final stabilization of all sites with disturbed creos in excess of 2 acres before removal of controls.

Existing topography must be field verified by responsible personnel to the satisfaction of the sediment cantrol inspector prior to commencing work.

Signoture of Developer/Owner Print: Ncme: JAMES MUZIK Title: OWNER Telephone: 410-255-2344

STANDARD AND SPECIFICATIONS FOR TOPSOIL

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Ta pravide a suitable soil medium for vegetative growth. Soils of concern have low maisture content, low nutrient levels, low pH, materials toxic to plants, and / or unacceptable

CONDITIONS WHERE PRACTICE APPLIES:

1. This practice is recommended far sites of 2:1 or flatter slopes where: a. The texture of the exposed subsoil / porent material is not odequate to produce vegetative growth.

The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture c. The original sail to be vegetated contains material taxic to plant The soil is so acidic that treatment with limestone is not feasible.

II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design far adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriete stabilization shown on the plans.

Construction and Materials Specifications

Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsail to be salvaged far a given soil type can be faund in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.

Topsoil Specifications—Soil to be used as topsoil must meet the following:

i. Topsoil shall be a loarn, sandy laorn, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agranomist ar soil scientist and approved by the appropriate approval authority Regardless, tapsail shall not be a mixture of controsting textured subsoils and shall contain less tha 5% by valume of cinders, stanes, slag, coarse fragments, gravel, sticks, reals, trash, or other moterials larger than 1 1/2" in

Topsoil must be free of plants ar plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, paison ivy, thistle, or others as specified.

Alternotive for Permanent Seeding—Instead of applying the full amounts of time and cammercial fertilizer, composted sludge and omendments may be applied as specified below:

Composted Studge Material for use as a sail conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe ammendments and for sites having disturbed areas under 5 acres shall conform to the following a. Camposted sludge shall be supplied by, ar originate from, a person or persons

that ore permitted (of the time of ocquistion of the compost) by the Maryland Department of the Environment under COMAR 26.04.06. b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent

phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0. If compost does not

meet these regiurements, the oppropriate constituents must be added to meet the

requirements prior to use. c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet. iv. Composted sludge shall be amended with a potassium fertilizer applied at the rate of

4 lb/ 1,000 square feet, and 1/3 the normal lime application rate. Reference: Cuideline Specifications, Soil Preparation and Sadding. MD-VA, Pub. #1 Cooperative Extension Service, University of Maryland and Virginia

Polytechnic Institutes. Revised 1973

SCOPE OF WORK

This plan is intended to provide sediment control during the grading of the Lot(s) and the construction of the House(s). Measures have been taken to prevent sediment from leoving the site.

GENERAL NOTES

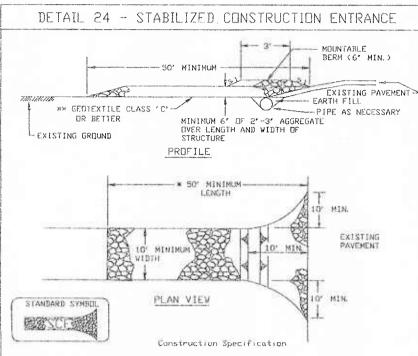
A. ACENCY NOTIFICATION Anne Arundel County Department of Inspection and permits (410-222-7780) 48 hours before starting wark. MAINTENANCE OF SOIL EROSION CONTROL PROCEDURES All damage to the soil and erosian methods shown on this plan shall be repaired at the end of each days work.

The contractor is to maintain those Sediment and Erosion Control Structures as specified on each detail. CENERAL EROSION CONTROL PROCEDURES Sod is to be placed on all areas shown and on graded area with siopes greater than 3 to 1. All downspouts are to be carried to the toc of fill slopes.

Splash blocks are to be provided at all downspouts not discharging on a paved surface. 4. All excess material (if any) shall be removed to a site opproved by the Anne Arundel Soil Conservation District (410-222-7822)5. Cut and Fill quantities provided under site analysis do not represent bid quantities. Those quantities do not distinguish between topsoil, structural fill or embankment moteriol, nor do they reflect consideration of undersutting or removal of

with site conditions which may affect the work.

