

AA 300-05
SUB

North Beach Park
05-050

MSA-5-1829-7611

Robert L. Ehrlich, Jr.
Governor

Michael S. Steele
Lt. Governor



Martin G. Madden
Chairman

Ren Serey
Executive Director

STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS
1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

April 1, 2005

Ms. Kelly Krinetz
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6301
Annapolis, Maryland 21401

Re: North Beach Resubdivision - Holland Point, LLC
S 04-068, P 05-050

Dear Ms. Krinetz:

I have received the above-referenced resubdivision request for review and comment. The applicant proposes to resubdivide numerous lots into 20 lots. I have outlined my comments below.

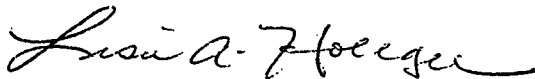
1. It appears the lots have been resubdivided so that they are situated in upland areas and near the edge of existing forest, and it is our understanding the remaining lots owned by Holland Point, LLC would be placed in a conservation easement. This conservation easement should be a perpetual easement.
2. The letter from the Department of Natural Resources (DNR) indicates the site contains Forest Interior Dwelling Bird (FID) species and may support habitat for Long-awned Diplachne. The DNR recommends a 100-foot buffer around wetlands on this site. Since most of the development is not outside a 100-foot buffer from the wetlands, we recommend further coordination with DNR.
3. Since the rear of many of these lots includes the minimum 25-foot nontidal wetland buffer, we recommend these areas be clearly marked and the final plat includes notes prohibiting further clearing or development activities on these portions of the lots affected.

Ms. Krinetz
April 1, 2005
Page Two

4. Provided the proposed clearing for the lots will be no further than 300-feet inside the existing forest edge, the FID guidelines are met; however, mitigation for clearing should occur at a 1:1 ratio, and if planted, should be creating new FID habitat.
5. The final plans should indicate the allowable impervious surface for each lot and the allowable clearing. We recommend this information be provided in a table.
6. The driveway to proposed lot 15 is inside the required 100-foot Buffer to the tidal wetlands. This will require a variance.
7. A note should appear on the final plat indicating the location of the 100-foot Buffer from the tidal wetland for those lots that border the tidal wetland area.

Thank you for the opportunity to comment. Please telephone me if you have any questions at (410) 260-3478.

Sincerely,



Lisa A. Hoerger
Natural Resources Planner

cc: AA 200-05



Robert L. Ehrlich, Jr.
Governor

Michael S. Steele
Lt. Governor

Martin G. Madden
Chairman

Ren Serey
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

April 4, 2006

Ms. Kathy Shatt
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6301
Annapolis, Maryland 21401

Re: North Beach Resubdivision - Holland Point, LLC
S 04-068, P 05-0050

Dear Ms. Shatt:

I have received a revised plan and plat for the above-referenced resubdivision request. The applicant addressed some of the comments of my last letter November 29, 2005. I have outlined my remaining comments and concerns below.

1. We still need an accurate count of State tidal wetlands so that we can conclusively determine the allowable density in the Resource Conservation Area (RCA). In my last comment letter I requested this information. The applicant has indicated this is a resubdivision and is therefore not subject to the density test. We do not understand this response since it appears some of the proposed lots are not simple consolidated lots, but are actual changes to existing lot lines.
2. We need to understand how the County is proposing to review this resubdivision. If it affects density in the RCA, would the applicant be required to get a variance to density since this was the County's position in the Arrow Cove resubdivision? If density is not affected, why not?
3. The County will need to indicate what the grandfathering status is of the proposed lots so that we can determine the appropriate allowable impervious surface limitations; therefore, the impervious surface information on the plat and plans may change. Based on discussions with Planning and Zoning it is not clear how the County will view these lots.

Ms. Shatt
April 4, 2006
Page Two

4. I have put in a request to Department of Natural Resources (DNR) concerning the Long-awned Diplachne question regarding the need for a 100-foot buffer around the nontidal wetlands on this site. I have indicated to DNR that the applicant reported that all nontidals area forested. I will inform the County of DNR's response.
 5. The applicant has indicated they will discuss the time of year restriction requirement with the DNR. Regardless of DNR's decision, the FIDs guidelines were adopted and approved by the Critical Area Commission with the expectation that the time of year restrictions will be abided by; otherwise the FID guidelines are not being met. Therefore, if the applicant does not wish to perform additional FID mitigation, the time of year restriction shall remain.
 6. I have placed a call with the County Forester concerning the issue of the Forest Mitigation Bank. Based on our understanding of the proposal, it appears it is not permitted.
 7. Proposed Active Recreation Area #1 is now located in the Resource Conservation Area (RCA). The Zoning Code prohibits this use in the RCA (see 27-13-206 (10)). Please have the applicant amend the plat to either label this area as passive or move it out of the RCA.
-
8. The comments of my last letter concerning the proposed methods of stormwater management (see comments #12, 13, 14) were based on discussions this office has had with MDE; therefore, the applicant's response that the County and MDE see their use of disconnects as acceptable are confusing. If the issue has been resolved with plantings and this is acceptable to the County engineer and MDE we have no further comments on this issue.

Thank you for the opportunity to comment. Please notify the Commission if and when final approval is granted. Please telephone me if you have any questions at (410) 260-3478.

Sincerely,



Lisa A. Hoerger
Natural Resources Planner

cc: AA 200-05

Robert L. Ehrlich, Jr.
Governor



Michael S. Steele
Lt. Governor

Martin G. Madden
Chairman

Ren Serey
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

June 26, 2006

Mr. Tom Burke
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6401
Annapolis, Maryland 21401

Re: North Beach Park Resubdivision
S 04-068, P 05-0050

Dear Mr. Burke:

I have received another resubmittal for the above-referenced project. It appears the applicants have addressed some of the comments of my last letter dated April 4, 2006, although their response letter suggests they addressed the April 11, 2005 letter. I have outlined my outstanding comments and concerns below.

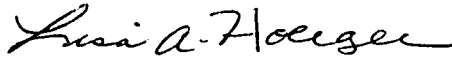
1. I see three lots where development activities cross into the Resource Conservation Area (RCA) portion of the lots. These lots include lots 3, 18, and 20. The RCA acreage is reported to be 85.23 acres; however, in earlier documents the areas of tidal wetlands were reported to be 12.40 acres. This would leave a balance of 72.83 acres, thereby allowing an RCA density of 3 dwelling units in the RCA. The remaining lots that cross into the RCA do not appear to be protected through an easement from future development activities; therefore, we recommend these areas be put in an easement.
2. The applicant has indicated the lots will be permitted to have up to 25% impervious cover, with 15% over the entire subdivision. This provision of State law and the County Code applies to lots one acre or less in size that are part of a subdivision approved after December 1, 1985. It appears that since the lots are being reconfigured, then these limitations would apply. However, the impervious surface limits note on the plat is confusing. It should clearly state that the overall impervious coverage is at 15%, while lots one acre or less are permitted up to 25%.

Mr. Burke
June 26, 2006
Page Two

3. In order for this office to understand the proposed Forest Mitigation Bank proposal we need certain information. How much existing forested area is in the Critical Area portion of the property? We are trying to determine what percent of the existing forested area in the Critical Area is being cleared in conjunction with the subdivision proposal. Without the existing forested area information this cannot be determined.
4. Once we know the percent of clearing in the Critical Area, we need to understand how the applicant is able to utilize 30% of the remaining forested area in the Critical Area for mitigation purposes. It seems to us that a portion of the 30% of the forest is being cleared for the subdivision request. If not, please have the applicant clearing explain how they can claim 30% of the forest in the Critical Area for mitigation banking purposes, and also clear a portion of this percentage.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3478 if you have any questions.

Sincerely,



Lisa A. Hoerger
Natural Resources Planner

cc: AA 200-05

Robert L. Ehrlich, Jr.
Governor

Michael S. Steele
Lt. Governor



Martin G. Madden
Chairman

Ren Serey
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

September 20, 2006

Ms. Kathy Shatt
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6401
Annapolis, Maryland 21401

Re: North Beach Park Resubdivision - Final Plans & Plat
S 04-068, P 05-0050

Dear Ms. Shatt:

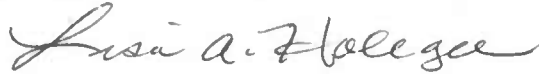
I have received the final plat and plans for the above-referenced project. It appears the applicants did not receive my last letter June 26, 2006. I have sent via facsimile a copy of that letter to Bay Engineering and your office. In addition to the comments of that letter, I have outlined my remaining comments below.

1. Per our telephone conversation yesterday, we understand the County cannot place an easement on the RCA portion of those lots I commented on in my last letter.
2. We believe that the acreage figure provided for the proposed mitigation bank could be incorrect. If the total existing forested area is 97.031 acres, 30% of that is 29.11 acres. We must subtract from 29.11 acres the proposed clearing (3.674 acres), which equals 25.436 acres. In addition any area not being cleared and not being put in the easement area must also be subtracted; therefore, the 26.371 acreage figure for the Forest Mitigation Bank appears incorrect. Please verify these numbers prior to final plat approval.

Ms. Shatt
September 20, 2006
Page Two

Thank you for the opportunity to comment. Please telephone me at (410) 260-3478 if you have any questions.

Sincerely,



Lisa A. Hoerger
Natural Resources Planner

cc: Mr. Tom Burke, AA Co.
AA 200-05

Robert L. Ehrlich, Jr.
Governor



Michael S. Steele
Lt. Governor

Martin G. Madden
Chairman

Ren Serey
Executive Director

STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

November 3, 2006

Ms. Kathy Shatt
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6401
Annapolis, Maryland 21401

Re: North Beach Park Resubdivision - Final Plans & Plat, RESUBMITTAL
S 04-068, P 05-0050

Dear Ms. Shatt:

I have received a resubmittal of the final plat and plans for the above-referenced project. The applicant has addressed the comments in my last letter dated September 20, 2006. My remaining comments for this subdivision involve the creation of the Forest Mitigation Bank. As we have stated before, this office supports the creation of these mitigation banks; however, the acreage accounting needs to be accurate prior to final plat approval. At this time, Commission staff do not believe the most accurate acreage figure was calculated for the bank.

Since our last letter, the Commission's Science Advisor, LeeAnne Chandler, made a site visit to view the forest habitat. From the plans provided, it appeared to staff that portions of the area proposed as Conservation Area were tidal wetlands. Therefore, we questioned whether there could be any forested FID habitat in these areas. In addition, Ms. Chandler wanted to view the type and quality of the forest (see enclosed photos).

Based on Ms. Chandler's site visit observations and on the acreage information provided to this office by the applicant, we believe the proper acreage for the Forest Mitigation Bank/Conservation Area is 21.05 acres. We arrived at this figure by subtracting the area of tidal wetlands that are not forested, by subtracting areas that are too isolated to be used as FID mitigation, and by subtracting the proposed clearing. I have outlined our figures below:

- Conservation Property Areas #13 and #14 are tidal wetland areas that are not forested and are not FID habitat. Based on our rough calculations, it appears these two areas total approximately 12 acres (#13 = 1.5 acres, #14 = 10.5 acres)

Ms. Shatt
November 3, 2006
Page Two

- Conservation Property Areas #3, #5, #6, #7 are either too small or not contiguous enough to other forested areas to be FIDs habitat after development of the lots, or do not contain FIDs habitat. These areas total approximately 2.153 acres (#3 = .275, #5 = .603, #6 = .735, #7 = .540 acres).
- The applicant has indicated that 3.674 acres of clearing will occur for the development.

Therefore, if we begin with 88 acres and subtract the total sum of the figures provided above ($88 - 2.153 - 3.674 = 21.05$) we get 70.17 acres. Thirty percent of this figure is 21.05 acres (30% is the area available for FIDs mitigation). Of course, the applicant should verify our approximations of the open tidal wetland areas and those areas not considered FIDs habitat.

As stated before, any additional clearing not associated with the initial development, but could otherwise occur since some lots do not have easements covering all remaining forested areas after the initial development, would also need to be deducted.

While this office has stated in past correspondence that the FID guidelines have been met, we recommend the FIDs worksheet still be completed with a map showing the interior and edge since this site is proposed as a FIDs mitigation bank site.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3478 if you have any questions.

Sincerely,



Lisa A. Hoerger
Natural Resources Planner

cc: Mr. Tom Burke, AA Co.
Ms. LeeAnne Chandler, CAC Staff
AA 200-05

Robert L. Ehrlich, Jr.
Governor

Michael S. Steele
Lt. Governor



Martin G. Madden
Chairman

Ren Serey
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

November 15, 2006

Ms. Kathy Shatt
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6401
Annapolis, Maryland 21401

Re: North Beach Park Resubdivision - Final Plans & Plat, RESUBMITTAL
S 04-068, P 05-0050 AMENDED COMMENTS

Dear Ms. Shatt:

In recent discussions with your office and the applicant's consultant concerning the above-referenced project, it has come to my attention that the mitigation bank is not intended for FID mitigation, but for typical forest mitigation. Therefore, the comments of my last letter dated November 3, 2006 are not completely applicable. I have outlined below what we have agreed is the proper acreage figure for mitigation banking purposes not for FIDs habitat.

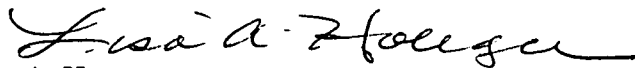
- The area of the Conservation Property Areas #13 and #14 that are tidal wetland areas and are not forested must be subtracted. That area is equal to 12.43 acres based on a more accurate calculation by the applicant, which was slightly more area than Commission staff originally measured.
- We agree that since this banking is not for FID mitigation purposes that Conservation Property Areas #3, #5, #6, #7 can still be included in the banking area and do not need to be subtracted.
- The 3.674 acres of clearing is outside of the area proposed for the easement area, so it does not need to be subtracted.
- Therefore, if we subtract 12.43 acres from 87.90 acres the sum is 75.47 acres ($88 - 12.43 = 75.47$). Thirty percent of this figure is 22.64 acres (30% is the area available for mitigation banking).

Ms. Shatt
November 15, 2006
Page Two

- Since FID mitigation is not proposed, and we have stated that the FID guidelines have been met, the FIDs worksheet is not required.

Thank you for the opportunity to comment. Please telephone me at (410) 260-3478 if you have any questions.

Sincerely,



Lisa A. Hoerger
Natural Resources Planner

cc: Mr. Tom Burke, AA Co.
Mr. Jeff Bugno, Bay Engineering
Ms. LeeAnne Chandler, CAC Staff

Robert L. Ehrlich, Jr.
Governor

Michael S. Steele
Lt. Governor



Martin G. Madden
Chairman

Ren Serey
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

1804 West Street, Suite 100, Annapolis, Maryland 21401
(410) 260-3460 Fax: (410) 974-5338
www.dnr.state.md.us/criticalarea/

November 29, 2005

Ms. Kathy Shatt
Anne Arundel County
Office of Planning and Zoning
2664 Riva Road, MS 6301
Annapolis, Maryland 21401

Re: North Beach Resubdivision - Holland Point, LLC
S 04-068, P 05-0050

Dear Ms. Shatt:

I have received a revised plan and plat for the above-referenced resubdivision request. The applicant addressed some of the comments of my last letter dated April 1, 2005. I have outlined my remaining comments and concerns below.

1. Based on the information provided, it appears there are 81 acres in the Resource Conservation Area (RCA). Since the RCA affords a one dwelling unit per twenty-acre density, 81 acres may generate up to four lots. However, the information provided also states 12.4 acres of tidal wetlands exist on the site. The applicant must distinguish between State-owned tidal wetlands and any private tidal wetlands since only private tidal wetlands may be used for density purposes (see Natural Resources Article 8-1808.1 (e)). In addition, no State wetlands can be within lot lines. The current plan shows seven lots where lot lines cross into the RCA.
2. The revised plan shows the limits of the tidal and nontidal wetlands; however, it is our understanding the jurisdictional determination has not been completed. Until the wetlands are verified, the final plat should not be signed since some of the development is at or near wetland edges or the wetland buffers.
3. The letter from the Department of Natural Resources (DNR) concerning the Long-awned Diplachne recommends a 100-foot buffer around wetlands on this site. Please have the applicant verify with DNR whether this recommended buffer should also be shown from nontidal wetlands in addition to tidal wetlands. We asked for this information in my April comment letter.

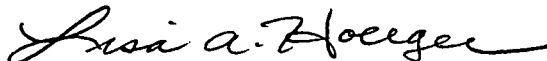
4. Any buffers or RCA areas on the rear of lots should be included in an easement. We recommend these areas be clearly marked and the final plat include notes prohibiting further clearing or development activities on the portions of the lots affected. The current plan does not show easements on the back of the lots, nor is there any plat note restricting further clearing or development activities in these areas.
5. We have previously stated that the FID guidelines are met, and mitigation for clearing should occur at a 1:1 ratio as new FID habitat. In the comment letter from the applicant, it appears they are requesting that the time of year restriction be lifted. If this restriction is lifted, then it is Commission staff's position that the FID guidelines are no longer being fully met; therefore, the time of year restriction should remain.
6. The final plan shows the allowable impervious surface for each lot and the allowable clearing in two charts. There appears to be a mistake in the addition for the impervious surface totals. I get a subtotal for the lots of 76,211 square feet and a total of 83,572 square feet. Please have the applicant check these figures.
7. The plat indicates the intention to create a Forest Mitigation Bank with 30% of the Forest Conservation property. Since the Critical Area requires a minimum of 70% retention, how could any portion of the conservation property be used for other mitigation? Please have the applicant clarify this issue.
8. There is no information on either the plat or plan indicating how much clearing is proposed for this development. Please have the applicant provide this information on the plat and plan.
9. A waiver was granted to sketch and developer's interest according to a note on the plat. Please forward a copy of the waiver letter so we may see the conditions requested by Planning and Zoning.
10. Proposed Active Recreation Area #1 is partially within a 25-foot nontidal wetland buffer, and proposed Active Recreation Area #2 is partially within the 100-foot Buffer to a tidal wetland. Under no circumstances should an active recreation area be platted within any wetlands or their buffers. Please have the applicant amend the plat.
11. The proposed Passive Recreation Area is platted within a nontidal wetland. This also needs to be moved on the plat.

Ms. Shatt
November 29, 2005
Page Three

12. The proposed method of stormwater management indicates that disconnection of rooftop runoff will be used to treat stormwater. Sheets #9 and #10 shows the "disconnected" areas going through some wetlands and/or their buffers. We have consulted with the Maryland Department of the Environment and agree that the use of nontidal wetlands and their buffers to treat the runoff should be discouraged.
13. For those lots where the disconnected area is within the 100-foot Buffer to tidal wetlands, or the tidal wetlands, these areas cannot be claimed as the "disconnected" areas. We recommend shifting the dwelling locations on these lots where possible to increase the distance to the 100-foot tidal wetland Buffer.
14. If on any lots, the disconnected area of 75-feet cannot be achieved, we recommend installing raingardens, which can be as credit towards the 75-foot area. Otherwise, the backyards of these lots will pond the stormwater and there will not be adequate treatment before it enters the nontidal and tidal wetlands and their buffers.

Thank you for the opportunity to comment. Please notify the Commission if and when final approval is granted. Please telephone me if you have any questions at (410) 260-3478.

Sincerely,



Lisa A. Hoerger
Natural Resources Planner

cc: AA 200-05

AA 200-05



Robert L. Ehrlich, Jr., Governor
Michael S. Steele, Lt. Governor
C. Ronald Franks, Secretary

April 14, 2005

Mr. Gary M. Evans
Senior Project Manager
Bay Engineering, Inc.
190 Admiral Cochrane Drive, Suite 175
Annapolis, MD 21401

RE: Environmental Review for Parcel for Minor Subdivision, Walnut Avenue at Albany Avenue, Tax Map 82 Parcel 17, North Beach, Anne Arundel County, Maryland.

Dear Mr. Evans:

The Wildlife and Heritage Service has determined that there are no State or Federal records for rare, threatened or endangered species within the boundaries of the project site as delineated. As a result, we have no specific comments or requirements pertaining to protection measures at this time. Please note however that the utilization of state funds, the need to obtain a state-authorized permit, or changes to the plan might warrant additional evaluations that could lead to protection or survey recommendations by the Wildlife and Heritage Service. Please contact us again for further coordination if this project falls into one of those categories.

We would also like to point out that our initial evaluation of this project should not be interpreted as meaning that it is not possible for rare, threatened or endangered species to be present. Certain species could be present without documentation because adequate surveys may not have been conducted in the past. Although we are not requiring any surveys, we would like to bring to your attention that Wildlife and Heritage Service's Natural Heritage database records do indicate that there is a record for Long-awned Diplachne (*Leptochloa fascicularis*), a species with Uncertain state status, known to occur within the vicinity of the project site. If the appropriate habitat is present for this species it could potentially occur on the project site itself. Since the population of this native plant has declined historically we would encourage efforts to help conserve it across the state. Feel free to contact us if you would like technical assistance regarding the conservation of this important species.

Thank you for allowing us the opportunity to review this project. If you should have any further questions regarding this information, please contact me at (410) 260-8573.

Sincerely,

Lori A. Byrne,
Environmental Review Coordinator
Wildlife and Heritage Service
MD Dept. of Natural Resources

ER #2005.0172.aa
Cc: K. McCarthy, WHS
R. Esslinger, CAC

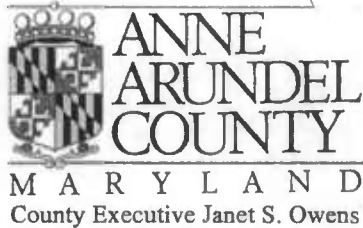
from YAC.

Forest Conservation Land Bank Plan

1. Approximately (based on rough measurement on MERLIN) 12 acres of the conservation areas are tidal wetlands, are not forested and not FIDs habitat. Cannot be used for Forest Conservation. (See attached pictures & recent aerials)
2. Several of the conservation properties (#5 though #7) do not contain FIDs habitat and cannot be used for FIDs mitigation.
3. Four of the conservation properties (totaling 2.153 acres) including #3 and 5-7, cannot be used for FIDs mitigation because they will not be large or contiguous enough to be FIDs habitat after development of the lots.
4. If unprotected areas surrounding Conservation area #2 gets developed in the future, this acreage also would be isolated and not be large enough to constitute FIDs habitat.

Other issue:

A FIDs worksheet is needed for this project. Interior and edge both need to be drawn and calculated. It appears that FIDs impact will all be within edge so at a minimum 1:1 replacement (planting) of direct loss will likely be needed.