insuitable material. The cantractor shall familiorize himself

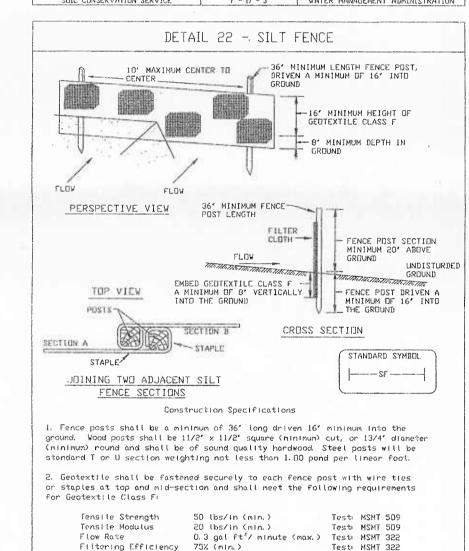


Length - minimum of 50' (*30' for single residence lot). 2. Width - 10' minimum, should be flored at the existing road to provide a turning 3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior

to placing stone. **The plan approval authority may not require single family residences to use geotextile. 4. Stone - crushed aggregate (2' to 3') or reclaimed or recycled concrete

equivalent shall be placed at least 6' deep over the length and width of the 5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6° of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and

has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6' minimum will be required. 6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance. U.S. DEPARTMENT OF AGRICULTURE PAGE MARYLAND DEPARTMENT OF ENVIRONMENT SOIL CONSERVATION SERVICE F - 17 - 3 WATER MANAGEMENT ADMINISTRATION U.S. DEPARTMENT OF AGRICULTURE



	SILT FENCE	
	Silt Fence Design Cri	teria
Slope Steepness	(Maximum) Stope Length	(Maximum) Silt Fence Length
flatter than 501	untImited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5/1 to 3/1	6D feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

unlimited. In these areas a silt fence may be the only perimeter control

PAGE MARYLAND DEPARTMENT OF ENVIRONMENT E - 15 - 3A WATER MANAGEMENT ADMINISTRATION

. Where ends of geotextile fabric come together, they shall be overlapped,

4. Stit Fence shall be inspected after each rainfall event and maintained when

SDIL CONSERVATION SERVICE E - 15 - 3 WATER MANAGEMENT ADMINISTRATION

MARYLAND DEPARTMENT OF ENVIRONMENT

bulges occur or when sediment.accumulation reached 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE

SOIL CONSERVATION SERVICE

SITE ANALYSIS:

1. EXISTING ZONING: R-1 PROPOSED USE: 3 SINGLE FAMILY LOTS TAX MAP 32 BLOCK 6 PARCEL 681

4. PREDOMINATE SOIL TYPE: PgB - PATAPSCO -5. TAX ACCOUNT: 03-000-08489810 6. DEED REFERENCES: 10212/791 7. SETBACKS: (R-1) FRONT = 40'= 15'

SIDE COMBINED = 40'REAR = 35'8. PRIVATE WATER AND PRIVATE SEWER.

9. FLOOD PLAINS DOES NOT EXIST ON SITE

10. THIS SITE IS 19% WOODED. 11. SITE BREAKDOWN: A: TOTAL SITE AREA: 3.91 AC.

B: TOTAL LOT AREA: 3.91 AC. 12. RECREATION AREA REQUIRED: = 2,000 SF. (1 EXISTING LOT) RECREATION AREA PROVIDED = 0 SF. ACTIVE RECREATION REQUIRED = 1,500 SF.

ACTIVE RECREATION PROVIDED = 0 SF. 13. WETLANDS DO NOT EXIST ON THIS SITE.

ANNE ARUNDEL TOPO T-13 15. STORMWATER MANAGEMENT IS BEING PROVIDED ON SITE. 16. OWNERS & DEVELOPER: JAMES MUZIK & LINDA MUZIK 349 N. FERRY POINT ROAD PASADENA, MD. 21122

STORMWATER MANAGEMENT NOTE Muziks Mooring

The site consists of existing woods, grass and impervious areas on moderate slopes that drain naturally to the south and directly into the Magothy River. The entire site is on Tinton loamy sand which is in the hydrologic soil group "A". The proposed minor subdivision will create 2 new lots and the existing house will remain on the third lot.

The water quality volume (WQv) is provided by using the rooftop disconnection credit for the two proposed houses. All recharge volume (Rev) for the entire site is provided by using the

rooftop disconnection credit. The channel protection volume (Cpv) or one year post development discharge is less than 2 cfs, therefore channel protection volume (Cpv) is not

The overbank flood protection volume (Qp10) is not required since the entire site has a direct discharge into the Magothy River.

The extreme flood protection volume (Qf) is not required as since the entire site has a direct discharge into the Magothy River.