Northbeach - until 4/1/04
& multi-blots

Sceno
04-889

2664 RIVA ROAD, P.O. BOX 6675
ANNAPOLIS, MARYLAND 21401

OFFICE OF PLANNING AND ZONING

June 4, 2004

Mr. Timothy Martin
Bay Engineering, Inc.
122 Defense Highway
Annapolis, MD 21401

Re: Sceno Properties - Tax Map 82, Block 21, Parcel 8
Subdivision #2004-068, Project #2004-125
Waiver #8972 - Waiver to DI and Sketch Plan Phase

05-0050

Dear Mr. Martin:

This letter is written in response to your request for a waiver to the Developers Interest status (Article 26, Section 1-105) as well as the sketch plan phase (Article 26, Subtitle 3) for the above-referenced property.

The site consists of the remaining 855 lots and rights of ways as established in the 1923 plat for North Beach Park. The applicant proposes to utilize existing infrastructure (roads and sewer) to create a maximum of 20 lots thereby minimizing the environmental impact of development within the constraints of the site.

This office has evaluated the submitted information and hereby grants the requested waiver conditioned on the following:

1. This waiver is subject to a new Jurisdictional Determination (J. D.) for non-tidal wetlands as the previous J.D. expired. This new J. D. may impact the number of lots that could be created on this site. This waiver does not guarantee Final approval for 20 lots.
2. The site will be subject to all applicable subdivision regulations and Chesapeake Bay Critical Area criteria in effect at the time of Final plan submittal and review.

School capacity currently exists at the elementary, middle and high school levels. This subdivision is therefore vested for school capacity for the remainder of the subdivision process conditioned upon you meeting all applicable submittal and resubmittal timeframes including applying for final plan approval by June 5, 2005.

A note must be added to the plat noting this waiver number, the date granted and a brief description of the waiver including all conditions noted above. A granting of this waiver is consistent with the spirit and intent of the subdivision regulations per Article 26, Section 1-111, and extraordinary hardship would result from the strict compliance with the Article.

If you have any questions regarding this waiver decision, please contact Kelly Krinetz at 410-222-7960.

Sincerely,

Joseph Rutter
Planning and Zoning Officer

RECEIVED
PLANNING AND ZONING
DEVELOPMENT

RECEIVED

cc: Subdivision File
Waiver File
Review Agencies

J. Tinsley
Waiver Log/M. Patmore

MAR 07 2006

CRITICAL AREA COMMISSION



MARYLAND
DEPARTMENT OF
NATURAL RESOURCES

Robert L. Ehrlich, Jr., Governor

Michael S. Steele, Lt. Governor

C. Ronald Franks, Secretary

January 6, 2005

Mr. Eric E. See
SEE Environmental Services, Inc.
The Woodbridge Center
2444 Solomons Island Road, Suite 217
Annapolis, MD 21401

RECEIVED

MAR 18 2005

CRITICAL AREA COMMISSION

RE: Environmental Review for Re-Subdivision of North Beach Park, North Beach, Tax Map 82, Parcel 8 and Tax Map 84, Parcel 1, Anne Arundel County, Maryland.

Dear Mr. See:

The Wildlife and Heritage Service (WHS) has determined that the project site encompasses a habitat protection area originally designated as such for the presence of Long-awned Diplachne (*Leptochloa fascicularis*), a species with Uncertain state status in Maryland. Habitat for Long-awned Diplachne is described as: Wet soil of watersides, fresh or usually brackish water of marshes (Hough 1983). WHS recommends that the conservation easement provide at least a 100 ft. undisturbed upland buffer to wetlands on site, and that there be no disturbance to these wetlands. We would also encourage the strict adherence to all appropriate BMPs during construction, to minimize sedimentation and erosion and therefore reduce the likelihood of adverse impacts to the habitat protection area.

Our analysis of the information provided also suggests that the forested area on the project site contains Forest Interior Dwelling Bird habitat. Populations of many Forest Interior Dwelling Bird species (FIDS) are declining in Maryland and throughout the eastern United States. The conservation of this habitat is mandated within the Critical Area and must be addressed by the project plan. Specifically, if FIDS habitat is present, the following guidelines should be incorporated into the project plan:

1. Restrict development to nonforested areas.
2. If forest loss or disturbance is unavoidable, concentrate or restrict development to the following areas:
 - a. the perimeter of the forest (i.e., within 300 feet of existing forest edge)
 - b. thin strips of upland forest less than 300 feet wide
 - c. small, isolated forests less than 50 acres in size
 - d. portions of the forest with low quality FIDS habitat, (i.e., areas that are already heavily fragmented, relatively young, exhibit low structural diversity, etc.)
3. Maximize the amount of forest "interior" (forest area >300 feet from the forest edge) within each forest tract (i.e., minimize the forest edge:area ratio). Circular forest tracts are ideal and square tracts are better than rectangular or long, linear forests.

Tawes State Office Building • 580 Taylor Avenue • Annapolis, Maryland 21401

410.260.8DNR or toll free in Maryland 877.620.8DNR • www.dnr.maryland.gov • TTY users call via Maryland Relay

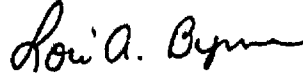
4. Minimize forest isolation. Generally, forests that are adjacent, close to, or connected to other forests provide higher quality FIDS habitat than more isolated forests.
5. Limit forest removal to the "footprint" of houses and to that which is necessary for the placement of roads and driveways.
6. Minimize the number and length of driveways and roads.
7. Roads and driveways should be as narrow and as short as possible; preferably less than 25 and 15 feet, respectively
8. Maintain forest canopy closure over roads and driveways.
9. Maintain forest habitat up to the edges of roads and driveways; do not create or maintain mowed grassy berms.
10. Maintain or create wildlife corridors.
11. Do not remove or disturb forest habitat during April-August, the breeding season for most FIDS. This seasonal restriction may be expanded to February-August if certain early nesting FIDS (e.g., Barred Owl) are present.
12. Landscape homes with native trees, shrubs and other plants and/or encourage homeowners to do so.
13. Encourage homeowners to keep pet cats indoors or, if taken outside, kept on a leash or inside a fenced area.
14. In forested areas reserved from development, promote the development of a diverse forest understory by removing livestock from forested areas and controlling white-tailed deer populations. Do not mow the forest understory or remove woody debris and snags.
15. Afforestation efforts should target a) riparian or streamside areas that lack woody vegetative buffers, b) forested riparian areas less than 300 feet wide, and c) gaps or peninsulas of nonforested habitat within or adjacent to existing FIDS habitat.

The Critical Area Commission's document "A Guide to the Conservation of Forest Interior Dwelling Birds in the Chesapeake Bay Critical Area" provides details on development standards and information about mitigation for projects where impacts to FIDS habitat cannot be totally avoided. Mitigation plantings for impacts to FIDS habitat may be required under the local government's Critical Area Program. The amount of mitigation required is generally based in whether or not the guidelines listed above are followed.

Page 3
January 6, 2004

Thank you for allowing us the opportunity to review this project. If you should have any further questions regarding this information, please contact me at (410) 260-8573.

Sincerely,



Lori A. Byrne,
Environmental Review Coordinator
Wildlife and Heritage Service
MD Dept. of Natural Resources

ER #2004.2413.aa
Cc: K. McCarthy, DNR
R. Esslinger, CAC



HERRINGTON HARBOUR NORTH

Marina • Yacht Yard

P.O. Box 40 • Tracey's Landing, MD 20779 • 410-867-4343 • DC: 301-261-5515 • Fax: 410-867-2435

North Beach Park -- Critical Area- Reforestation Mitigation Tracking Letter

February 14, 2006

Doug Musser
Anne Arundel County
Planning and Code Enforcement
2664 Riva Road, 4th Floor
Annapolis, MD 21401

Re: Jody Lee Clark, 302 East Forest Trail, Crownsville, MD 21037
Grading Permit Number: G02011600

Dear Mr. Musser:

This is a request to utilize 11,684 square feet of reforestation on the North Beach Park Property for the above referenced project. The total reforestation mitigation area remaining on North Beach Park is 1,128,340 square feet. The reforestation mitigation area remaining after this commitment would be 1,128,340 square feet minus 11,684 square feet leaving 1,116,656 of reforestation mitigation remaining.

If you have any questions please call me at 410-867-4343.

Sincerely,

S. Hamilton Chaney

Where the Countryside Meets the Chesapeake Bay

Timothy J. Martin
 Bay Engineering Inc.
 190 Admiral Cochrane Drive
 Suite 175
 Annapolis, MD 21401



DEDICATION BY OWNERS

I/WE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT(S) THIS PLAN OF SUBDIVISION; ESTABLISH(ES) THE MINIMUM BUILDING RESTRICTION LINES; AND DEDICATE(S) THE STREETS, ALLEYS, WALKWAYS AND OTHER EASEMENTS, WIDENING STRIPS, AND FLOODPLAINS, TO PUBLIC USE; SUCH LANDS TO BE DEEDED TO ANNE ARUNDEL COUNTY OR THE STATE HIGHWAY ADMINISTRATION, AS MAY BE APPROPRIATE, UPON REQUEST.

THE RECREATION AND OPEN SPACE SHOWN HEREON IS HERBY SET ASIDE FOR THE RECREATIONAL USE OF THE RESIDENTS OF THE SUBDIVISION; AND SHALL IN ACCORDANCE WITH ARTICLE 26, 3-104 OF THE ANNE ARUNDEL COUNTY CODE, BE CONVEYED TO THE HOLLAND POINT CIVIC ASSOCIATION IMMEDIATELY AFTER RECORDATION OF THIS PLAT.

THERE ARE NO SUITS, ACTIONS AT LAW, LEASES, LIENS, MORTGAGES, TRUSTS, EASEMENTS, OR RIGHTS-OF-WAY AFFECTING THE PROPERTY INCLUDED IN THIS PLAN OF SUBDIVISION, EXCEPT THE FOLLOWING:

ALL PARTIES IN INTEREST THERETO HAVE HEREUNTO AFFIXED THEIR SIGNATURES INDICATING THEIR ASSENT AND WILLINGNESS TO JOIN IN THIS PLAN OF SUBDIVISION.

S. HAMILTON CHANEY	DATE	WITNESS	DATE
HOLLAND POINT CITIZENS ASSOCIATION	DATE	WITNESS	DATE

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT SHOWN HEREON IS CORRECT, THAT IT REPRESENTS A SURVEY OF THE PROPERTY BY THE SURVEYOR AND THAT IT IS A SUBDIVISION OF ALL OF THE LANDS CONVEYED BY:

HOLLAND POINT LLC, TO HOLLAND POINT LLC BY A DEED DATED SEPTEMBER 24, 2004 AND RECORDED AMONG THE LAND RECORDS OF ANNE ARUNDEL COUNTY, MARYLAND IN LIBER 15394, FOLIO 184.

HOLLAND POINT LLC, TO HOLLAND POINT LLC BY A DEED DATED SEPTEMBER 24, 2004 AND RECORDED AMONG THE LAND RECORDS OF ANNE ARUNDEL COUNTY, MARYLAND IN LIBER 15394, FOLIO 180.

HOLLAND POINT LLC, TO HOLLAND POINT LLC BY A DEED DATED SEPTEMBER 24, 2004 AND RECORDED AMONG THE LAND RECORDS OF ANNE ARUNDEL COUNTY, MARYLAND IN LIBER 15394, FOLIO 188.

HOLLAND POINT LLC, TO HOLLAND POINT LLC BY A DEED DATED SEPTEMBER 24, 2004 AND RECORDED AMONG THE LAND RECORDS OF ANNE ARUNDEL COUNTY, MARYLAND IN LIBER 15394, FOLIO 192.

SCENO INVESTMENT COMPANY TO HOLLAND POINT LLC BY A DEED DATED JUNE 28, 2004 AND RECORDED AMONG THE LAND RECORDS OF ANNE ARUNDEL COUNTY, MARYLAND IN LIBER 15045, FOLIO 54.

JOHN FRANCIS GANTT, JR. TO HOLLAND POINT LLC BY A DEED DATED FEBRUARY 28, 2006 AND RECORDED AMONG THE LAND RECORDS OF ANNE ARUNDEL COUNTY MARYLAND IN LIBER 17538, FOLIO 713.

THE REQUIREMENTS OF SECTION 3-106, THE REAL PROPERTY ARTICLE, ANNOTATED CODE OF MARYLAND, 1996 REPLACEMENT VOLUME, (AS SUPPLEMENTED) AND ARTICLE 26, SEC. 3-304 OF THE ANNE ARUNDEL COUNTY CODE AS FAR AS THEY RELATE TO THE MAKING OF THESE PLATS AND SETTING OF MARKERS HAVE BEEN COMPLIED WITH.

10-02-06
 TIMOTHY J. MARTIN DATE
 PROFESSIONAL LAND SURVEYOR #10989
 BAY ENGINEERING INC.



WAIVER NOTES

THE FOLLOWING WAIVER(S) HAS BEEN GRANTED:

1. WAIVER #8972 TO DEVELOPER'S INTEREST AND SKETCH PLAN PHASE HAS BEEN APPROVED WITH CONDITIONS PER A DECISION LETTER FROM THE ANNE ARUNDEL COUNTY OFFICE OF PLANNING AND ZONING DATED JUNE 4, 2004 - ARTICLE 26, SECTION 1-105 AND ARTICLE 26, SUBTITLE 3.

THE FOLLOWING WAIVER IS PENDING A DECISION:

2. WAIVER #9404 TO THE REQUIRED RECREATION AREA HAS BEEN SUBMITTED TO THE COUNTY FOR REVIEW AND A WAIVER DECISION LETTER FROM THE ANNE ARUNDEL COUNTY OF PLANNING AND ZONING DATED XX-ARTICLE 26, SUBTITLE 1. GENERAL PROVISIONS, SECTION 3-104 COMMUNITY FACILITIES (c).

FOREST CONSERVATION NOTE

THERE SHALL BE NO CLEARING, TRIMMING, DUMPING, STORAGE, OR STRUCTURES WITHIN THE FOREST CONSERVATION PROPERTY EASEMENTS AS SHOWN ON THIS PLAT AND AS RECORDED WITHIN THE DECLARATION OF COVENANTS AND CONDITIONS RECORDED AMONG THE LAND RECORDS OF ANNE ARUNDEL COUNTY, MARYLAND IN LIBER FOLIO ALL FOREST CLEARING /PROTECTION/RETENTION SHALL BE COMPLETED IN ACCORDANCE WITH THE APPROVED FOREST CONSERVATION PLAN ON FILE WITH THE ANNE ARUNDEL COUNTY OFFICE OF PLANNING AND ZONING.

- 30% OF THE FOREST CONSERVATION PROPERTY IN THE CRITICAL AREA MAY BE UTILIZED FOR FOREST MITIGATION BANKING. THE TOTAL AREA TO BE UTILIZED FOR OFFSITE MITIGATION IN THE CRITICAL AREA WILL BE 26.31 ACRES.
- 50% OF THE FOREST CONSERVATION PROPERTY OUTSIDE THE CRITICAL AREA MAY BE UTILIZED FOR FOREST MITIGATION BANKING. THE TOTAL AREA TO BE UTILIZED FOR OFFSITE MITIGATION OUTSIDE THE CRITICAL AREA WILL BE 8.02 ACRES SUBJECT TO APPROVE BY THE OFFICE OF PLANNING AND ZONING.

FIRE COVERAGE NOTE

FIRE COVERAGE HAS BEEN PROVIDED WITH THE FIRE SUPPRESSION TANKS LOCATED ON WALNUT AVENUE BETWEEN CHERRY AVENUE AND CYPRESS AVENUE AND LOCATED ON MYRTLE AVENUE BETWEEN MAPLE AVENUE AND WALNUT AVENUE. SEE SHEET 2 OF 7 FOR TANK LOCATIONS.

PRIVATE NON COUNTY ROAD (40' R/W)

THE 40 FOOT WIDE PRIVATE RIGHT-OF-WAY SHOWN ON PLAT 4 IS A PRIVATE ROADWAY AND IS INTENDED TO PROVIDE ACCESS TO AND FROM LOTS 13 AND 14. THE OWNER OF THESE LOTS ARE RESPONSIBLE FOR MAINTENANCE OF THE ROADWAYS AND ARE NOT ELIGIBLE TO RECEIVE COUNTY SERVICES PROVIDED TO LOT OWNERS ABUTTING COUNTY ROADS. FURTHER SUBDIVISION OR ACCEPTANCE INTO THE COUNTY ROAD SYSTEM MAY BE ACCOMPLISHED ONLY IF THE PRIVATE ROADWAYS, ARE IMPROVED TO COUNTY ROAD STANDARDS AT THE LOT OWNER'S EXPENSE. SEE PRIVATE ROAD MAINTENANCE AGREEMENT RECORDED IN LIBER 18248; FOLIO 441.

PRIVATE NON COUNTY ROAD (50' R/W)

THE 50 FOOT WIDE PRIVATE RIGHT-OF-WAY SHOWN ON PLAT 3 IS A PRIVATE ROADWAY AND IS INTENDED TO PROVIDE ACCESS TO AND FROM LOTS 15, 16 & 17. THE OWNERS OF THESE LOTS ARE RESPONSIBLE FOR MAINTENANCE OF THE ROADWAYS AND ARE NOT ELIGIBLE TO RECEIVE COUNTY SERVICES PROVIDED TO LOT OWNERS ABUTTING COUNTY ROADS. FURTHER SUBDIVISION OR ACCEPTANCE INTO THE COUNTY ROAD SYSTEM MAY BE ACCOMPLISHED ONLY IF THE PRIVATE ROADWAYS, ARE IMPROVED TO COUNTY ROAD STANDARDS AT THE LOT OWNER'S EXPENSE. SEE PRIVATE ROAD MAINTENANCE AGREEMENT RECORDED IN LIBER 18248; FOLIO 438.

SITE TABULATIONS

- EXISTING ZONING: R2-RESIDENTIAL AND OS- OPEN SPACE
- PROPOSED USE: TWENTY (20) LOT SINGLE FAMILY DETACHED SUBDIVISION
- ACREAGE BREAKDOWN:

TOTAL SITE AREA = 113.845 ACRES ±
 PROPOSED LOTS 1-20 = 9.510 ACRES ±
 PROPOSED RECREATION AREA = 4,493 SF

D. ZONING:	REQUIRED	PROVIDED
ITEM		
R2 ZONE:		
MAXIMUM DENSITY	2.5 DU/ ACRE	0.18 DUS/A (BASED ON 113± NET ACRES)
MINIMUM LOT AREA	20,000 SF OR 15,000 W/ PUBLIC SEWER	15,000 S. MIN.
MAXIMUM LOT AREA	N/A	31,500 SF MAX.
LOT FRONTAGE AT BRL	80' MIN.	80' MIN.
MINIMUM LOT WIDTH -	80'	80' MIN.
BUILDING HEIGHT - (PRINCIPAL)	MAX 35' (ACCESSORY STRUCTURE MAX. 25')	

- TOTAL SITE AREA= 113.845 ACRES ±
 TOTAL PROPOSED LOT AREA (20 LOTS)= 9.51 ACRES ±
 PROPOSED: 20 SINGLE FAMILY HOUSES ON 20 INDIVIDUAL LOTS
 AREA TO BE PLACED IN A FOREST CONSERVATION LAND BANK- 103.95 ACRES ±
 PROPOSED DISTURBED AREA- 4.7 ACRES ±
 LDA ONSITE AREA- 12.59 ACRES ±
 RCA ONSITE AREA- 85.21 ACRES ±
 AREA OUTSIDE THE CRITICAL AREA- 16.05 ACRES ±

Notice to Title Examiners

- This plat has been approved for recording only and shall become null and void unless:
 - an inspection agreement or a public works agreement has been executed and recorded within 2 years after this plat is approved;
 - if required, a utility agreement has been executed and recorded within 2 years after this plat is approved; and
 - construction under each of these agreements has been continuous without interruption for more than one year at all times.
- A sale or contract of sale of any lots shown herein may not be made until necessary improvements have been:
 - a. satisfactorily completed under an inspection agreement and the subdivi. Jer has provided the County with a waiver of the liens from all contractors and subcontractors; or
 - b. if required satisfactorily guaranteed by a public works agreement, supported by a surety bond, certified check, cash, or irrevocable letter or credit from a local bank or other security as authorized by law, and
 - if required, satisfactorily guaranteed by a utility agreement, supported by a surety bond, certified check, cash, or irrevocable letter or credit from a local bank or other security as authorized by law.
- A building permit other than a sample permit may not be issued for any construction in this development until the requirements of paragraph 2 above have been complied with. Certificates of use and occupancy may not be issued for any building or structure in the subdivision unless improvements required under a utilities agreement have been completed and basic improvements required under a public works agreement by Article 26, Section 3-314 of the Anne Arundel County Code have been completed.

STORMWATER MANAGEMENT NOTE

STORMWATER MANAGEMENT HAS BEEN PROVIDED IN ACCORDANCE WITH ARTICLE 16, TITLE 3 OF THE ANNE ARUNDEL COUNTY CODE IN ACCORDANCE WITH THE APPROVED FINAL DEVELOPMENT PLANS ON FILE AT THE OFFICE OF PLANNING AND ZONING.

INDIVIDUAL GRINDER PUMP NOTE

A SEPARATE INDIVIDUAL GRINDER PUMP PLAN MUST BE APPROVED FOR EACH LOT, AND A SEPARATE UTILITY AGREEMENT MUST BE EXECUTED FOR EACH LOT PRIOR TO THE APPROVAL OF THE BUILDING AND GRADING PERMIT.

FEMA FLOODPLAIN NOTE

THE LOTS SHOWN HEREON ARE LOCATED IN FEMA FLOOD ZONE DESIGNATIONS A7(ELEV. 6), B, & C AS SHOWN ON FEMA FLOOD INSURANCE MAP 2400080061 C, DATED MAY 2, 1983. FUTURE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ARTICLE 16, TITLE 1 OF THE ANNE ARUNDEL COUNTY CODE.

CRITICAL AREA NOTE

THIS SITE IS LOCATED PARTIALLY WITHIN THE LDA AND RCA. DESIGNATION(S) OF THE CRITICAL AREA AND WILL BE SUBJECT TO ALL CRITICAL AREA REQUIREMENTS IN EFFECT AT THE TIME OF GRADING AND/OR BUILDING PERMIT.

FOREST CLEARING LIMITS

RESIDENTIAL LOTS LESS THAN ONE-HALF ACRE IN SIZE SHALL BE LIMITED TO THE MINIMUM NECESSARY TO ACCOMMODATE A HOUSE, DRIVEWAY, AND A REASONABLE AMOUNT OF YARD. RESIDENTIAL LOTS GREATER THAN A HALF-ACRE MAY NOT EXCEED 20% OF THE LOT EXCEPT THAT THE OFFICE OF PLANNING AND ZONING MAY APPROVE CLEARING UP TO 30%.

PRIVATE ROAD STATEMENT

THE MAINTENANCE OF THE PRIVATE ROADS SHOWN HEREON ARE THE RESPONSIBILITY OF THE ADJOINING LOT OWNERS, OR HOLLAND POINT CITIZENS ASSOCIATION.

RECREATION NOTE

HOMEOWNERS ON THE TWENTY (20) PROPOSED LOTS SHALL HAVE THE SAME RIGHTS AS ALL OTHER RESIDENTS OF HOLLAND POINT, SUCH AS PEDESTRIAN ACCESS TO THE BAY AND COMMON AREAS AND ANY OTHER BENEFITS AVAILABLE TO THE RESIDENTS OF HOLLAND POINT. AS PER A DEED DATED OCTOBER 2, 1980 AND RECORDED AT LIBER 3352, FOLIO 102.

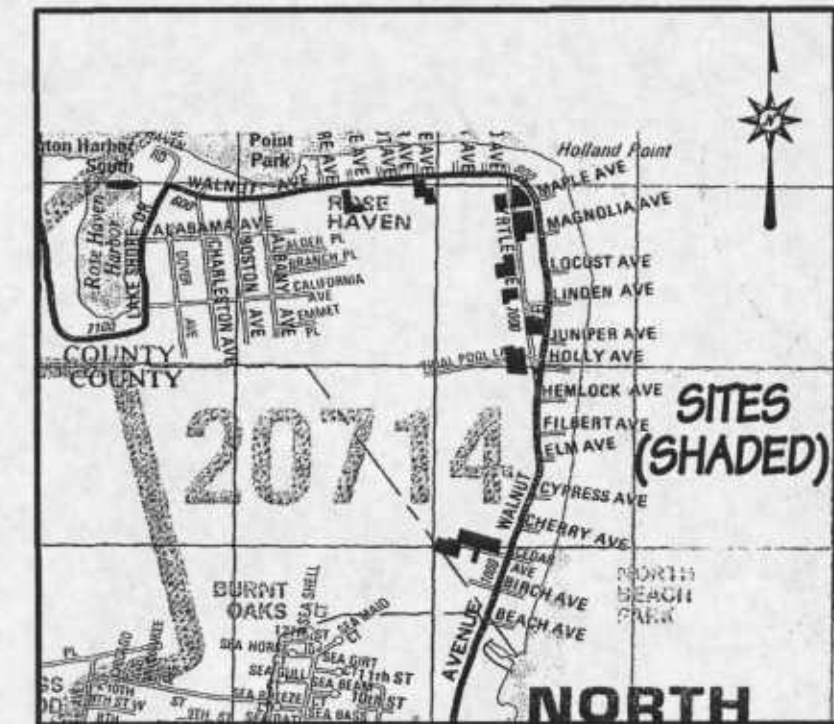
IMPERVIOUS SURFACE LIMITS

LOT SIZE (SQUARE FEET)	ALLOWABLE IMPERVIOUS SURFACE
All Proposed Lots	25% of Each Lot

NOTE: The Impervious surface limitation on the proposed lots may be as much as 25% impervious surface, provided the subdivision overall does not exceed 15% impervious surface.

AREA SUMMARY

LOT	S.F.	ACRES
1	30,154	0.692
2	18,495	0.425
3	17,006	0.390
4	18,280	0.42
5	17,248	0.395
6	17,161	0.393
7	15,000	0.344
8	15,000	0.344
9	22,500	0.516
10	20,184	0.463
11	16,815	0.386
12	20,444	0.469
13	26,400	0.606
14	21,271	0.488
15	15,000	0.344
16	27,500	0.631
17	27,500	0.631
18	31,500	0.723
19	15,750	0.362
20	21,250	0.488
REC. AREA	4,493	0.103
FOREST CONS. EASEMENT	4,528,180	103.952
50' PRIVATE R/W	7,500	0.172
40' PRIVATE R/W	4,800	0.110
TOTAL	4,959,433	113.845



Vicinity Map
 1" = 2000'

GENERAL NOTES

- THE PURPOSE OF THIS PLAT IS TO RECONFIGURE THE EXISTING LOTS IN NORTH BEACH PARK TO CREATE 20 LOTS AND 1 RECREATION LOT. THE BALANCE OF THE LOTS ARE BEING PLACED IN A FOREST CONSERVATION EASEMENT.
- THE COORDINATES AND BEARINGS SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE PLANE COORDINATE SYSTEM (NAD 83).
- #5823 = HOUSE NUMBER
- THE PROPERTIES SHOWN HEREON ARE ZONED R2. SEE BELOW FOR ZONING SETBACKS.
- ALL DEVELOPMENT SHALL CONFORM TO THE APPROVED FINAL DEVELOPMENT PLANS ON FILE WITH THE ANNE ARUNDEL COUNTY OFFICE OF PLANNING AND ZONING.

ALLOCATION NOTE

This subdivision plat is subject to the requirements of Article 13 Title 5 of the Anne Arundel County Code as it relates to the allocation of water and wastewater capacity. Failure to comply with the provisions of this law may cause this subdivision plat to become void or cause the properties shown hereon to be subject to a lien for unpaid charges.

RECREATION AREA

	S.F.	ACRES
RECREATION REQUIRED	20,000	0.469
ACTIVE RECREATION REQUIRED (75%)	15,000	0.344
PASSIVE RECREATION REQUIRED	5,000	0.115
PASSIVE RECREATION PROVIDED	0	0
ACTIVE RECREATION PROVIDED **	4,493	0.103
TOTAL RECREATION AREA	4,493	0.103

** SEE MODIFICATION NOTE

YARDS AND SETBACKS

R2 ZONING Yards (Principle Structure)	OS ZONING Yards (Principle Structure)
Front - 30' minimum Side - 7' minimum Rear - 25' minimum Corner Side- 20' minimum	Except as provided otherwise in Article 18 of the Anne Arundel Co. Code, a use or structure other than a pier, conservation use, passive recreation use, or beach shall be 50' from any lot line and 75' from any road ROW.
	Height- 45' Max. (Principal Structure) 25' Max. (Accessory Structure)

Plat 1 of 7 NORTH BEACH PARK RESUBDIVISION

RESUBDIVISION OF BLOCKS 23-40, 43-68 AND 70

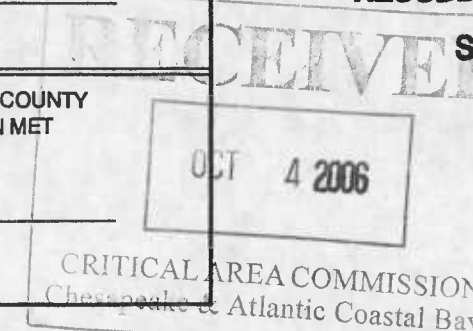
SUB# 04-068 PROJECT# 05-050
 TAX MAP 82 ~ BLOCK 21 ~ PARCEL 8

APPROVED: ANNE ARUNDEL COUNTY, MARYLAND
 DEPARTMENT OF PLANNING AND ZONING

PLANNING AND ZONING OFFICER
 JOSEPH RUTTER DATE

THE REQUIREMENTS OF THE ANNE ARUNDEL COUNTY
 MARYLAND HEALTH DEPARTMENT HAVE BEEN MET
 IN THE PREPARATION OF THIS PLAT

COUNTY HEALTH OFFICER DATE
 Private Individual Wells &
 Public Sewer System



AUGUST 2006
 Zip Code: 20714
 DRAWN BY: D. MILLER
 EIGHTH DISTRICT ~ A.A. Co. MARYLAND

Bay Engineering Inc.

Engineers, Planners and Surveyors
 190 Admiral Cochrane Drive, Suite 175
 Annapolis, Maryland 21401
 410.897.9290
 410.897.9295 fax
 email: info@bayengineering.com



N/F
ROSE HAVEN INC
LOT 1
TA #08-692-90212272
TM- 82, G-19, P-4
7065 ALBANY AVE
NORTH BEACH, MD 20714
P.B. 233 P. 32
3062 / 239

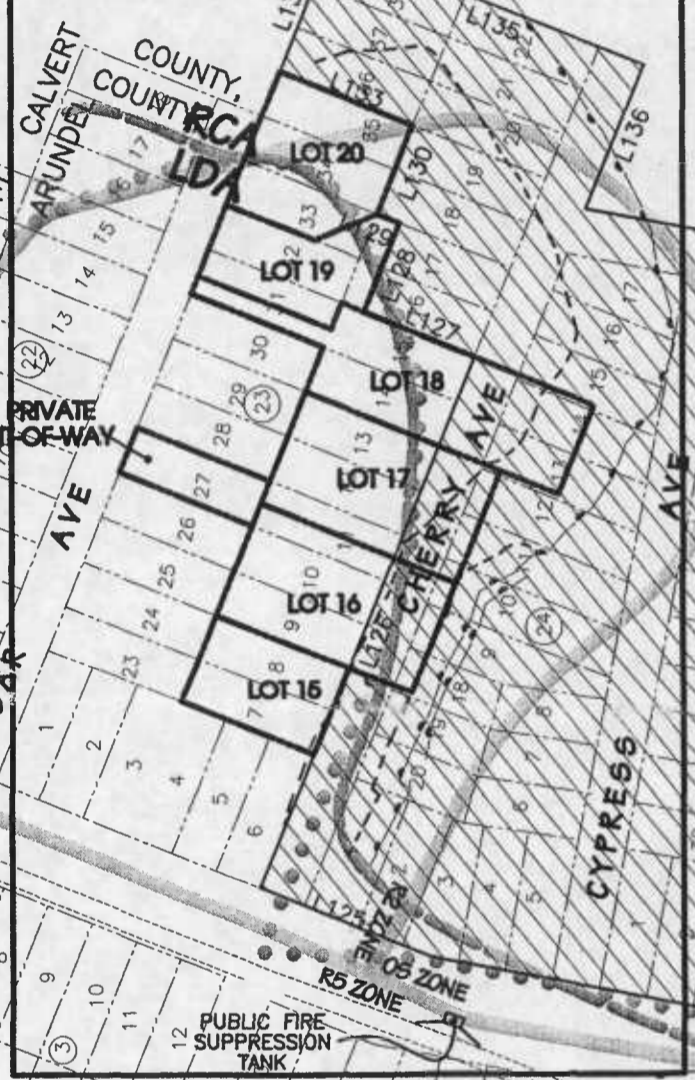
E 1445300
N 383000

CALVERT COUNTY, MARYLAND
ANNE ARUNDEL COUNTY, MARYLAND

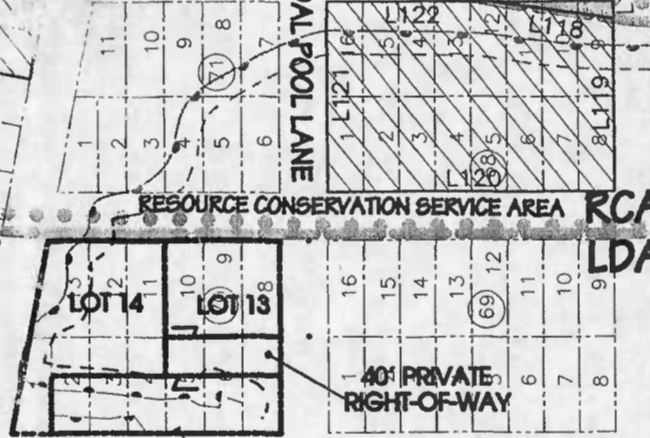
N/F
HERRINGTON PARTNERSHIP LLP
TA #08-579-00425600
TM- 84, G-3, P-4
7101 PINE AVE.
NORTH BEACH, MD 20714
9824 / 352
ZONED: OS

REFORESTATION EASEMENT/
CONSERVATION PROPERTY
25.19 ACRES
BK.10169 / 712

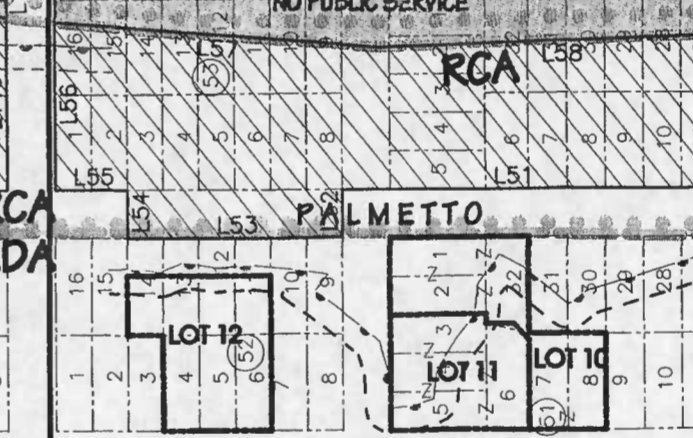
PLAT 3



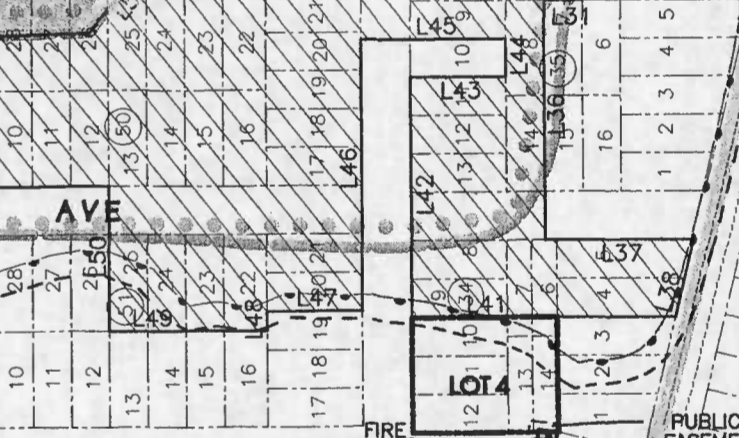
PLAT 4



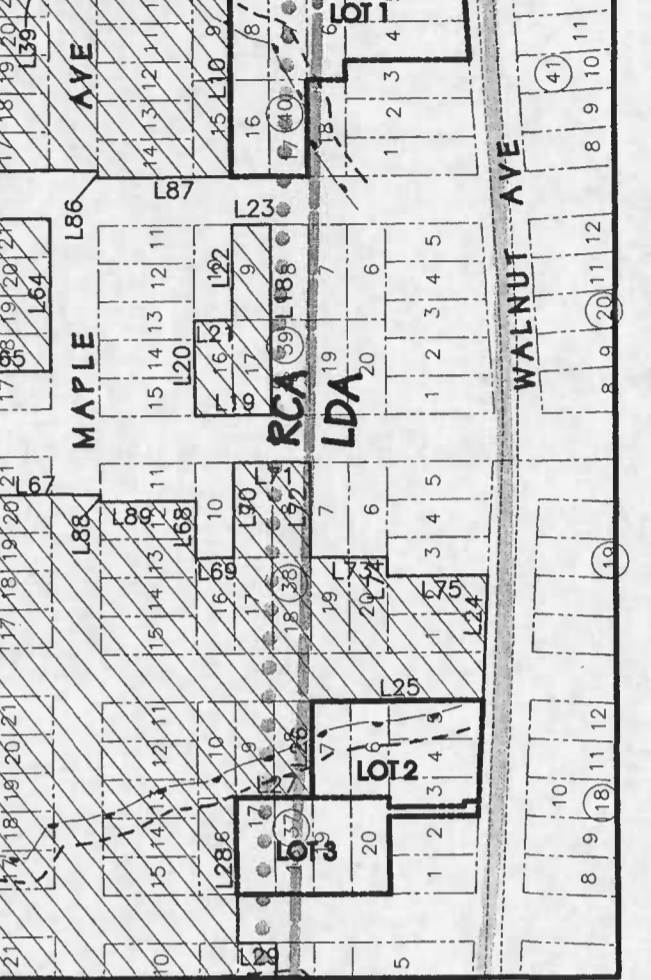
PLAT 5



PLAT 6



PLAT 7



LEGEND



CONSERVATION PROPERTY
INSIDE CRITICAL AREA

TOTAL CONSERVATION
PROPERTY IN CRITICAL AREA 3,829,060 87.903

SEE PLAT 3 & 4 FOR METES AND BOUNDS TABLE
OF CONSERVATION PROPERTY & NOTE ON PLAT 1



CONSERVATION PROPERTY
OUTSIDE CRITICAL AREA

TOTAL CONSERVATION PROPERTY
OUTSIDE CRITICAL AREA 699,120 16.049

ALL PARTIES IN INTEREST THERETO HAVE HEREUNTO AFFIXED
THEIR SIGNATURES INDICATING THEIR ASSENT AND WILLINGNESS
TO JOIN IN THIS PLAN OF SUBDIVISION.

S. HAMILTON CHANEY DATE

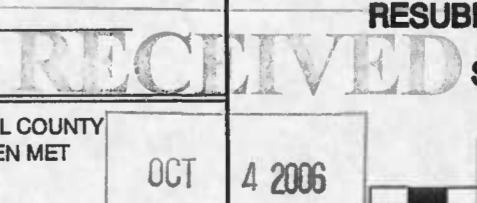
HOLLAND POINT CITIZENS ASSOCIATION DATE

APPROVED: ANNE ARUNDEL COUNTY, MARYLAND
DEPARTMENT OF PLANNING AND ZONING

PLANNING AND ZONING OFFICER
JOSEPH RUTTER DATE

THE REQUIREMENTS OF THE ANNE ARUNDEL COUNTY
MARYLAND HEALTH DEPARTMENT HAVE BEEN MET
IN THE PREPARATION OF THIS PLAT

COUNTY HEALTH OFFICER DATE
Private Individual Wells &
Public Sewer System



CRITICAL AREA COMMISSION
Chesapeake & Atlantic Coastal Bays

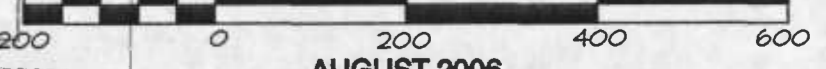
Plat 2 of 7
NORTH BEACH PARK RESUBDIVISION

RESUBDIVISION OF BLOCKS 23-40, 43-68 AND 70

SUB# 04-068 PROJECT# 05-050

TAX MAP 82 ~ BLOCK 21 ~ PARCEL 8

1"=200'



AUGUST 2006
Zip Code: 20714
DRAWN BY: D. MILLER
EIGHTH DISTRICT ~ A.A. Co. MARYLAND

Bay Engineering Inc.

Engineers, Planners and Surveyors

190 Admiral Cochrane Drive, Suite 175
Annapolis, Maryland 21401
410.897.9290
410.897.9295 fax
email: info@bayengineering.com



RECORDED IN BOOK PAGE PLAT NO.



CONSERVATION PROPERTY METES & BOUNDS

LINE	BEARING	DISTANCE
L1	N83°17'13"E	239.52'
L2	S06°39'26"E	275.07'
L3	S83°20'34"W	100.00'
L4	S06°39'26"E	40.00'
L5	N83°20'34"E	100.00'
L6	S06°39'26"E	72.18'
L7	S59°48'14"W	165.33'
L8	N74°25'26"W	96.34'
L9	N05°50'21"W	596.82'
L10	N83°17'13"E	200.00'
L11	S06°39'26"E	266.27'
L12	S06°39'26"E	49.05'
L13	S83°20'34"W	143.32'
L14	S83°20'34"W	56.68'
L15	N46°33'45"E	25.99'
L16	N68°03'16"E	127.00'
L17	N06°39'26"E	265.00'
L18	N83°17'13"E	200.00'
L19	S06°42'47"E	80.00'
L20	S83°17'13"W	100.00'
L21	N06°42'47"W	40.00'
L22	S83°17'13"W	100.00'
L23	N06°42'47"W	40.00'
L24	N86°05'13"E	130.16'
L25	S06°42'47"E	178.78'
L26	N83°17'13"E	100.00'
L27	S06°42'47"E	80.00'
L28	N83°17'13"E	150.00'
L29	N06°42'47"W	40.00'
L30	N83°17'13"E	250.00'
L31	S06°42'47"E	40.00'
L32	S83°17'13"W	7.47'
L33	N6°39'26"W	7.82'
L34	S83°20'34"W	300.00'
L35	S6°39'26"E	142.72'
L36	N83°17'13"E	250.00'
L37	N06°42'47"W	155.41'
L38	S82°55'47"E	82.37'
L39	N83°20'34"E	7.51'
L40	N6°42'47"W	190.13'
L41	S06°42'47"E	275.78'
L42	S83°17'13"W	250.00'
L43	N06°42'47"W	100.00'
L44	S83°17'13"W	40.00'
L45	S06°42'47"E	151.39'
L46	N83°20'34"E	282.48'
L47	S06°39'26"E	100.00'
L48	N83°20'34"E	20.00'
L49	S06°39'26"E	165.00'
L50	S83°20'34"W	150.00'
L51	S06°39'26"E	435.00'
L52	N83°20'34"E	50.00'
L53	S06°39'26"E	225.00'
L54	S83°20'34"W	50.00'
L55	S06°39'26"E	75.00'
L56	S83°20'34"W	175.99'
L57	N02°00'45"W	340.75'
L58	N08°33'54"W	376.51'
L59	N59°33'05"W	100.01'
L60	N82°02'22"W	244.45'
L61	S84°32'07"W	534.96'
L62	S68°03'16"W	194.82'
L63	N06°39'26"W	202.28'
L64	N83°20'34"E	160.00'
L65	S06°39'26"E	100.00'
L66	N83°20'34"E	130.00'



CONSERVATION PROPERTY INSIDE CRITICAL AREA
SEE PLAT 2 OF 7 FOR AREAS

CONSERVATION PROPERTY OUTSIDE CRITICAL AREA
SEE PLAT 2 OF 7 FOR AREAS

Bay Engineering Inc.
Engineers, Planners and Surveyors
190 Admiral Cochrane Drive, Suite 175
Annapolis, Maryland 21401
410.897.9290
410.897.9295 fax
email: info@bayengineering.com

ALL PARTIES IN INTEREST THERETO HAVE HEREUNTO AFFIXED THEIR SIGNATURES INDICATING THEIR ASSENT AND WILLINGNESS TO JOIN IN THIS PLAN OF SUBDIVISION.