GENERAL NOTES

1. Modification # 9041 to pay fee in lieu af providing Open Space /Recreation Area was opproved by the Anne Arundel County Office of Planning & Zoning on

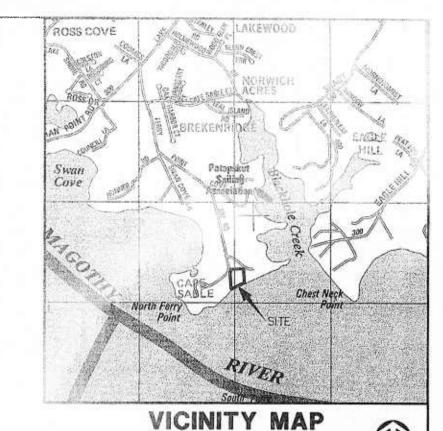
2. Fee-in-lieu of Open Space/Recreation Area was paid on by CR. NO.

3. The open waters that ore adjacent to or part of this site ore known historic waterfowl concentration area. If there is construction of ony woter-dependent facilities, it should not occur during the October 15 to March 31 wintering period.

4. The required planting per Article 17-8-303 is to be established ot Grading Permit as shown on the approved Final Development Plan on file with the Office of Plonning and Zoning. All reforested areas will be required to be within a conservation Eosement.

	PEF	RC T	EST	RESULTS CHART PERC *T02035548	
PERC.#	RESULTS	TIME (min.)	DEPTH (ft.)	SOIL LOG	WATER TABL
1	Р	1		0-6 CLAY 6-15 SAND	NO @ 15
2	Р	1	5	0-4 CLAY 4-14 SAND	NO @ 14
3	Р	1		0-4 CLAY 4-14 SAND	NO ⊚ 14
4	Р	1		0-11 CAVING SAND	NO @ 11
5	Р	1		0-11 CAVING SAND	NO @ 11
6	Р	1		0-3 CLAY 3-12 SAND	NO @ 12
7	Р	2		0-10 CAVING SAND	H20 @ 10
8	Р	2		0-8 CAVING SAND	H20 @ 8
g	Р	2	2	0-6 SAND	H20 @ 6