S. HAMILTON CHANEY _____ DATE _____

HOLLAND POINT CITIZENS ASSOCIATION _____ DATE _____

APPROVED: ANNE ARUNDEL COUNTY, MARYLAND
DEPARTMENT OF PLANNING AND ZONING

PLANNING AND ZONING OFFICER
JOSEPH RUTTER _____ DATE _____

THE REQUIREMENTS OF THE ANNE ARUNDEL COUNTY
MARYLAND HEALTH DEPARTMENT HAVE BEEN MET
IN THE PREPARATION OF THIS PLAT

COUNTY HEALTH OFFICER _____ DATE _____
Private Individual Wells &
Public Sewer System

Plat 3 of 7

NORTH BEACH PARK RESUBDIVISION
RESUBDIVISION OF BLOCKS 23-40, 43-68 AND 70
SUB# 04-068 PROJECT# 05-050
TAX MAP 82 ~ BLOCK 21 ~ PARCEL 8
"1"=60'

AUGUST 2006
Zip Code: 20714
DRAWN BY: D. MILLER
EIGHTH DISTRICT ~ A.A. Co. MARYLAND

RECORDED IN BOOK _____ PAGE _____ PLAT NO. _____

CONSERVATION PROPERTY METES & BOUNDS

LINE	BEARING	DISTANCE
L67	N06°39'26"W	150.65'
L68	N83°17'13"E	60.00'
L69	N06°42'47"W	40.00'
L70	S83°17'13"W	100.00'
L71	N06°42'47"W	80.00'
L72	N83°17'13"E	100.00'
L73	N06°42'47"W	80.00'
L74	N83°17'13"E	20.00'
L75	N06°42'47"W	105.14'
L76	S05°50'21"E	128.18'
L77	N52°16'28"E	40.65'
L78	N75°22'07"E	238.68'
L79	S89°10'21"E	241.90'
L80	S84°53'05"E	195.64'
L81	S69°44'00"E	228.28'
L82	S50°50'08"E	234.98'
L83	S57°56'28"E	204.75'
L84	S37°40'11"E	102.43'
L85	S83°20'34"W	39.81'
L86	S83°17'13"W	7.47'
L87	S6°42'47"E	140.00'
L88	N83°17'13"E	7.47'
L89	N6°42'47"W	100.00'

L92	S06°39'26"E	130.00'
L93	N83°20'34"E	117.96'
L94	S37°40'11"E	86.56'
L95	S34°54'15"E	184.76'
L96	S06°39'26"E	217.65'
L97	S11°49'52"W	50.44'
L98	S85°39'26"E	150.00'
L99	S04°20'34"W	150.00'
L100	S85°39'25"E	100.00'
L101	S04°20'34"W	150.00'
L102	N85°39'25"W	1652.05'
L103	N28°44'36"W	67.21'
L104	N57°10'01"E	45.56'
L105	N14°00'03"W	522.00'
L106	N05°50'21"W	564.44'
L107	S83°20'34"W	43.91'
L108	N06°39'26"W	40.00'
L109	N83°20'34"E	19.87'
L110	S37°40'11"E	46.67'
L111	N83°20'34"E	180.13'
L112	S06°39'26"E	316.95'
L113	N83°20'34"E	32.04'
L114	N06°39'26"W	40.00'
L115	S83°20'34"W	56.09'
L116	N06°39'26"W	125.63'
L117	N83°20'34"E	18.85'
L118	S01°52'42"W	127.04'
L119	N83°20'34"E	181.15'
L120	S06°39'26"E	300.00'
L121	S83°20'34"W	200.00'
L122	N06°39'26"W	174.37'
L123	S85°39'25"E	750.00'
L124	S04°20'34"W	1176.78'
L125	S15°32'27"W	194.59'
L126	N74°27'33"W	600.00'
L127	S15°32'27"W	125.00'
L128	N74°27'33"W	90.00'
L129	N15°32'27"E	25.00'
L130	N74°27'33"W	100.00'

L133	S15°32'27"W	150.00'
L134	N74°27'33"W	149.30'
L135	N15°32'27"E	350.00'
L136	S74°27'33"E	162.40'
L137	N04°20'34"E	1015.80'
L138	S85°39'25"E	50.00'
L139	N04°20'34"E	150.00'
L140	N83°20'34"E	200.00'
L141	S06°39'26"E	225.00'
L142	S83°20'34"W	100.00'
L143	N06°39'26"W	187.50'
L144	N06°39'26"W	37.50'
L145	N83°20'34"E	100.00'
L146	S06°39'26"E	80.00'
L147	N83°20'34"E	100.00'
L148	S06°39'26"E	120.00'
L149	S83°20'34"W	200.00'
L150	N06°39'26"W	200.00'
L151	N83°20'34"E	94.59'
L152	S02°53'43"E	37.58'
L153	S86°31'57"E	85.81'
L154	S04°20'34"W	84.80'
L155	N06°39'26"W	179.87'

CONSERVATION PROPERTY METES & BOUNDS

LINE	BEARING	DISTANCE
L156	N76°17'20"E	9.12'
L157	N50°38'42"E	12.92'
L158	N60°32'48"E	17.59'
L159	S86°54'21"E	25.87'
L160	N74°33'23"E	23.27'
L161	N56°56'42"E	35.04'
L162	N70°27'29"E	31.04'
L163	N55°33'00"E	15.99'

ALSO SEE PLAT 3



ACTIVE RECREATION AREA METES & BOUNDS

LINE	BEARING	DISTANCE
B1	N76°17'20"E	9.12'
B2	N50°38'42"E	12.92'
B3	N60°32'48"E	17.59'
B4	S86°54'21"E	25.87'
B5	N74°33'23"E	23.27'
B6	N56°56'42"E	35.04'
B7	N70°27'29"E	31.04'
B8	N55°33'00"E	15.99'
B9	S04°20'34"W	65.20'
B10	N06°39'26"W	7.63'

CONSERVATION PROPERTY INSIDE CRITICAL AREA
SEE PLAT 2 OF 7 FOR AREAS

CONSERVATION PROPERTY OUTSIDE CRITICAL AREA
SEE PLAT 2 OF 7 FOR AREAS



ALL PARTIES IN INTEREST THERETO HAVE HEREUNTO AFFIXED THEIR SIGNATURES INDICATING THEIR ASSENT AND WILLINGNESS TO JOIN IN THIS PLAN OF SUBDIVISION.

S. HAMILTON CHANEY DATE _____

HOLLAND POINT CITIZENS ASSOCIATION DATE _____

APPROVED: ANNE ARUNDEL COUNTY, MARYLAND DEPARTMENT OF PLANNING AND ZONING

PLANNING AND ZONING OFFICER JOSEPH RUTTER DATE _____

COUNTY HEALTH OFFICER DATE _____ Private Individual Wells & Public Sewer System



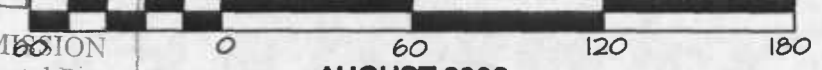
NORTH BEACH PARK RESUBDIVISION

RESUBDIVISION OF BLOCKS 23-40, 43-68 AND 70

SUB# 04-068 PROJECT# 05-050

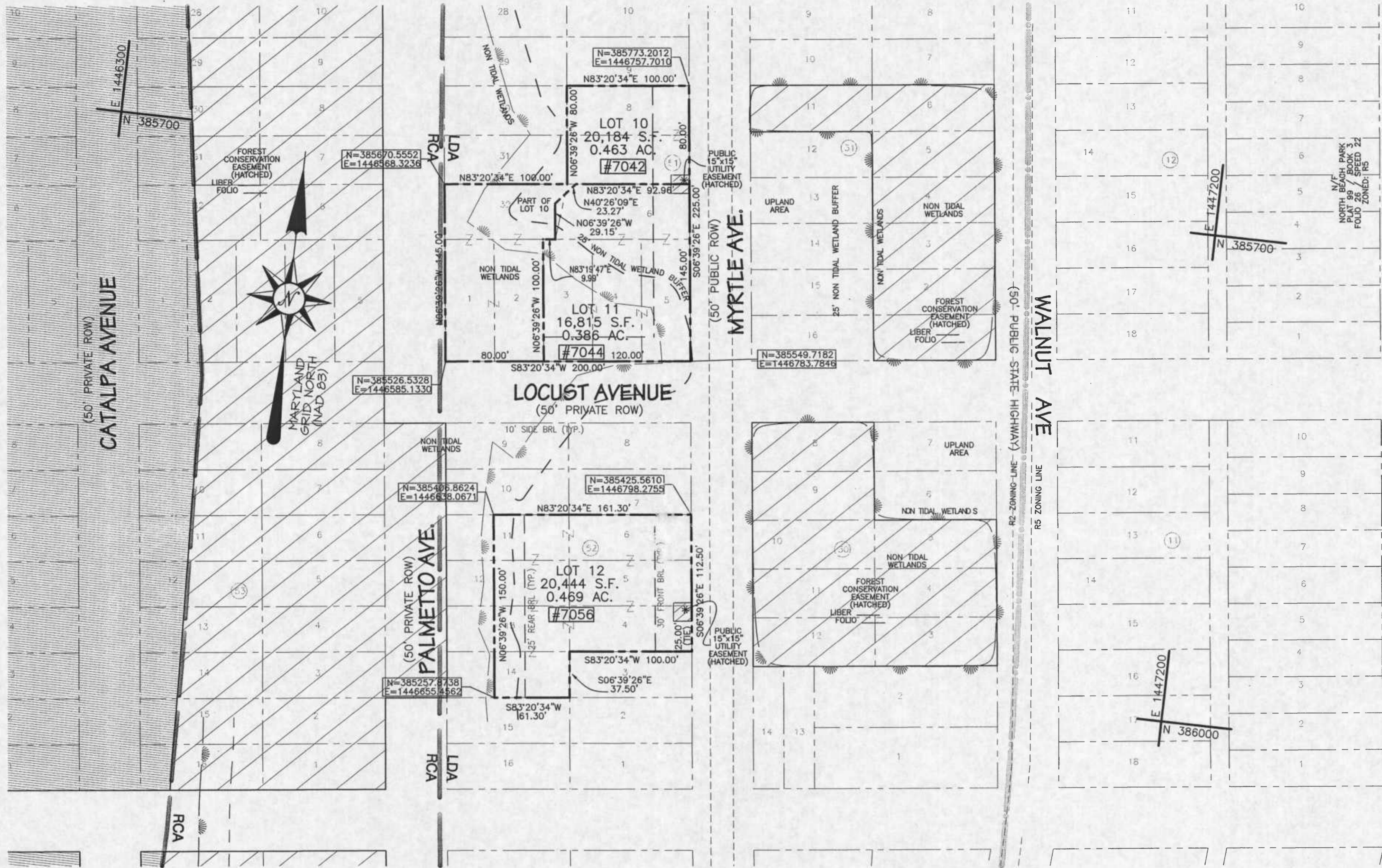
TAX MAP 02 ~ BLOCK 21 ~ PARCEL 8

1"=60'



AUGUST 2006
Zip Code: 20714
DRAWN BY: D. MILLER
EIGHTH DISTRICT ~ A.A. Co. MARYLAND

Bay Engineering Inc.
Engineers, Planners and Surveyors
190 Admiral Cochrane Drive, Suite 175
Annapolis, Maryland 21401
410.897.9290
410.897.9295 fax
email: info@bayengineering.com



Bay Engineering Inc.
Engineers, Planners and Surveyors

190 Admiral Cochrane Drive, Suite 175
Annapolis, Maryland 21401
410.897.9290
410.897.9295 fax
email: info@bayengineering.com



	CONSERVATION PROPERTY INSIDE CRITICAL AREA SEE PLAT 2 OF 7 FOR AREAS
	CONSERVATION PROPERTY OUTSIDE CRITICAL AREA SEE PLAT 2 OF 7 FOR AREAS

ALL PARTIES IN INTEREST THERETO HAVE HEREUNTO AFFIXED THEIR SIGNATURES INDICATING THEIR ASSENT AND WILLINGNESS TO JOIN IN THIS PLAN OF SUBDIVISION.

S. HAMILTON CHANEY DATE

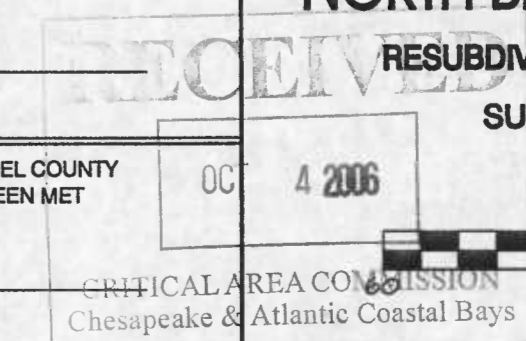
HOLLAND POINT CITIZENS ASSOCIATION DATE

APPROVED: ANNE ARUNDEL COUNTY, MARYLAND
DEPARTMENT OF PLANNING AND ZONING

PLANNING AND ZONING OFFICER
JOSEPH RUTTER DATE

THE REQUIREMENTS OF THE ANNE ARUNDEL COUNTY
MARYLAND HEALTH DEPARTMENT HAVE BEEN MET
IN THE PREPARATION OF THIS PLAT

COUNTY HEALTH OFFICER DATE
Private Individual Wells &
Public Sewer System



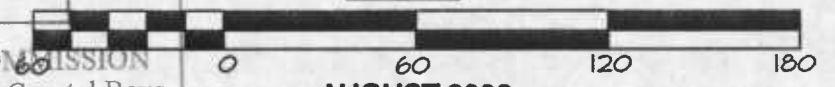
Plat 5 of 7
NORTH BEACH PARK RESUBDIVISION

RESUBDIVISION OF BLOCKS 23-40, 43-68 AND 70

SUB# 04-068 PROJECT# 05-050

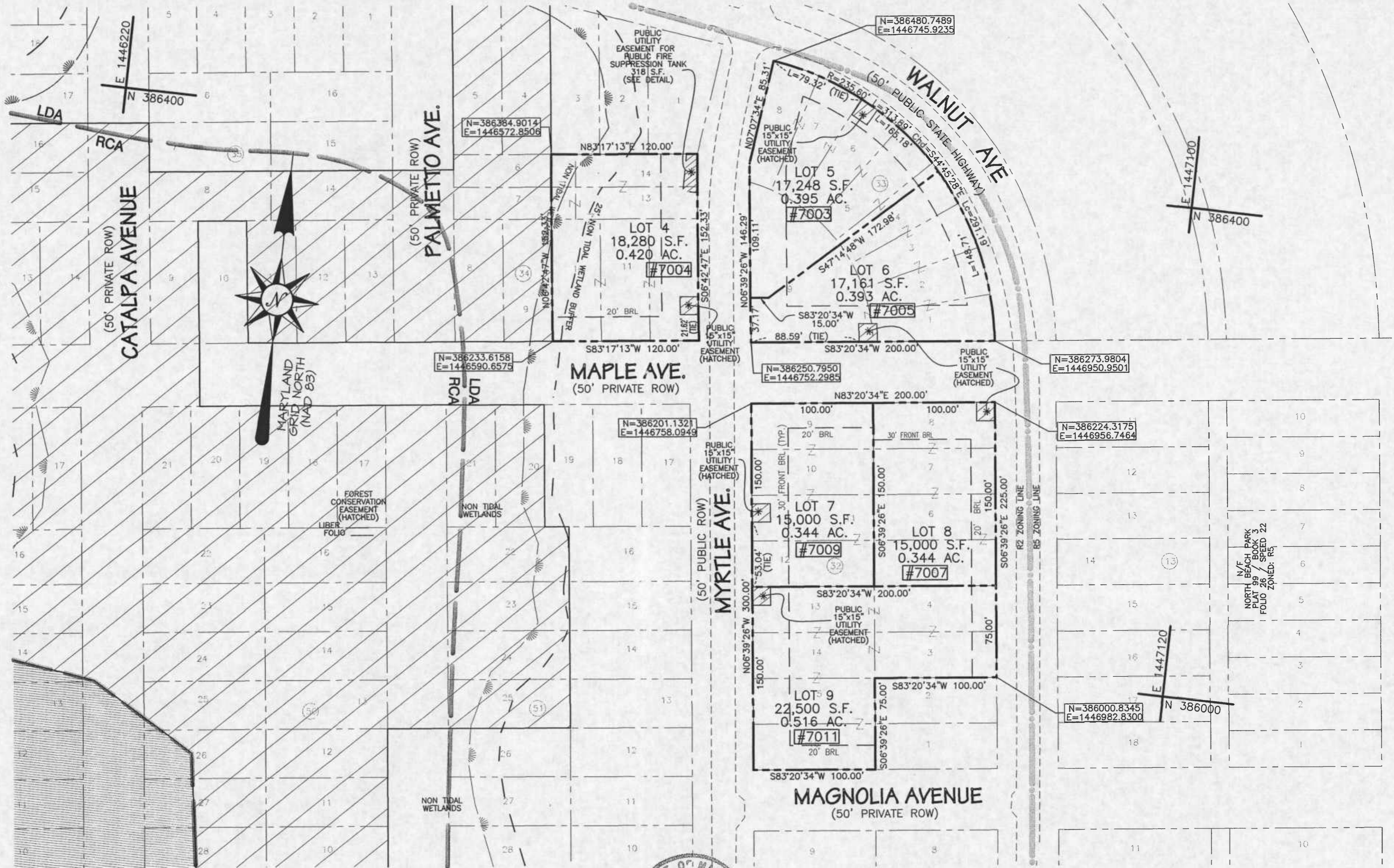
TAX MAP 82 ~ BLOCK 21 ~ PARCEL 8

1"=60'



AUGUST 2006
Zip Code: 20714
DRAWN BY: D. MILLER
EIGHTH DISTRICT ~ A.A. Co. MARYLAND

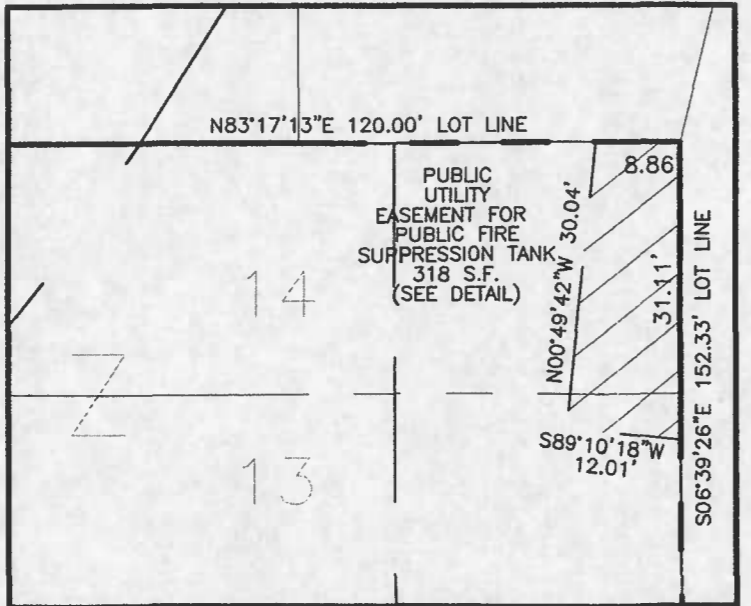
RECORDED IN BOOK PAGE PLAT NO.



ALL PARTIES IN INTEREST THERETO HAVE HEREUNTO AFFIXED THEIR SIGNATURES INDICATING THEIR ASSENT AND WILLINGNESS TO JOIN IN THIS PLAN OF SUBDIVISION.

S. HAMILTON CHANEY _____ DATE _____
 HOLLAND POINT CITIZENS ASSOCIATION _____ DATE _____

FIRE SUPPRESSION TANK EASEMENT



CONSERVATION PROPERTY INSIDE CRITICAL AREA
 SEE PLAT 2 OF 7 FOR AREAS

CONSERVATION PROPERTY OUTSIDE CRITICAL AREA
 SEE PLAT 2 OF 7 FOR AREAS

RECORDED IN BOOK _____ PAGE _____ PLAT NO. _____

APPROVED: ANNE ARUNDEL COUNTY, MARYLAND
 DEPARTMENT OF PLANNING AND ZONING

PLANNING AND ZONING OFFICER _____ DATE _____
 JOSEPH RUTTER

THE REQUIREMENTS OF THE ANNE ARUNDEL COUNTY
 MARYLAND HEALTH DEPARTMENT HAVE BEEN MET
 IN THE PREPARATION OF THIS PLAT

COUNTY HEALTH OFFICER _____ DATE _____
 Private Individual Wells &
 Public Sewer System

Plat 6 of 7
NORTH BEACH PARK RESUBDIVISION
 RESUBDIVISION OF BLOCKS 23-40, 43-68 AND 70

SUB# 04-068 PROJECT# 05-050
 TAX MAP 82 ~ BLOCK 21 ~ PARCEL 8

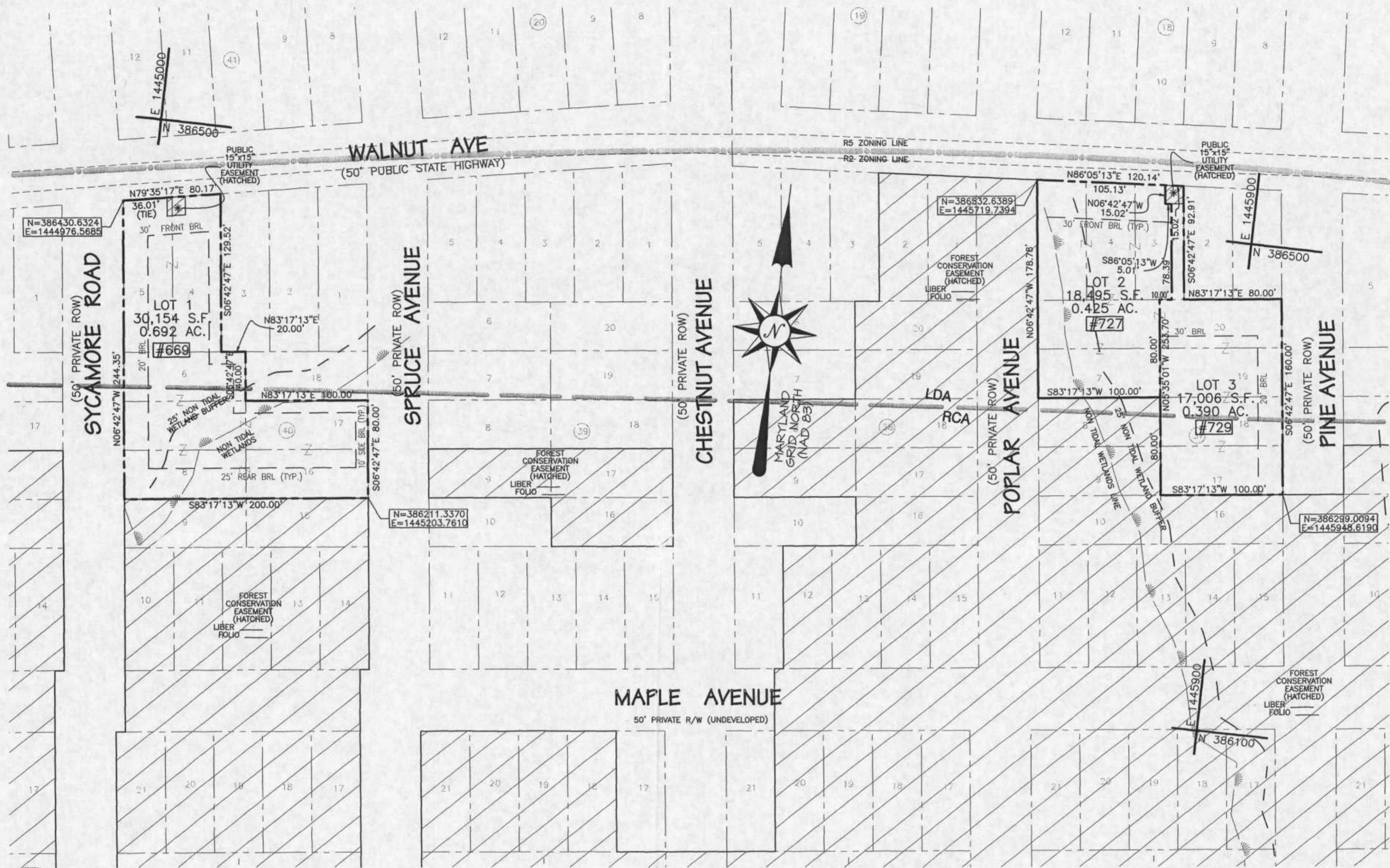
RECEIVED
 OCT 4 2006

CRITICAL AREA COMMISSION
 Chesapeake & Atlantic Coastal Bays


AUGUST 2006
 Zip Code: 20714
 DRAWN BY: D. MILLER
 EIGHTH DISTRICT ~ A.A. Co. MARYLAND


Bay Engineering Inc.
 Engineers, Planners and Surveyors

190 Admiral Cochrane Drive, Suite 175
 Annapolis, Maryland 21401
 410.897.9290
 410.897.9295 fax
 email: info@bayengineering.com



Bay Engineering Inc.
 Engineers, Planners and Surveyors
 190 Admiral Cochrane Drive, Suite 175
 Annapolis, Maryland 21401
 410.897.9290
 410.897.9295 fax
 email: info@bayengineering.com

 **CONSERVATION PROPERTY INSIDE CRITICAL AREA**
 SEE PLAT 2 OF 7 FOR AREAS

 **CONSERVATION PROPERTY OUTSIDE CRITICAL AREA**
 SEE PLAT 2 OF 7 FOR AREAS

ALL PARTIES IN INTEREST THERETO HAVE HEREUNTO AFFIXED THEIR SIGNATURES INDICATING THEIR ASSENT AND WILLINGNESS TO JOIN IN THIS PLAN OF SUBDIVISION.