Volume (CvP) Overbank Flood Protection (Qp10) (Qp10) N/a N/a Direct discharge into the Magothy River Extreme Flood N/a N/a Direct discharge into the Magothy River	Minimum Sizing		Drainage	Volume	Volume Req.	Volume		
Water Quality (WQv) 4.0 Ac. 1,937 0 0 Disconnect Recharge Rooftop Nolume Rooftop Nolume Nolume </th <th>Criteria</th> <th>Symbol</th> <th>Area</th> <th>Required</th> <th>After Credit</th> <th>Provided</th> <th>SWM Practice</th> <th>Notes</th>	Criteria	Symbol	Area	Required	After Credit	Provided	SWM Practice	Notes
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Volume (WQv)	18111							The second secon
Volume (WQv)	Mater Quality						Danfton	
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Volume (CvP) Overbank Flood Protection (Qp10) (Qp10) N/a N/a Direct discharge into the Magothy River Extreme Flood N/a N/a Direct discharge into the Magothy River	Volume	(Rev)	4.0 Ac.	1,403	0	0	Disconnect	The set of
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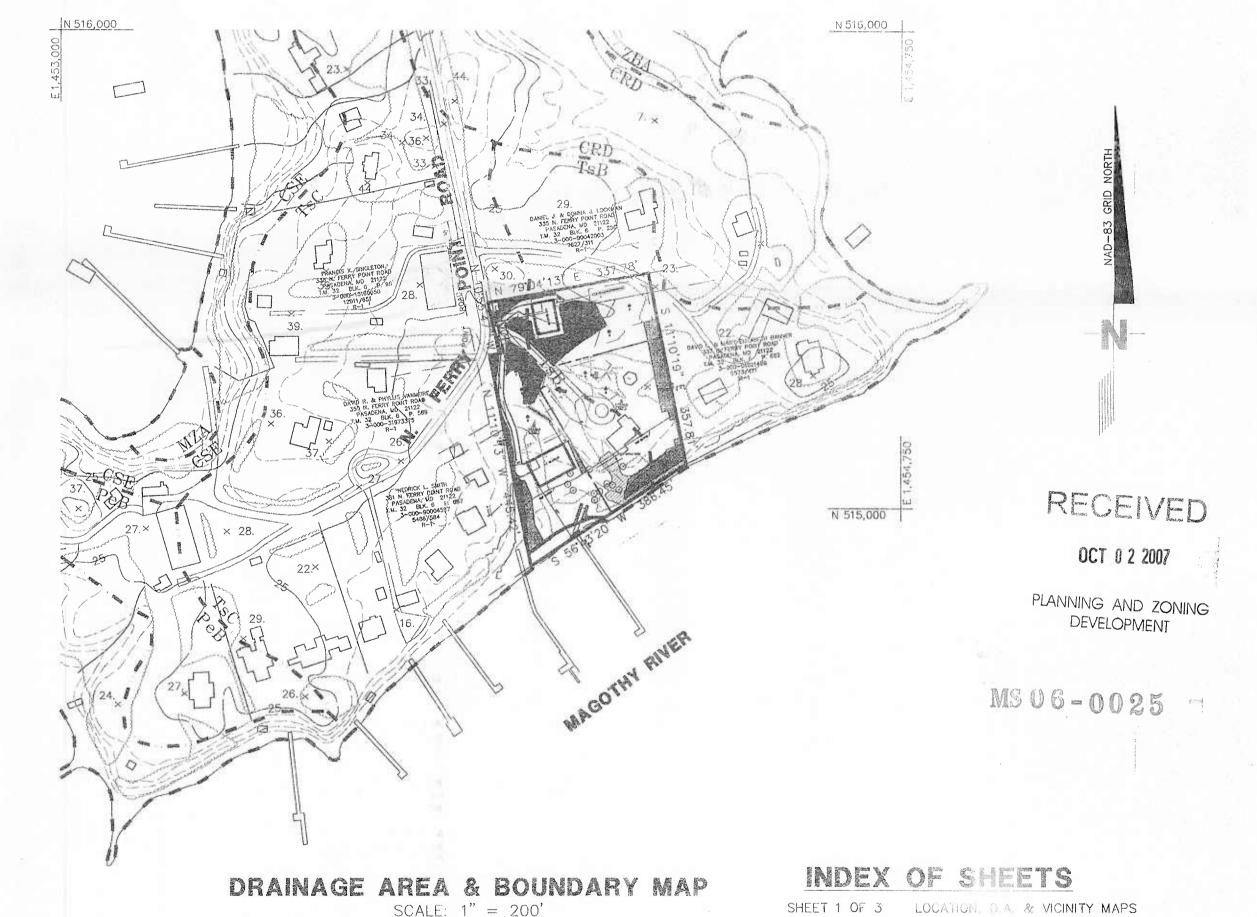


SCALE: 1'' = 2,000'Copyright ADC The Map People Permitted Use Number 20403131

LEGEND

- -152- Existing Contours — [152] — Propased Contours

Existing Tree Line TSB Soils Line



MAXIMUM WOODLANDS **IMPERVIOUS** PROPOSED TOTAL TOTAL EXISTING ALLOWABLE AREA **IMPERVIOUS IMPERVIOUS** NUMBER AREA WOODLANDS **MPERVIOUS** (PROPOSED) (EXISTING) AREA AREA 20.494 \$ 7.348 4 (35.82 6,467 \$ 6,125 \$ 6,125 \$ 43.124 \$ 0 4 74,052 \$ 2,483 \$ 0 \$ 11,100 4 11,100 \$ 11,100 4 米11,100 中 7,662 \$ 53,143 \$ 8,539 🛉 2,080 \$ (24.3%) 0 4 7,980 \$ 7,662 🛊

3.91 Ac.

3.91 Ac.

11,100 🕈

25,547 #

24,887 +

3 LOTS

24,887 \$

14,142 Sq. Ft.

14,159 Sq. Ft.

CRITICAL AREA NOTES

TOTAL 170,319 🛊 31,516 \$ 9,428 \$ (30%) * NO ADDITIONAL IMPERVIOUS AREA ALLOWED ON LOT 2.

Total Site Area

LDA Designotian

Reforestation Provided=

Reforestation Required= 1:1.5=

SOIL CLASSIFICATION CHART SYMBOL HYDROLOGICAL SOIL TYPE TsB TINTON

TINTON

area tabulations

ZONING: R-1

3.91Ac.