S. HAMILTON CHANEY _____ DATE _____

HOLLAND POINT CITIZENS ASSOCIATION _____ DATE _____

APPROVED: ANNE ARUNDEL COUNTY, MARYLAND
 DEPARTMENT OF PLANNING AND ZONING

PLANNING AND ZONING OFFICER
 JOSEPH RUTTER _____ DATE _____

THE REQUIREMENTS OF THE ANNE ARUNDEL COUNTY
 MARYLAND HEALTH DEPARTMENT HAVE BEEN MET
 IN THE PREPARATION OF THIS PLAT

COUNTY HEALTH OFFICER _____ DATE _____
 Private Individual Wells &
 Public Sewer System

Plat 7 of 7
NORTH BEACH PARK RESUBDIVISION
 RESUBDIVISION OF BLOCKS 23-40, 43-68 AND 70
 SUB# 04-068 PROJECT# 05-050
 TAX MAP 82 ~ BLOCK 21 ~ PARCEL 8
 1"=60'

AUGUST 2006
 Zip Code: 20714
 DRAWN BY: D. MILLER
 EIGHTH DISTRICT ~ A.A. Co. MARYLAND

RECORDED IN BOOK _____ PAGE _____ PLAT NO. _____

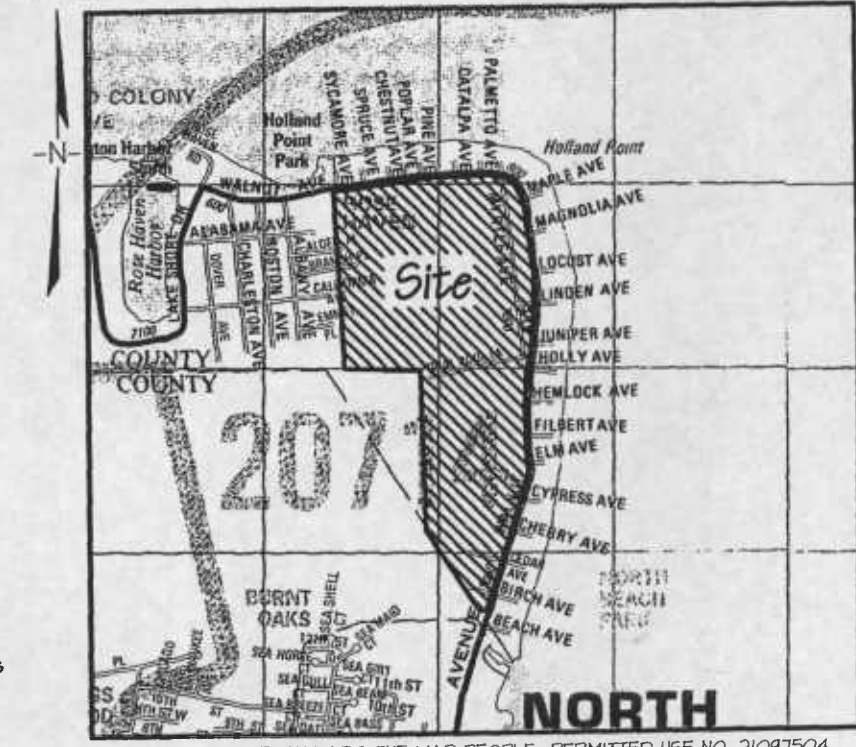
GENERAL NOTES

- PROPERTY IS SHOWN ON TAX MAP 82, BLOCK 21, PARCEL 8 IN NORTH BEACH, MD 20714 IN ANNE ARUNDEL COUNTY
PROPERTY INFORMATION AS FOLLOWS:
OWNER/DEVELOPER:
PARCEL 8
HOLLAND POINT LLC
5682 GRENOCK RD.
LOTHIAN, MD 20711
SITE: NORTH BEACH PARK SUBDIVISION
NORTH BEACH, MD 20711
PHONE: 410-867-4343
C/O HAMILTON CHANEY
- EXISTING ZONING OF THE SITE IS R2 AND OS.
- SITE ADDRESS: NORTH BEACH, MD 20714
- SITE AREA IS 113.895 ACRES±
- PROPERTY OUTLINES SHOWN HEREON ARE AS SHOWN ON A BOUNDARY SURVEY PREPARED BY BAY ENGINEERING, INC., DATED FEBRUARY 2005.
- EXISTING TOPOGRAPHY AND FEATURES SHOWN HEREON WERE TAKEN FROM FIELD RUN TOPOGRAPHY BY BAY ENGINEERING (FALL OF 2004) AND EXISTING UTILITIES UTILITIES AND FEATURES OF SURROUNDING PROPERTIES WERE TAKEN FROM A COMBINATION OF EXISTING COUNTY PUBLIC DRAWINGS AND SITE RECORDS.
- THE SITE IS BOTH LOCATED (LDA & RCA) AND NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
- SITE UTILITIES ARE AS FOLLOWS:
- WATER - PROPOSED PRIVATE WELLS
- SANITARY SEWER - EXISTING PUBLIC (PROPOSED LOTS TO BE SERVED BY GRINDER PUMPS)
- STORM DRAINAGE - EXISTING PUBLIC
- THE PROPERTY DESCRIBED HEREON IS LOCATED IN THE FLOOD HAZARD ZONE "C" (AREAS OF MINIMAL FLOODING), ZONE "B" (AREAS BETWEEN LIMITS OF THE 100 YEAR FLOOD AND THE 500 YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100 YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY A LEVEE FROM THE BASE FLOOD) AND ZONE "A7" (AREAS OF 100 YEAR FLOOD) AS DELINEATED ON THE FIRM FLOOD INSURANCE MAP # 24008-0061 DATED MAY 2, 1983 FOR SAID COUNTY AND DISTRIBUTED BY THE FEDERAL EMERGENCY MANAGEMENT FACILITY.
- THE EXISTING UTILITIES AND OBSTRUCTIONS SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR TO HIS OWN SATISFACTION PRIOR TO ANY CONSTRUCTION. ANY UTILITIES DAMAGED DUE TO THE CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.

FINAL DEVELOPMENT PLANS FOR NORTH BEACH PARK RESUBDIVISION RESUBDIVISION OF BLOCKS 23-40, 43-40, & 70 A Single Family Subdivision Tax Map #82 - Block #21 - Parcel #8 SUBDIVISION # 04-068 ~ PROJECT # 05-050 EIGHT DISTRICT ANNE ARUNDEL COUNTY, MARYLAND

STANDARD RESPONSIBILITY NOTE :

- Developer's Certification:
I (we) certify that:
a) All development and construction will be done in accordance with this sediment and erosion control plan, and further, authorize the right of entry for periodic on-site evaluation by the Anne Arundel Soil Conservation District Board of Supervisors or their authorized agents.
b) Any responsible personnel involved in the construction project will have a certificate of attendance at a Department of Natural Resources approved training program for the control of sediment and erosion before beginning the project.
RESPONSIBLE PERSONNEL ON SITE:
To be determined at permit issuance.
- The appropriate enclosure will be constructed and maintained on sediment basin(s) included in this plan. Such structure(s) will be in compliance with Article 21, Section 2-304 of the Anne Arundel County Code.
- The developer is responsible for the acquisition of all easements, rights and/or rights-of-way that may be required for the sediment and erosion control practices, storm water management practices and the discharge of storm water onto or across adjacent or downstream properties included in this plan. He is also responsible for the acquisition of all easements, rights and/or rights of way that may be required for grading and/or work on adjacent properties included in this plan.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within seven calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1) and fourteen days as to all other disturbed or graded areas on the project site.
- The sediment control approvals on this plan extend only to areas and practices identified as proposed work.
- The approval of this plan for sediment and erosion control does not relieve the owner/developer/contractor/consultant from complying with any Federal/State/County requirements pertaining to environmental issues.
- The owner/developer/contractor must request that the Department of Inspections and Permits approve work completed in accordance with the approved erosion and sediment control plan, the grading or building permit, and the Ordinance.
- On all sites with disturbed areas in excess of two acres, approval of the Department of Inspections and Permits shall be required on completion of installation of perimeter erosion and sediment grading. Other building or grading inspection approvals may not be authorized until the initial approval by the Department of Inspections and Permits is given.
- Approval shall be requested on final stabilization of all sites with disturbed areas in excess of two acres before removal of controls.
- It shall be the responsibility of the owner/developer/contractor to notify the Engineer of any changes to these approved plans prior to said changes being made. Said changes may require a new review and approval by the appropriate agencies responsible for approving these plans. The failure of the owner/developer/contractor to obtain the required approval from said appropriate agencies and the Engineer places the full responsibility for any delay or stoppage of work on the owner/developer/contractor.
- The contractor shall call MISS UTILITY, 1-800-251-TITI, 48 hours prior to the start of any excavation or construction.
- The contractor shall notify the Anne Arundel County Department of Inspections and Permits at least 48 hours prior to the start of any excavation or construction.



Vicinity Map
1" = 2000'

Signature(s) of Owner _____ Date _____
Name: Holland Point, LLC Title: Owner/Developer
Address: 5682 Grenock Road
Lothian, MD 20711
c/o Hamilton Chaney
Phone: 410-867-4343

SITE TABULATIONS

- EXISTING ZONING: R2-RESIDENTIAL AND OS- OPEN SPACE
- PROPOSED ZONING: NO CHANGE
- PROPOSED USE: TWENTY (20) LOT SINGLE FAMILY DETACHED SUBDIVISION
- ACREAGE BREAKDOWN:
TOTAL SITE AREA = 113.895 ACRES ±
PROPOSED LOTS = 20 = 9.51 ACRES ±
PROPOSED RECREATION AREA = 13,833 SF (SEE WAIVER NOTE)
PROPOSED OPEN SPACE AREA = N/A (EXISTING)
PROPOSED 100 YEAR FLOODPLAIN = N/A
- ZONING:
ITEM REQUIRED PROVIDED
R2 ZONE: 2.5 DU/ ACRE 0.18 DUS/ACRE (BASED ON 113± NET ACRES)
MAXIMUM DENSITY
MINIMUM LOT AREA 20,000 SF OR 15,000 W/ PUBLIC SEWER 15,000 SF MIN.
MAXIMUM LOT AREA N/A 31,500 SF MAX.
LOT FRONTAGE AT BRL 80' MIN. 80' MIN.
BUILDING SETBACKS (PRINCIPAL STRUCTURE) FRONT - 30' (20' FOR VARIATION) 30' MIN. 7/20' MIN. & 20' COMBINED
SIDE - 7' MIN. & 20' COMBINED 20' MIN.
CORNER - 20' MIN. 25' MIN.
REAR - 25'
MAJOR ROADWAYS - N/A 40' MIN. 40' MIN.
OS ZONE MAJOR ROADWAYS - 50' MIN. 50' MIN. 75' MIN.
MINIMUM LOT WIDTH - 80' 80' MIN.
- RECREATION AREA:
REQUIRED (1,000 SF/LOT) = 20,000 SF
EXISTING = 0 SF
PROVIDED = 13,833 SF
TOTAL RECREATION AREA = 13,833 SF (SEE WAIVER NOTE)
DRY GROUND RECREATION AREA: EXISTING = 0 SF
PROPOSED = 4,526 SF
ACTIVE REQUIRED (75% OF REQUIRED) = 15,000 SF
ACTIVE PROVIDED = 4,526 SF (OF WHICH 4,526 S.F. IS LESS THAN 3% GRADE)
PASSIVE REQUIRED (25% OF REQUIRED) = 5,000 SF
PASSIVE PROVIDED = 9,307 SF
- TOTAL SITE AREA = 113.895 ACRES ±
TOTAL PROPOSED LOT AREA (20 LOTS) = 9.51 ACRES ±
PROPOSED: 20 SINGLE FAMILY HOUSES ON 20 INDIVIDUAL LOTS
AREA TO BE PLACED IN FOREST A CONSERVATION LAND BANK- 103.78 ACRES ±
PROPOSED DISTURBED AREA- 4.7 ACRES ±
LDA ON SITE AREA- 12.07 ACRES ±
RCA ON SITE AREA- 16.22 ACRES ±
AREA OUTSIDE THE CRITICAL AREA- 16.05 ACRES ±

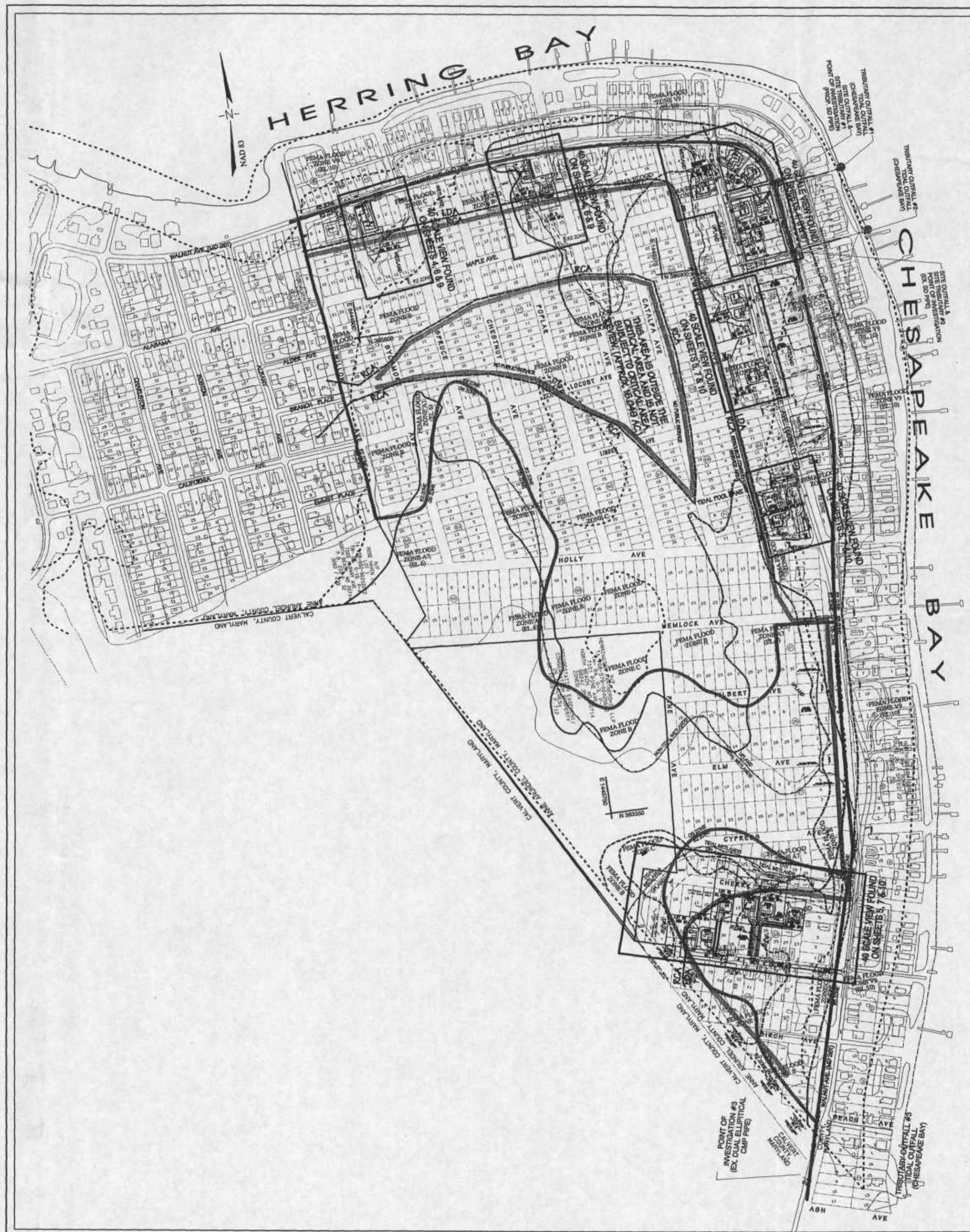
WAIVER NOTES

- THE FOLLOWING WAIVER(S) HAS(HAVE) BEEN GRANTED:
- WAIVER #8972 TO DEVELOPER'S INTEREST AND SKETCH PLAN PHASE HAS BEEN APPROVED WITH CONDITIONS PER A DECISION LETTER FROM THE ANNE ARUNDEL COUNTY OFFICE OF PLANNING AND ZONING DATED JUNE 4, 2004 - ARTICLE 26, SECTION 1-105 AND ARTICLE 26, SUBTITLE 3.
 - THE FOLLOWING WAIVER IS PENDING A DECISION:
2. WAIVER #9404 TO THE REQUIRED RECREATION AREA HAS BEEN SUBMITTED TO THE COUNTY FOR REVIEW AND A WAIVER DECISION LETTER FROM THE ANNE ARUNDEL COUNTY OF PLANNING AND ZONING DATED XX- ARTICLE 26, SUBTITLE 1. GENERAL PROVISIONS, SECTION 3-104 COMMUNITY FACILITIES (c).

CONSULTANT'S CERTIFICATION:

"The developer's plans to control silt and erosion is adequate to contain the silt and erosion on the property covered by the plan. I certify that this plan of erosion and sediment control represents a practical and workable plan based on my personal knowledge of this site, and was prepared in accordance with the requirements of the Anne Arundel Soil Conservation District Plan Submittal Guidelines and the current Maryland Standards and Specifications for Sediment and Erosion Control. I have reviewed this erosion and sediment control plan with the owner/developer."

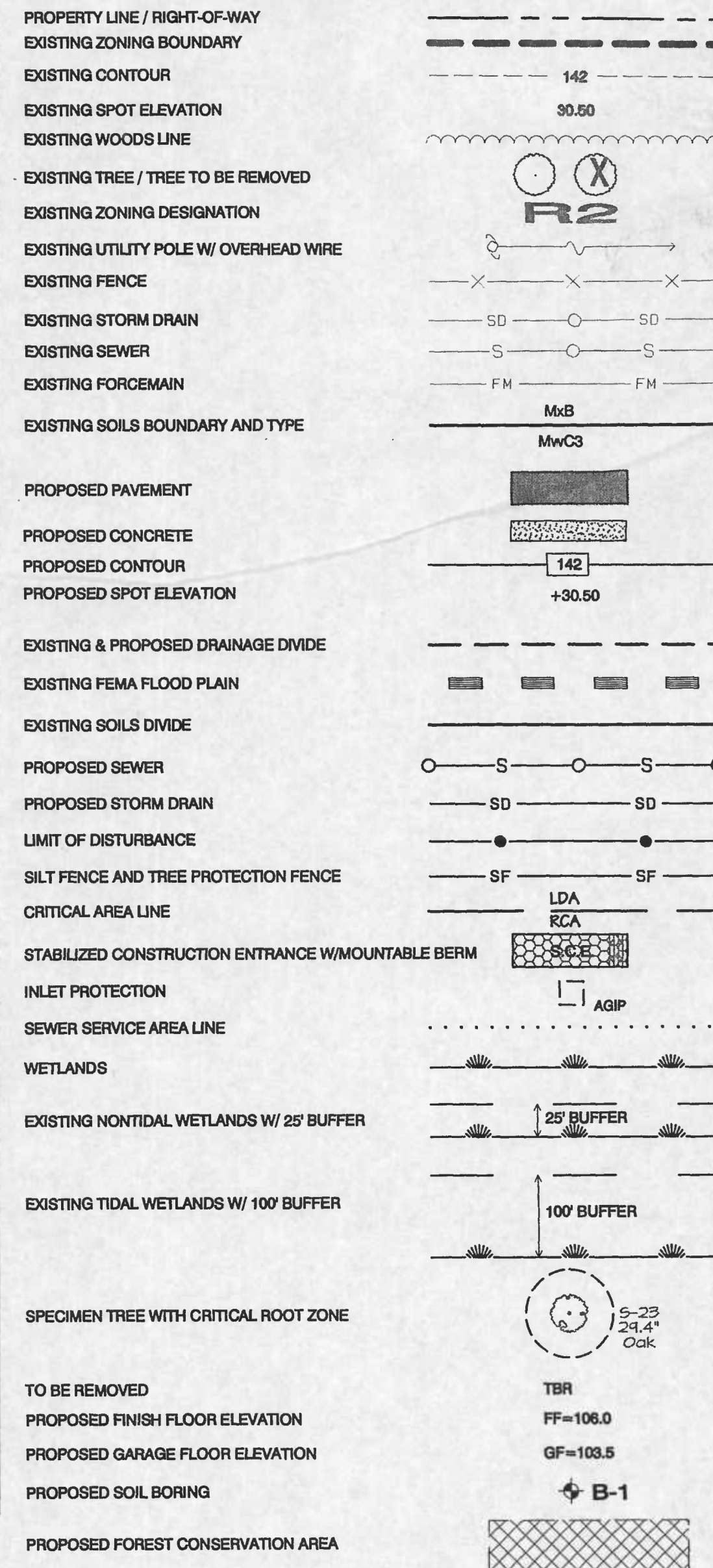
Signature _____ Jeffrey L. Bugno, P.E.
MD.P.E. License # 28346 180 Admiral Cochrane Drive, Suite 175
Annapolis, MD 21401
Phone: 410-867-9290



OVERALL SUBDIVISION BOUNDARY

SCALE: 1" = 400'

LEGEND



SEQUENCE OF CONSTRUCTION

- CONTRACTOR/DEVELOPER TO CONTACT THE DEPARTMENT OF INSPECTIONS & PERMITS AT 223-TI80 48 HOURS PRIOR TO THE START OF CONSTRUCTION. WITH INSPECTOR'S APPROVAL WORK MAY BEGIN. ... 2 DAYS
- INSTALL TREE PROTECTION FENCING AND SIGNAGE. ... 2 WEEKS
- INSTALL SCE AND SILT FENCE AS INDICATED. AFTER SITE STABILIZATION EASEMENT AREAS ARE TO BE INSPECTED BY PLANNING AND ZONING ENVIRONMENTAL DIVISION. ... 2 WEEKS
- BEGIN ROUGH GRADING OF SITE AND PRIVATE ROAD AND STORM DRAIN WORK. BEGIN TO INSTALL SEWER FORCE MAINS. ... 3 WEEKS
- FINISH ROUGH GRADING OF SITE. ... 1 MONTH
- STABILIZE ALL DISTURBED AREAS WITH SEED AND MULCH AS INDICATED. ... 1 WEEK
- WITH INSPECTOR'S APPROVAL REMOVE ANY REMAINING SEDIMENT CONTROL DEVICES. ... 1 WEEK
- FINAL CLEAN-UP AND MAINTENANCE. ... 2 DAYS
- TASKS 3 - 6 CAN BE DONE CONCURRENTLY

DRAWING INDEX

1 OF 13	..... COVER SHEET
2 OF 13	..... EX. CONDITIONS/ENVIRONMENTAL CONSTRAINTS MAP
3 OF 13	..... 200 SCALE SITE PLAN
4 OF 13	..... 40 SCALE SITE PLAN
5 OF 13	..... 40 SCALE SITE PLAN
6 OF 13	..... 40 SCALE GRADING PLAN
7 OF 13	..... 40 SCALE GRADING PLAN
8 OF 13	..... 200 SCALE STORMWATER MANAGEMENT CREDIT PLAN
9 OF 13	..... 40 SCALE SWM CREDIT PLAN
10 OF 13	..... 40 SCALE SWM CREDIT PLAN
11 OF 13	..... ROAD PLAN AND PROFILE
12 OF 13	..... EXISTING DRAINAGE AREA MAP AND DETAILS
13 OF 13	..... PROPOSED DRAINAGE AREA MAP

ANNE ARUNDEL SOIL CONSERVATION DISTRICT APPROVAL BLOCK
THIS SITE IS NOT WITHIN THE SEVERN RIVER WATERSHED

Anne Arundel Soil Conservation District
Sediment and Erosion Control Approval

District Official _____ Date AUG 11 2006

AASCD # 538-24 SMALL POND (S) # RINAL AREA COMMISSION
Reviewed for technical adequacy by
USDA, Natural Resources Conservation Service

Revisions

Rev. #	Date	Description



Bay Engineering Inc.
Engineers, Planners and Surveyors
180 Admiral Cochrane Drive, Suite 175
Annapolis, Maryland 21401
410.867.9290 fax
410.867.9295 fax
jeff@bayengineering.com
www.bayengineering.com

Date: Mon, Aug 7, 2006
Job Number: 03-884
Scale: As Shown
Drawn By: jlb
Designed By: jlb
Approved By: jlb
Folder Reference: North Beach Park Subdivision/ Chaney/SCND Property

COVER SHEET
NORTH BEACH PARK RESUBDIVISION
RESUBDIVISION OF
BLOCKS 23-40, 43-68 & 70
TAX MAP 82 ~ BLOCK 21 ~ PARCELS 8
SUBDIVISION BLOCKS 23-40, 43-68, & 70
8th District, Anne Arundel County, MD.
SUB NO. 04-068 PROJ. NO. 05-050
Sheet No. 1 of 13
File No. C-10-003-

DETAILS AND SPECIFICATIONS FOR VEGETATIVE ESTABLISHMENT

Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within seven calendar days for the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes greater than 3 horizontal to 1 vertical (3:1) and fourteen days for all other disturbed or graded areas on the project site.

1. Permanent Seeding
 - A. SOIL TESTS: Lime and fertilizer will be applied per soil tests results for sites greater than 5 acres. Soil tests will be done at completion of rough grading. Rates and analysis will be provided to the Grading Inspector as well as the Contractor.
 1. Occurrence of acid sulfate soils (graph black color) will require covering with a minimum of 12 inches of clean soil with 6 inches minimum capping of top soil. No stockpiling of material is allowed. If needed, soil tests should be done before and after a 6 week incubation period to allow oxidation of sulfates.
- B. SEEDBED PREPARATION: Area to be seeded shall be loose and friable to a depth of at least 3". The top layer shall be loosened by raking, disking or other acceptable means before seeding occurs. For sites less than 5 acres, apply 100 lbs. of dolomitic limestone and 21 lbs. of 10-20-20 fertilizer per 1000 square feet. Harrow or disk lime and fertilizer into the soil to a depth of at least 3" on slopes flatter than 3:1.
- C. SEEDINGS: Apply 5-6 lbs. per 1000 square feet of tall fescue between February 1 and April 30 or between August 15 and October 31. Apply seed uniformly on a moist firm seedbed with a cyclone seeder or hydroseeder (slurry includes seeds and fertilizer, recommended on steep slopes only). Maximum seed depth should be 1/4 inch. In clayey soils and 1/2" in sandy soils when using other than the hydroseeder method. Irrigate if soil moisture is deficient to support adequate growth until vegetation is firmly established. If other seed mixes are to be used, select from Table 25, entitled "Permanent Seeding For Low Maintenance Areas" from the 1984 Standards and Specifications for Soil Erosion and Sediment Control. Mixes suitable for this area are 1, 3, and 5-1. Mixes 5-1 are suitable in non-mowable situations.
- D. MULCHING: Mulch shall be applied to all seeded areas immediately after seeding. During the time periods when seeding is not permitted, mulch shall be applied immediately after grading.
 - Mulch shall be inroated, unchopped, small grain straw applied at a rate of 2 tons per acre or 40 pounds per 1000 square feet (2 bales). If a mulch anchoring tool is used, apply 25 tons per acre. Mulch materials shall be relatively free of all kinds of weeds and shall be completely free of prohibited noxious weeds. Spread mulch uniformly, mechanically or by hand, to a depth of 1-2 inches.
- E. SECURING STRAW MULCH: Straw mulch shall be secured immediately following mulch application to minimize movement by wind or water. The following methods are permitted:
 - (i) Use a mulch anchoring tool which is designed to punch and anchor mulch into the soil surface to a minimum depth of 2 inches. This is the most effective method for securing mulch, however, it is limited to relatively flat areas where equipment can operate safely.
 - (ii) Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. If mixed with water, use 50 pounds of wood cellulose fiber per 100 gallons of water.
 - (iii) Liquid binders may be used and applied heavier at the edges where wind catches mulch, such as in valleys and on crests of slopes. The remainder of the area should appear uniform after binder application. Binders listed in the 1984 Standards and Specifications for Soil Erosion and Sediment Control or approved equal shall be applied at rates recommended by the manufacturers.
 - (iv) Lightweight plastic netting may be used to secure mulch. The netting will be staples to the ground according to manufacturers recommendations.

2. Temporary Seeding
 - Lime: 100 lbs. of dolomitic limestone per 1000 square feet.
 - Fertilizer: 15 lbs. of 10-10-10 per 1000 square feet.
 - Seed: Perennial Ryegrass - 0.42 pounds per 1000 square feet (February 1 through April 30 or August 15 through November 1).
 - Mulch: Nitel - 0.42 pounds per 1000 square feet (May 1 through August 15).
 - Same as 1 D and E above.

3. No fills may be placed on frozen ground. All fill to be placed in approximately horizontal layers, each layer having a loose thickness of not more than 8 inches. All fill in roadways and parking areas is to be classified Type 2 as per Anne Arundel Co. Code - Article 21, Section 2-308, and compacted to 100% density; compaction to be determined by ASTM D-1557-60T (Modified Proctor). Any fill within the building area to be compacted to minimum of 95% as determined by methods previously mentioned. Fills for pond embankments shall be compacted as per MD-51B Construction Specifications. All other fills shall be compacted sufficiently so as to stabilize and prevent erosion and slippage.

4. Permanent Sod
 - Installation of sod should follow permanent seeding dates. Permanent sod is to be Tall Fescue, state approved sod, lime and fertilizer per permanent seeding specifications and lightly irrigate soil prior to laying sod. Sod is to be laid on the contour with all ends tightly abutting. Joints are to be staggered between rows. Water and roll or tamp sod to insure positive root contact with the soil. All slopes steeper than 3:1, as shown, are to be permanently sodded or protected with an approved erosion control netting. Additional watering for establishment may be required. Sod is not to be applied on frozen ground. Sod shall not be harvested or transplanted when moisture content (dry or wet) and/or extreme temperature may adversely affect its survival. In the absence of adequate rainfall, irrigation should be performed to insure established sod.

IMPERVIOUS SURFACE LIMITS

LOT SIZE (SQUARE FEET)	ALLOWABLE IMPERVIOUS SURFACE
ALL PROPOSED LOTS	15% IMPERVIOUS SURFACE

NOTE: The impervious surface limitation on the proposed lots may be as much as 25% impervious surface, provided the subdivision overall does not exceed 15% impervious surface.

RECREATION AREAS

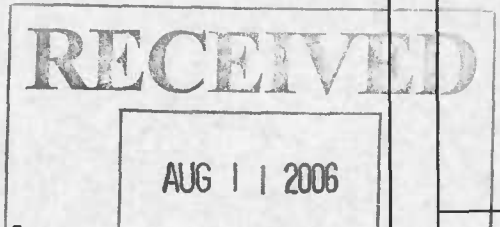
	S.F.	ACRES
RECREATION REQUIRED	20,000	0.459
ACTIVE RECREATION REQUIRED (75%)	15,000	0.344
PASSIVE RECREATION REQUIRED	5,000	0.115
PASSIVE RECREATION PROVIDED	0	0
ACTIVE RECREATION PROVIDED**	4,528	0.104
TOTAL RECREATION AREA	4,528	0.104

** SEE WAIVER NOTE



NOTE: REFER TO THE LEGEND ON SHEET 1.

SITE PLAN
SCALE: 1" = 200'



Rev. #	By	Date	Description



Bay Engineering Inc.
Engineers, Planners and Surveyors
190 Admiral Cochrane Drive, Suite 175
Annapolis, Maryland 21401
410.887.8290
410.887.8295 fax
jeff@bayengineering.com
web address: www.bayengineering.com

Date:	Mon, Aug 7, 2006
Job Number:	03-884
Scale:	As Shown
Drawn By:	jtb
Designed By:	jtb
Approved By:	jtb
Folder Reference:	North Beach Park Subdivision/ Chaney/SCENO Property

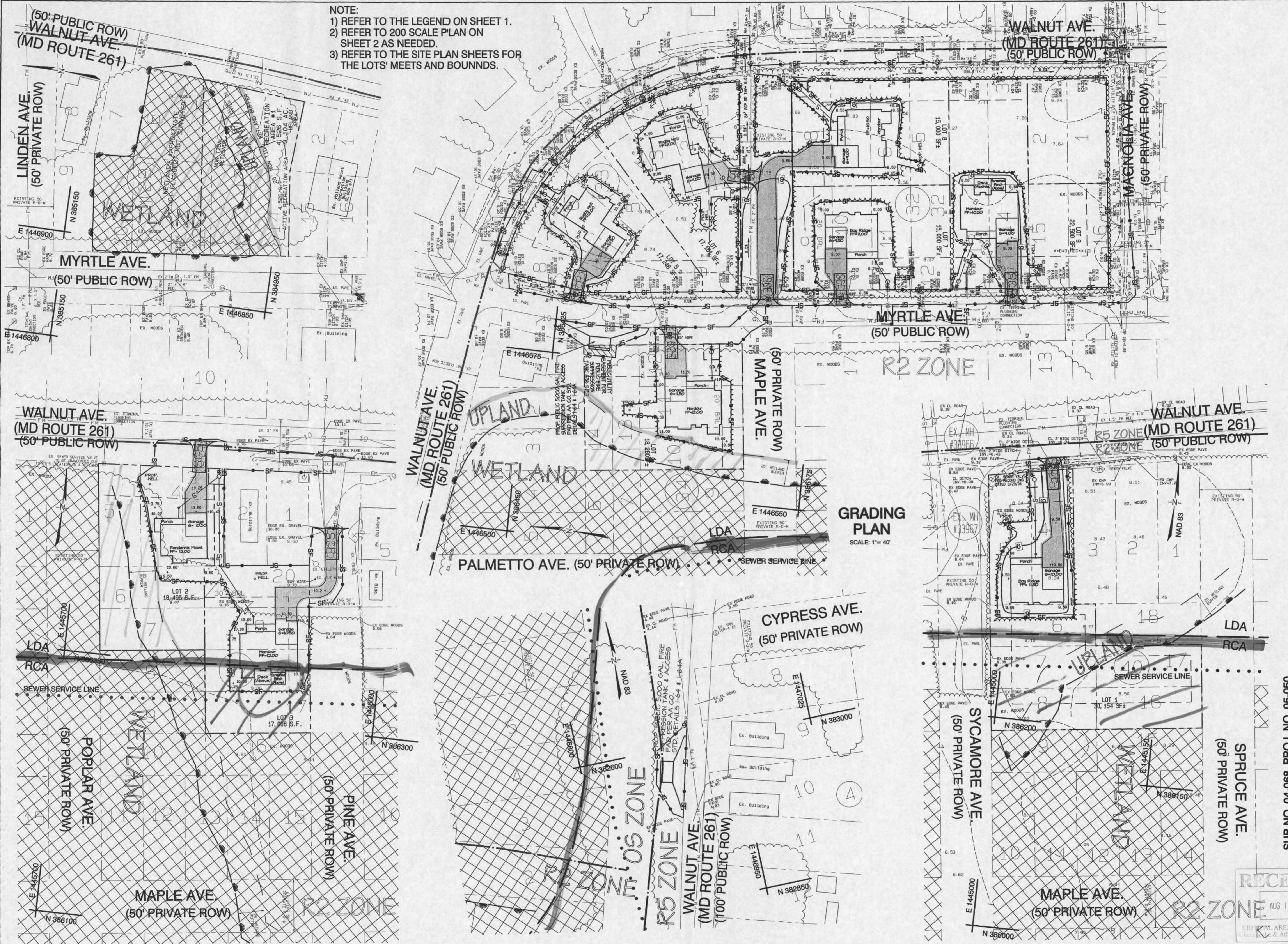
200 SCALE SITE PLAN
NORTH BEACH PARK RESUBDIVISION
RESUBDIVISION OF
BLOCKS 23-40, 43-68 & 70
TAX MAP 82 ~ BLOCK 21 ~ PARCELS 8
SUBDIVISION BLOCKS 23-40, 43-68, & 70
8th District, Anne Arundel County, MD.

Sheet No. 3 of 13
File No. C10-003-

SUB NO. 04-068 PROJ. NO. 05-050

Cadd File: F:\Sceno Properties\North Beach Park 03-884\Drawing Files\SP_Site07.prc

NOTE:
 1) REFER TO THE LEGEND ON SHEET 1.
 2) REFER TO 200 SCALE PLAN ON SHEET 2 AS NEEDED.
 3) REFER TO THE SITE PLAN SHEETS FOR THE LOTS' MEETS AND BOUNDNS.



Rev. #	By	Date	Description

Bay Engineering Inc.
 Engineers, Planners and Surveyors
 190 Admiral Cochrane Drive, Suite 175
 Annapolis, Maryland 21401
 Phone: 410.897.9295
 Fax: 410.897.9295
 Email: info@bayengineering.com
 Web address: www.bayengineering.com

Date: Fri, Aug 4, 2006
 Job Number: 03-684
 Scale: As Shown
 Drawn By: jib
 Designed By: jib
 Approved By: jib
 Folder Reference: North Beach Park Subdivision/ Chaney/SCENO Property

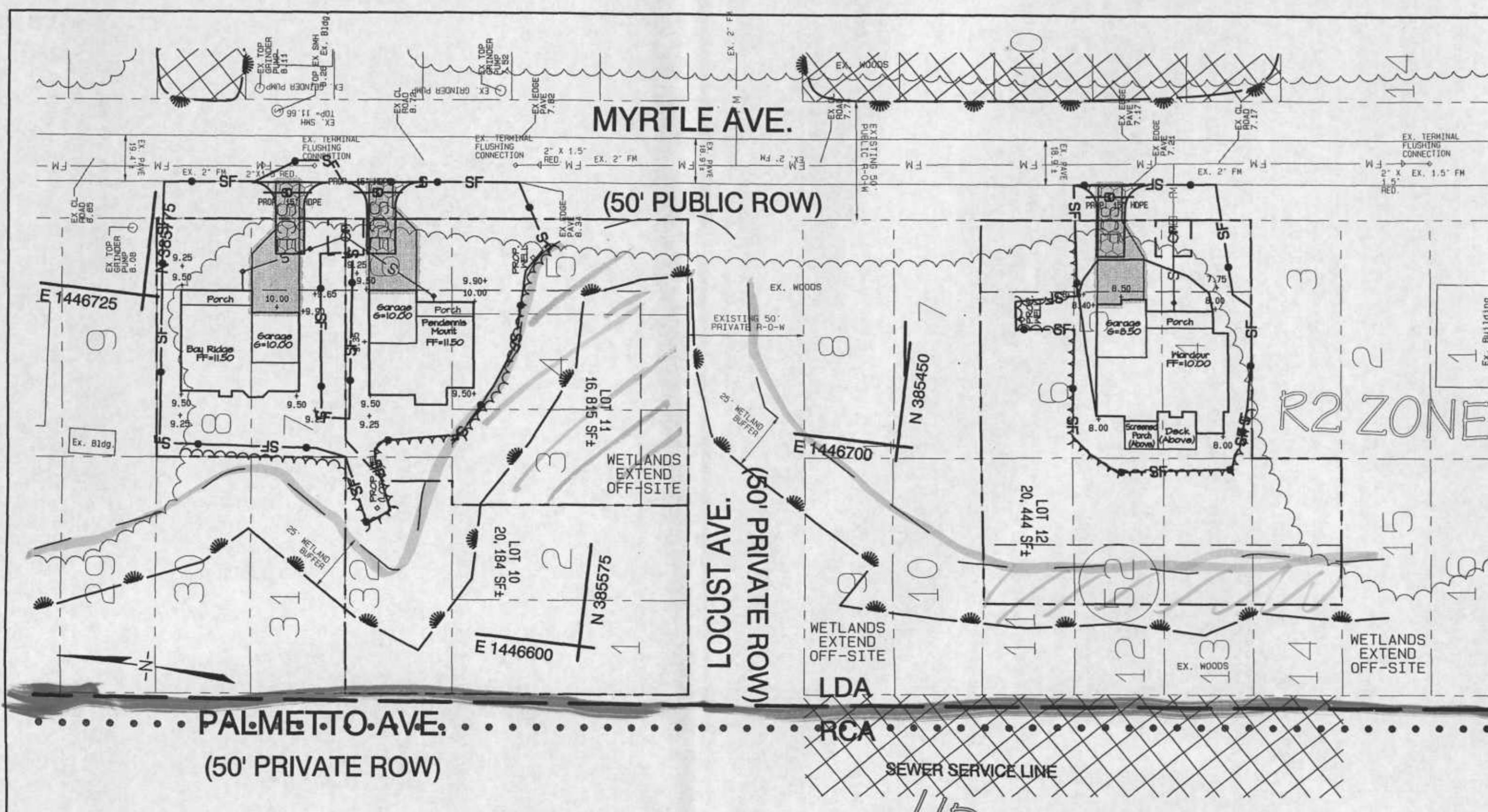
40 SCALE GRADING & SEC PLAN
NORTH BEACH PARK RESUBDIVISION
RESUBDIVISION OF
BLOCKS 23-40, 43-68 & 70
 TAX MAP 82 ~ BLOCK 21 ~ PARCELS 8
 SUBDIVISION BLOCKS 23-40, 43-68, & 70
 8th District, Anne Arundel County, MD.