SHEET 1 of 3 FINAL DEVELOPMENT PLAN

& GENERAL ALGES

SHEET 2 OF 3 EX. & PROP. DRAINING AREA MAPS

MUZIKS MOORING 3 SINGLE FAMILY LOTS

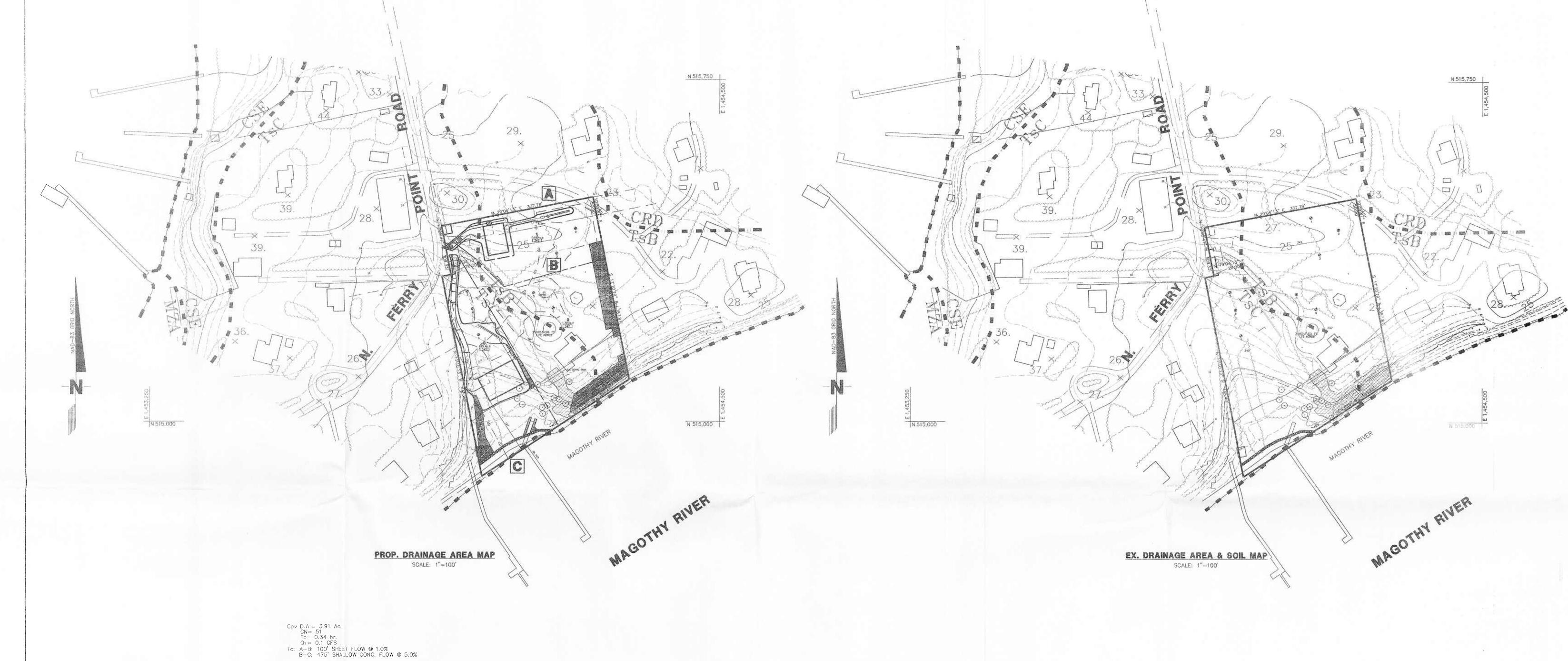
SHEET 3 OF 3 PLAN VIEW

MINOR SUBDIVISION NO.: 06-025 THIRD DISTRICT ANNE ARUNDEL COUNTY, MARYLAND 21122 SCALE: AS SHOWN SEPTEMBER, 2007 TAX MAP 32 PARCEL 681 BLOCK 6

OCT 5 200

CRITICAL AREA COMMISSION

Chesapeake & Atlantic Coastal Bays



A WARBX, INC

CIVIL ENGINEERING SERVICES
LAND SURVEYING 303 Najoles Road - Suite 114 Millersville, MD 21108-2512 Phone: 410-987-6901 Fax: 410-987-0589

Email: www.jeff@anarex.com



SOIL CLASSIFICATION CHART SYMBOL NAME
TSB TINTON
TSC TINTON HYDROLOGICAL SOIL TYPE

SECUT 2 of 3 FINAL DEVELOPMENT PLAN

MUZIKS MOORING

3 SINGLE FAMILY LOTS MINOR SUBDIVISION NO.: 06-025 THIRD DISTRICT ANNE ARUNDEL COUNTY, MARYLAND 21122 SCALE: AS SHOWN SEPTEMBER, 2007 TAX MAP 32 BLOCK 6 PARCEL 681