SUB NO. 04-068 PROJ. NO. 05-050

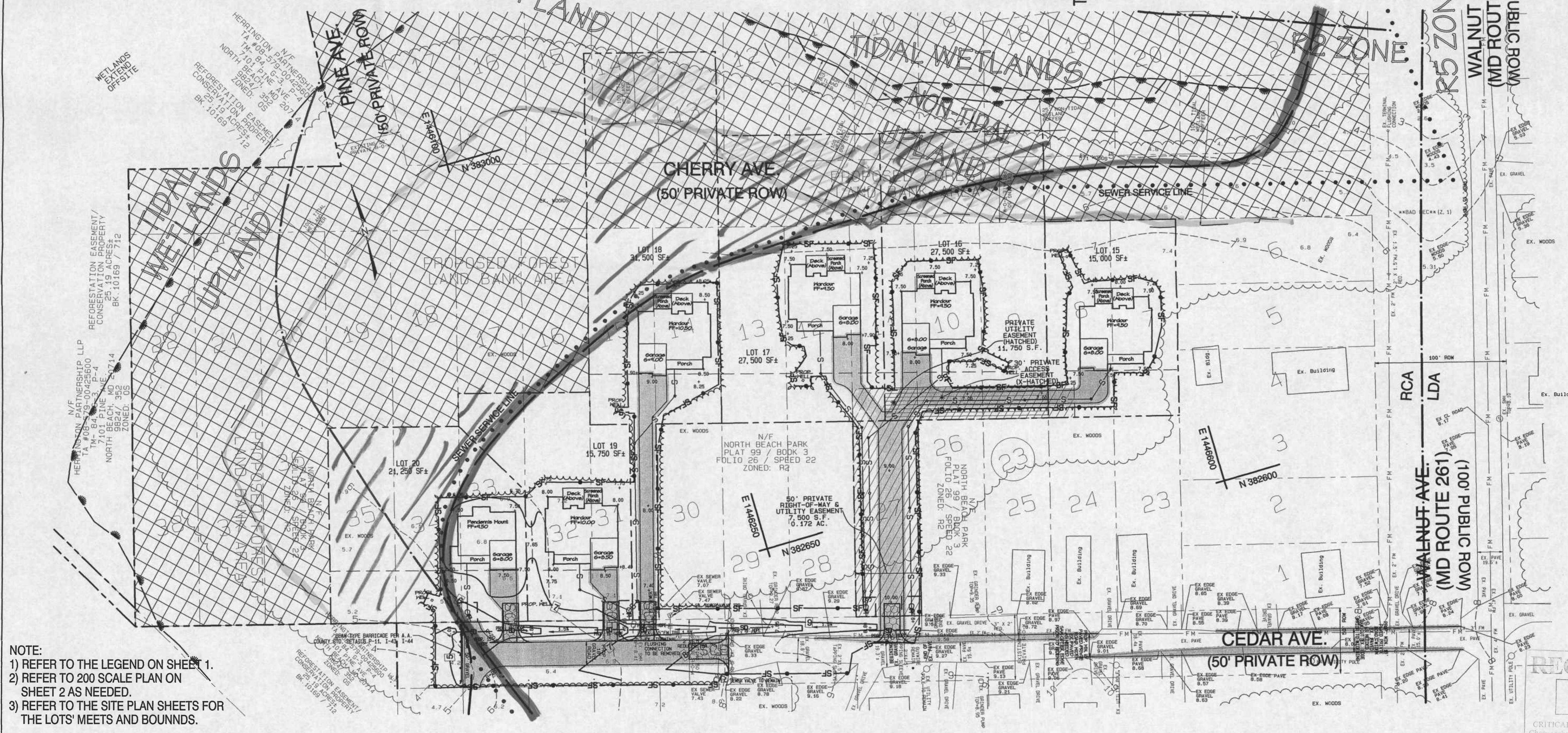
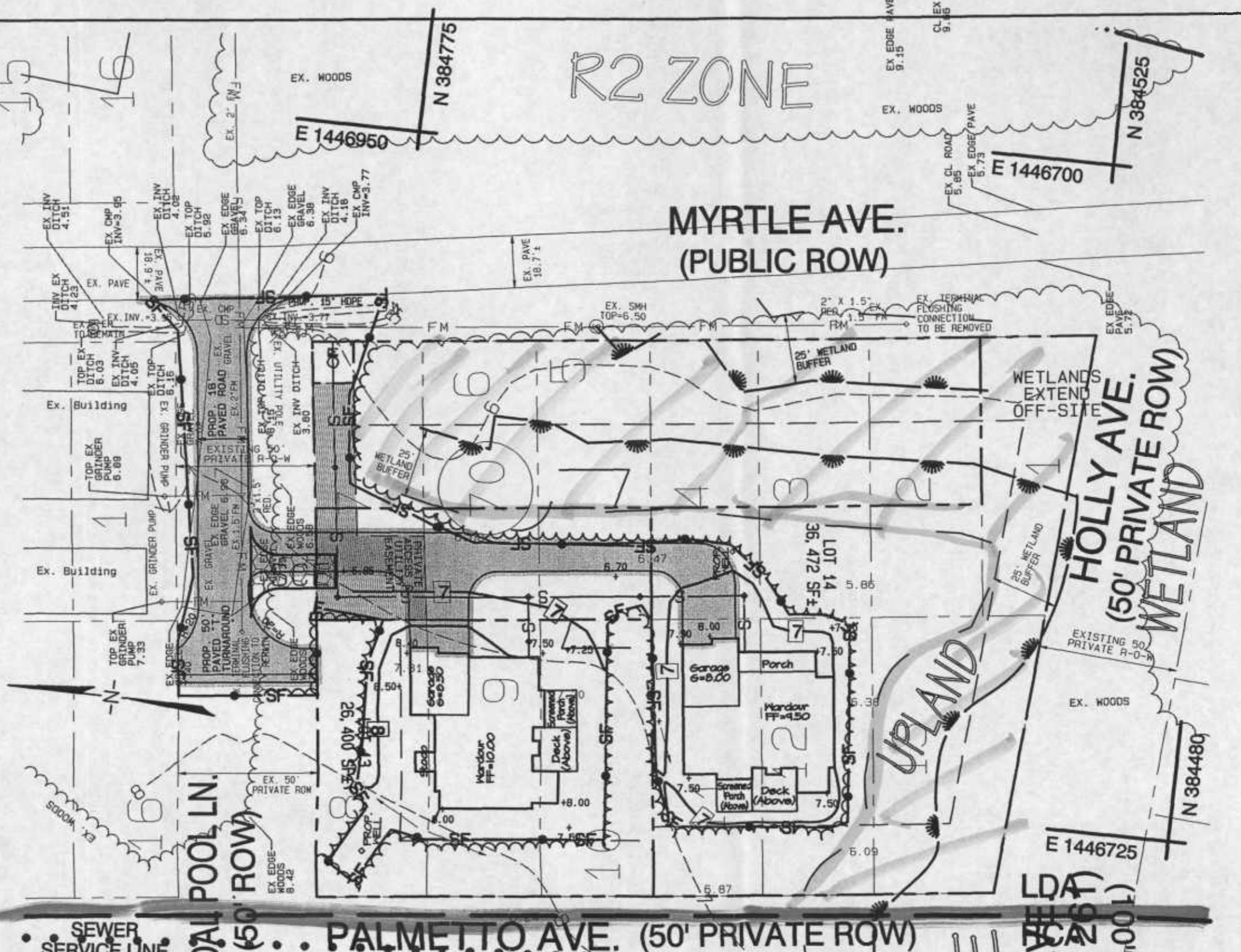
RECEIVED AUG 11 2006
 CRITICAL AREA COMMUNITY DEVELOPMENT & CAPITAL PLANS

Sheet No. 6 of 13
 File No. C10-003-

Cadd File : F:\Sceno Properties\North Beach Park 03-684\Drawing Files\SP_Site07.dwg

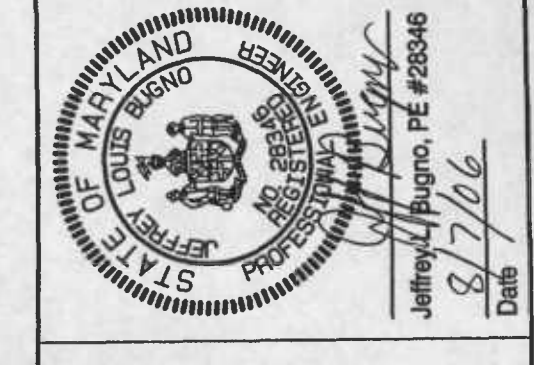


GRADING PLAN
SCALE: 1" = 40'



NOTE:
 1) REFER TO THE LEGEND ON SHEET 1.
 2) REFER TO 200 SCALE PLAN ON SHEET 2 AS NEEDED.
 3) REFER TO THE SITE PLAN SHEETS FOR THE LOTS' MEETS AND BOUNDNS.

Rev. #	By	Date	Description



Bay Engineering Inc.
 Engineers, Planners and Surveyors
 150 Admiral Cochrane Drive, Suite 175
 Annapolis, Maryland 21401
 410.897.9290
 410.897.9295 fax
 email: info@bayengineering.com
 web address: www.bayengineering.com

Date: Fri, Aug 4, 2006
 Job Number: 03-884
 Scale: As Shown
 Drawn By: jib
 Designed By: jib
 Approved By: jib
 Folder Reference: North Beach Park Subdivision/Chantry/SCENO Property

40 SCALE GRADING & SEC PLAN
NORTH BEACH PARK RESUBDIVISION
RESUBDIVISION OF
BLOCKS 23-40, 43-68 & 70
 TAX MAP 82 ~ BLOCK 21 ~ PARCELS 8
 SUBDIVISION BLOCKS 23-40, 43-68, & 70
 8th District,
 Anne Arundel County, MD.

Sheet No. 7 of 13
 File No. C10-003

SUB NO. 04-068 PROJ. NO. 05-050

RECEIVED
AUG 11 2006

STORMWATER MANAGEMENT SUMMARY TABLE

MINIMUM SIZING CRITERIA	SYMBOL	VOLUME REQUIRED	VOLUME PROVIDED	SWM PRACTICE	NOTES
WATER QUALITY VOLUME	WQv	75,929 C.F.	0 C.F. PROVIDED BY PLANTINGS & CREDITS	N/A	PROPOSED USE OF THE DISCONNECTION OF ROOFTOP RUNOFF CREDIT, THE GRASS CHANNEL CREDIT AND PLANTINGS
RECHARGE VOLUME	Rev	8,834 C.F.	0 C.F. PROVIDED BY PLANTINGS & CREDITS	N/A	
CHANNEL PROTECTION VOLUME	CPv	N/A	N/A	N/A	DIFFUSED DISCHARGE TO TIDAL WETLANDS AND/OR DIRECT DISCHARGE TO THE CHESAPEAKE BAY
OVERBANK FLOOD PROTECTION	Q10	N/A	N/A	N/A	DIFFUSED DISCHARGE TO TIDAL WETLANDS AND/OR DIRECT DISCHARGE TO THE CHESAPEAKE BAY
EXTREME FLOOD	Qf	N/A	N/A	N/A	N/A

OUTFALL STATEMENT #1

A FIELD INVESTIGATION OF OUTFALL #1 AND THE STORM DRAIN SYSTEM DOWNSTREAM OF THE OUTFALL TO THE TIDAL OUTFALL AT THE CHESAPEAKE BAY WAS CONDUCTED IN SEPTEMBER 2005 BY BAY ENGINEERING, INC. OUTFALL #1 WILL BE THROUGH A PROPOSED 24" CLASS IV RCP UNDER WALNUT AVE. (MD RTE. 261). THIS PIPE WILL DRAIN THE GRASS SWALE (GRASS CHANNEL CREDIT SWALE) FROM LOTS 5 & 6. THE WATER WILL THEN FLOW INTO AN EXISTING 24" CMP CROSSING MAPLE AVE. AND THEN FLOW THROUGH PIPES AND DITCHES ALONG MAPLE AVE. AND OUTFALL INTO THE CHESAPEAKE BAY. THE DITCHES ARE STABILIZED WITH GRASS AND THE EXISTING PIPES ARE ALL CMP.

OUTFALL STATEMENT #2

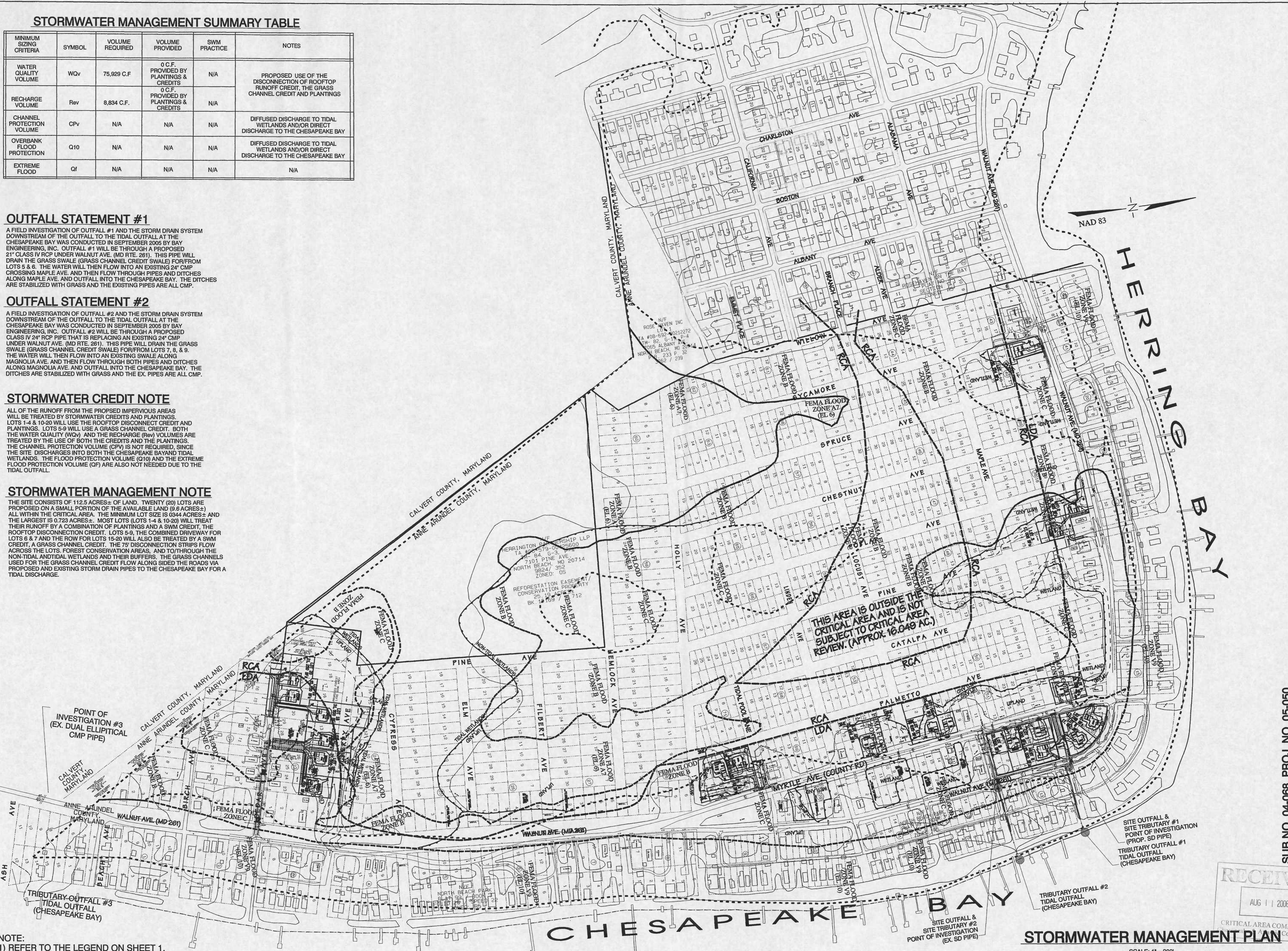
A FIELD INVESTIGATION OF OUTFALL #2 AND THE STORM DRAIN SYSTEM DOWNSTREAM OF THE OUTFALL TO THE TIDAL OUTFALL AT THE CHESAPEAKE BAY WAS CONDUCTED IN SEPTEMBER 2005 BY BAY ENGINEERING, INC. OUTFALL #2 WILL BE THROUGH A PROPOSED CLASS IV 24" RCP PIPE THAT IS REPLACING AN EXISTING 24" CMP UNDER WALNUT AVE. (MD RTE. 261). THIS PIPE WILL DRAIN THE GRASS SWALE (GRASS CHANNEL CREDIT SWALE) FROM LOTS 7, 8, & 9. THE WATER WILL THEN FLOW INTO AN EXISTING SWALE ALONG MAGNOLIA AVE. AND THEN FLOW THROUGH BOTH PIPES AND DITCHES ALONG MAGNOLIA AVE. AND OUTFALL INTO THE CHESAPEAKE BAY. THE DITCHES ARE STABILIZED WITH GRASS AND THE EX. PIPES ARE ALL CMP.

STORMWATER CREDIT NOTE

ALL OF THE RUNOFF FROM THE PROPOSED IMPERVIOUS AREAS WILL BE TREATED BY STORMWATER CREDITS AND PLANTINGS. LOTS 1-4 & 10-20 WILL USE THE ROOFTOP DISCONNECT CREDIT AND PLANTINGS. LOTS 5-9 WILL USE A GRASS CHANNEL CREDIT. BOTH THE WATER QUALITY (WQV) AND THE RECHARGE (REV) VOLUMES ARE TREATED BY THE USE OF BOTH THE CREDITS AND THE PLANTINGS. THE CHANNEL PROTECTION VOLUME (CPV) IS NOT REQUIRED, SINCE THE SITE DISCHARGES INTO BOTH THE CHESAPEAKE BAY AND TIDAL WETLANDS. THE FLOOD PROTECTION VOLUME (Q10) AND THE EXTREME FLOOD PROTECTION VOLUME (QF) ARE ALSO NOT NEEDED DUE TO THE TIDAL OUTFALL.

STORMWATER MANAGEMENT NOTE

THE SITE CONSISTS OF 112.5 ACRES± OF LAND. TWENTY (20) LOTS ARE PROPOSED ON A SMALL PORTION OF THE AVAILABLE LAND (9.6 ACRES±) ALL WITHIN THE CRITICAL AREA. THE MINIMUM LOT SIZE IS 0.344 ACRES± AND THE LARGEST IS 0.723 ACRES±. MOST LOTS (LOTS 1-4 & 10-20) WILL TREAT THEIR RUNOFF BY A COMBINATION OF PLANTINGS AND A SWM CREDIT. THE ROOFTOP DISCONNECT CREDIT. LOTS 5-9, THE COMBINED DRIVEWAY FOR LOTS 6 & 7 AND THE ROW FOR LOTS 15-20 WILL ALSO BE TREATED BY A SWM CREDIT, A GRASS CHANNEL CREDIT. THE 75' DISCONNECTION STRIPS FLOW ACROSS THE LOTS, FOREST CONSERVATION AREAS, AND THROUGH THE NON-TIDAL AND TIDAL WETLANDS AND THEIR BUFFERS. THE GRASS CHANNELS USED FOR THE GRASS CHANNEL CREDIT FLOW ALONG SIDED THE ROADS VIA PROPOSED AND EXISTING STORM DRAIN PIPES TO THE CHESAPEAKE BAY FOR A TIDAL DISCHARGE.



NOTE:
1) REFER TO THE LEGEND ON SHEET 1.

STORMWATER MANAGEMENT PLAN

SCALE: 1" = 200'

SUB NO. 04-068 PROJ. NO. 05-050

200 SCALE SWM CREDIT PLAN
NORTH BEACH PARK RESUBDIVISION
RESUBDIVISION OF
BLOCKS 23-40, 43-68 & 70
 TAX MAP 82 ~ BLOCK 21 ~ PARCELS 8
 SUBDIVISION BLOCKS 23-40, 43-68, & 70
 8th District, Anne Arundel County, MD.

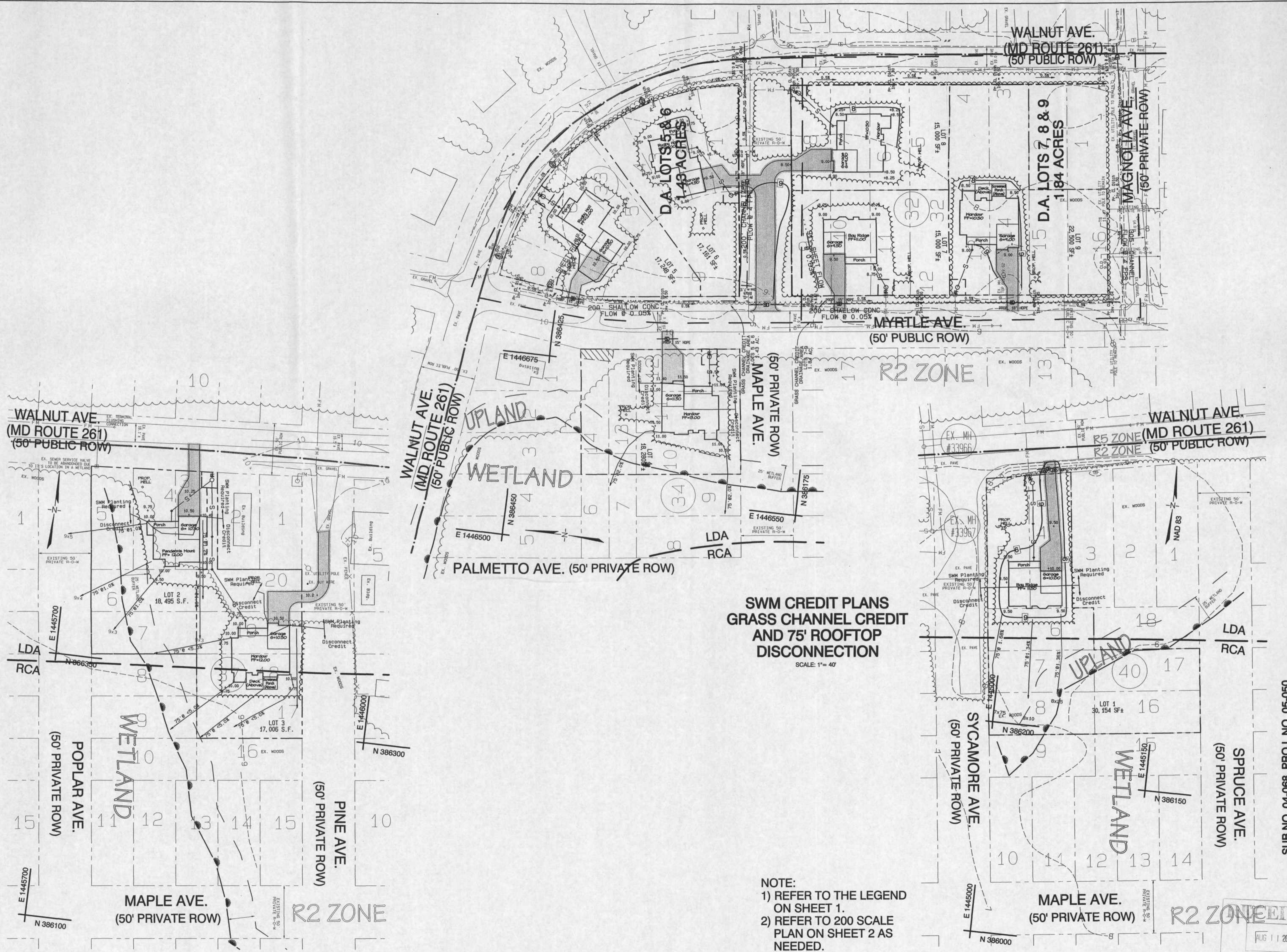
Bay Engineering Inc.
 Engineers, Planners and Surveyors
 190 Admiral Cochrane Drive, Suite 175
 North Beach, Maryland 21401
 410.897.9250
 410.897.9255 fax
 email: info@bayengineering.com
 web address: www.bayengineering.com

Date: Mon, Aug 7, 2006
 Job Number: 03-894
 Scale: As Shown
 Drawn By: jlb
 Designed By: jlb
 Approved By: jlb
 Folder Reference: North Beach Park Subdivision/ Chaney/SCENO Property

Revisions
 Description
 Date
 By
 Rev. #

RECEIVED
 AUG 11 2006
 CRITICAL AREA COMMISSION
 Coastal City

Cadd File: F:\Sceno Properties North Beach Park 03-894\Drawing Files\SP_Std07.prc



**SWM CREDIT PLANS
GRASS CHANNEL CREDIT
AND 75' ROOFTOP
DISCONNECTION**
SCALE: 1"= 40'

- NOTE:**
- 1) REFER TO THE LEGEND ON SHEET 1.
 - 2) REFER TO 200 SCALE PLAN ON SHEET 2 AS NEEDED.

SUB NO. 04-068 PROJ. NO. 05-050

AUG 11 2006

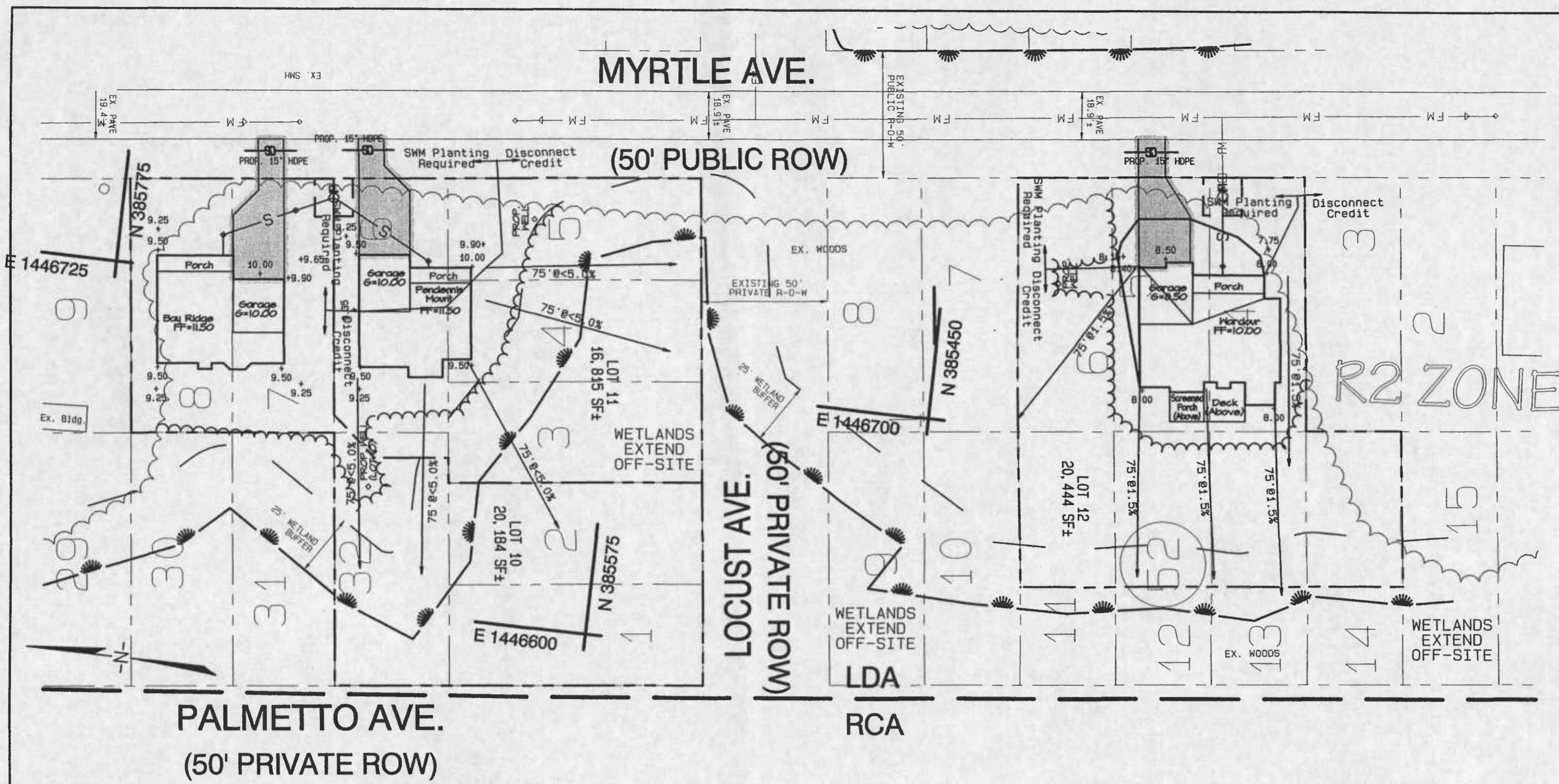
Rev. #	By	Date	Description

Bay Engineering Inc.
Engineers, Planners and Surveyors
190 Admiral Cochrans Drive, Suite 175
Annapolis, Maryland 21401
410.897.9290
410.897.9295 fax
email: info@bayengineering.com
web address: www.bayengineering.com

Date: Mon, Aug 7, 2006
Job Number: 03-884
Scale: As Shown
Drawn By: jib
Designed By: jib
Approved By: jib
Folder Reference: North Beach Park Subdivision/ Chaney/SCENO Property

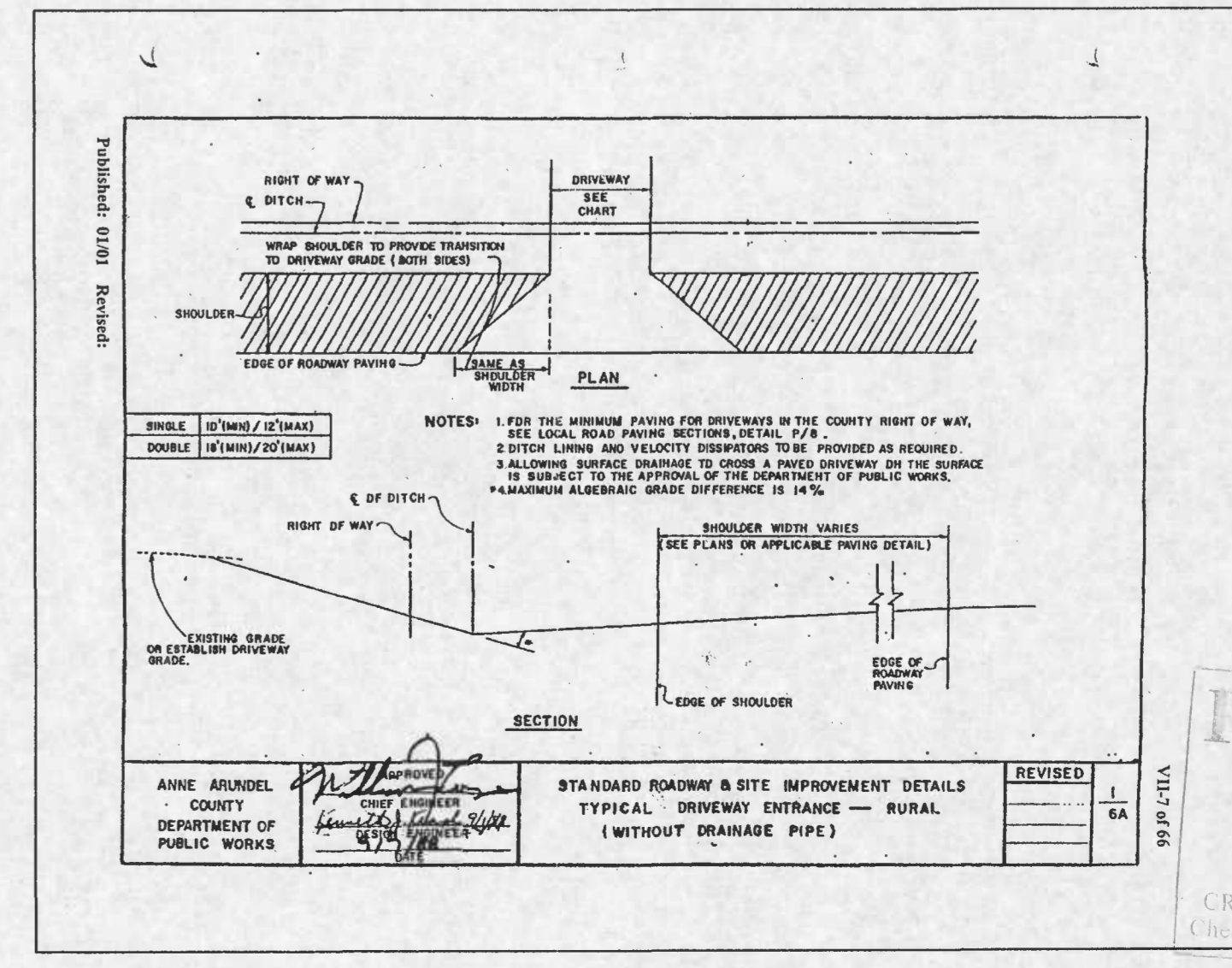
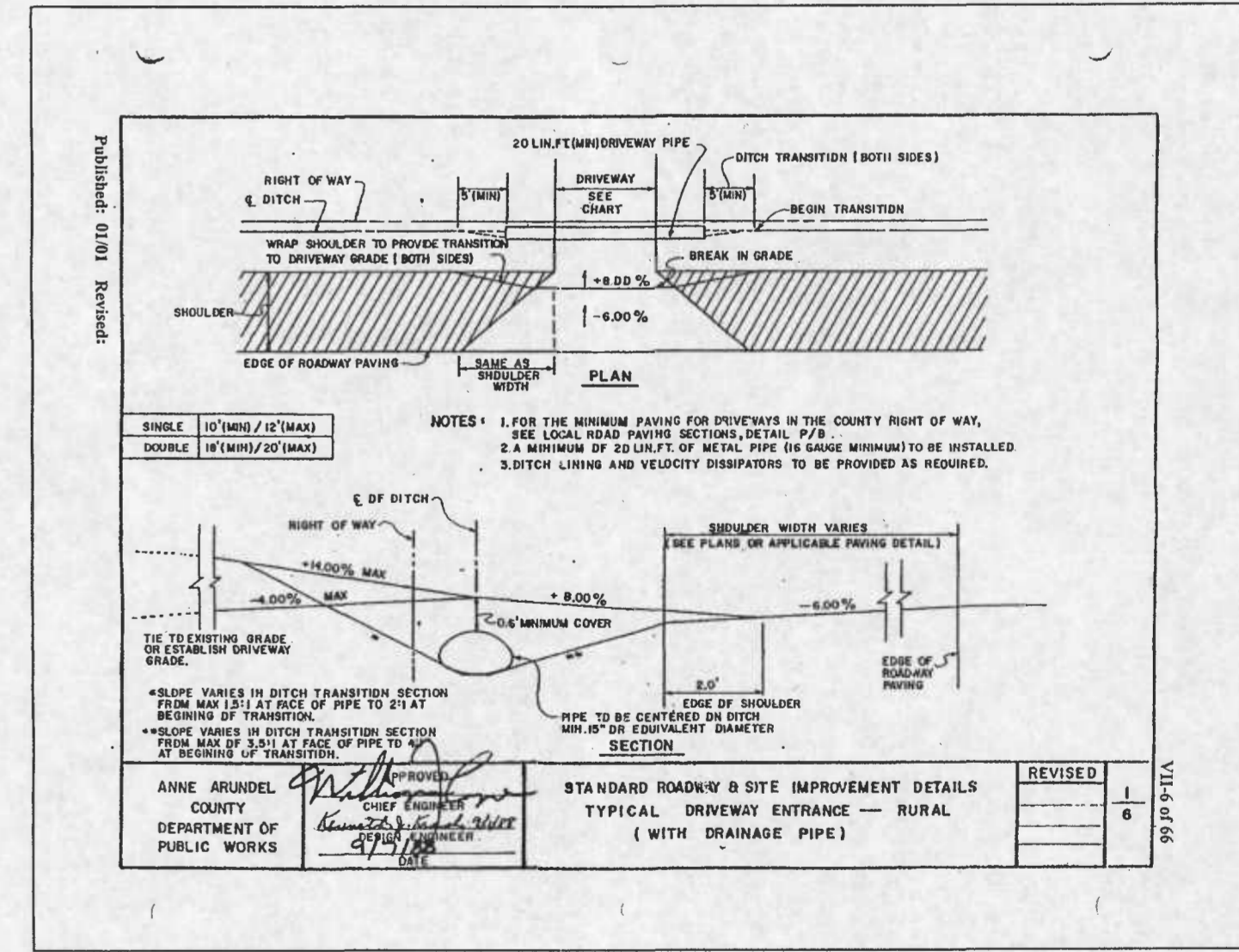
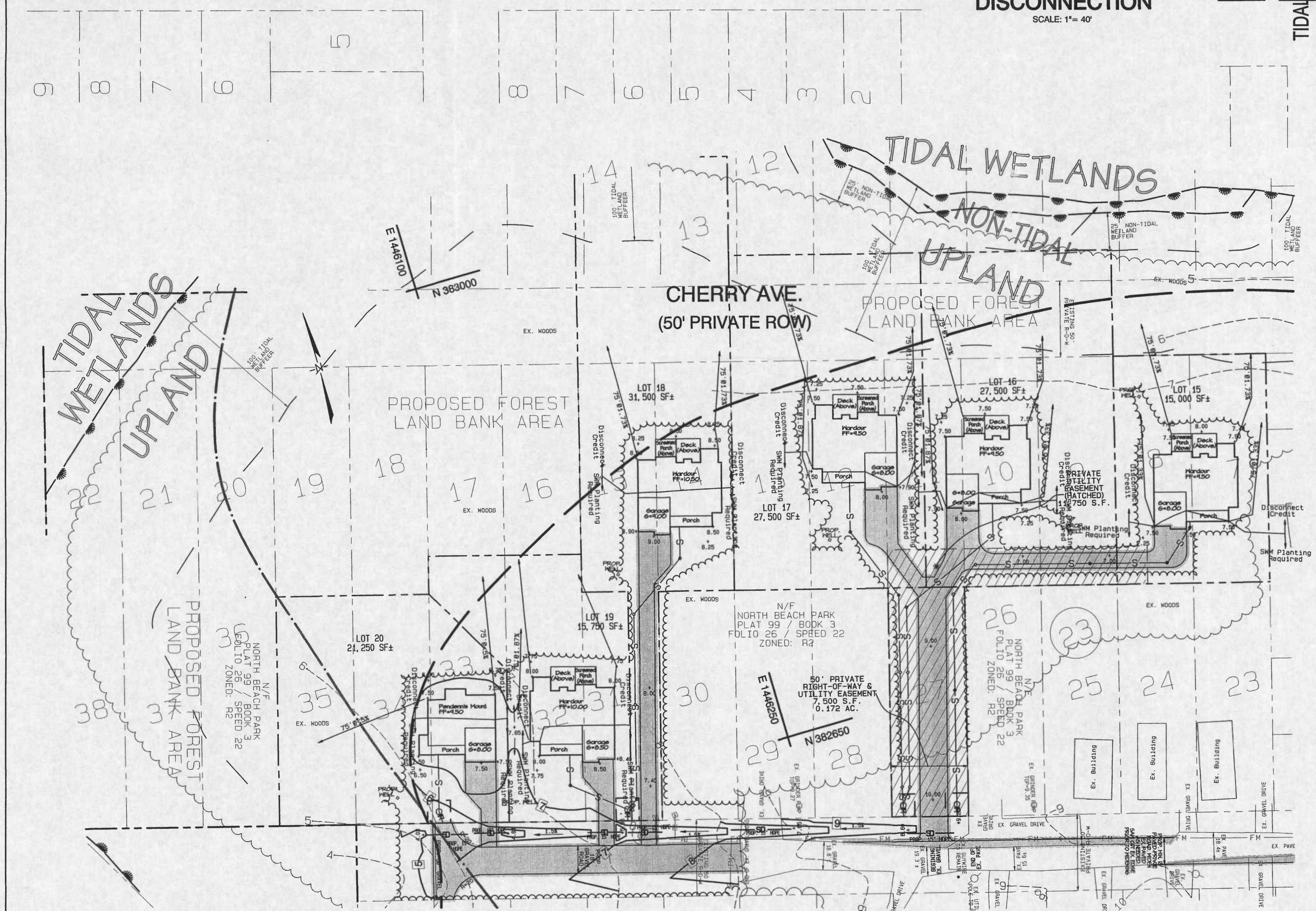
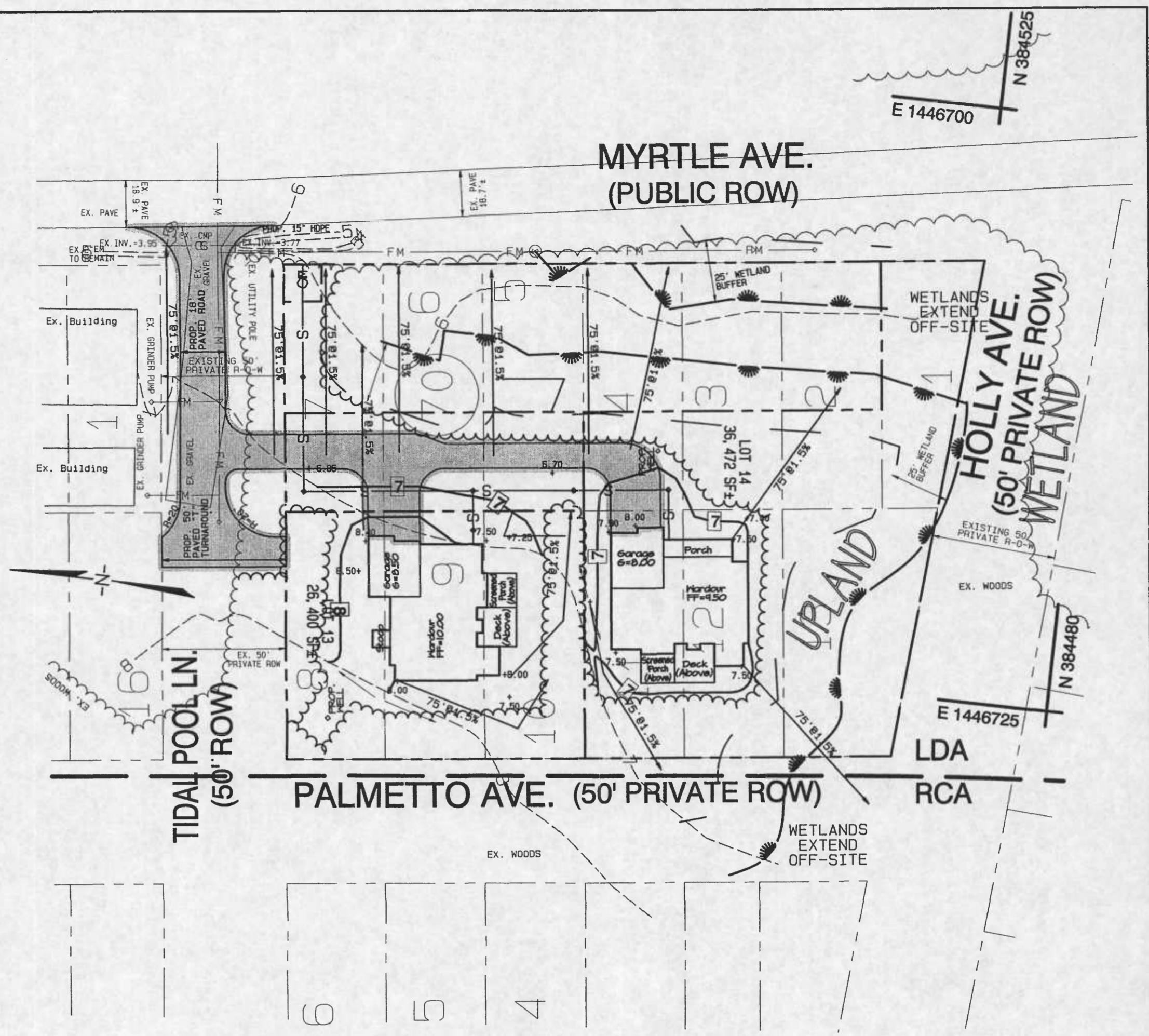
**40 SCALE SWM CREDIT PLAN
NORTH BEACH PARK RESUBDIVISION
RESUBDIVISION OF
BLOCKS 23-40, 43-68 & 70**
TAX MAP 82 ~ BLOCK 21 ~ PARCELS 8
SUBDIVISION BLOCKS 23-40, 43-68, & 70
8th District, Anne Arundel County, MD.

Sheet No. 9 of 13
File No. C10-003



NOTE:
 1) REFER TO THE LEGEND ON SHEET 1.
 2) REFER TO 200 SCALE PLAN ON SHEET 2 AS NEEDED.

SWM CREDIT PLANS SHOWING THE 75' ROOFTOP DISCONNECTION
 SCALE: 1"= 40'



SUB NO. 04-068 PROJ. NO. 05-050

Rev. #	By	Date	Description



Bay Engineering Inc.
 Engineers, Planners and Surveyors
 190 Admiral Cochrane Drive, Suite 175
 Annapolis, Maryland 21401
 410.897.9200
 410.897.9295 fax
 email: info@bayengineering.com
 web address: www.bayengineering.com

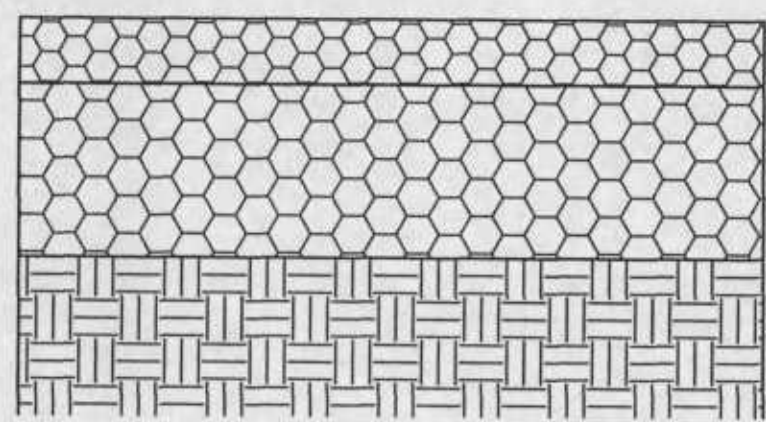
Date: Mon, Aug 7, 2006
 Job Number: 03-884
 Scale: As Shown
 Drawn By: jlb
 Designed By: jlb
 Approved By: jlb
 Folder Reference: North Beach Park Subdivision/Chase/SCENO Property

40 SCALE SWM CREDIT PLAN
NORTH BEACH PARK RESUBDIVISION
RESUBDIVISION OF
BLOCKS 23-40, 43-68 & 70
 TAX MAP 82 - BLOCK 21 - PARCELS 8
 SUBDIVISION BLOCKS 23-40, 43-68, & 70
 8th District, Anne Arundel County, MD.

RECEIVED
 AUG 11 2006
 CRITICAL AREA COMMISSION
 Chesapeake & Atlantic Coastal

Sheet No. 10 of 13
 File No. C10-003-

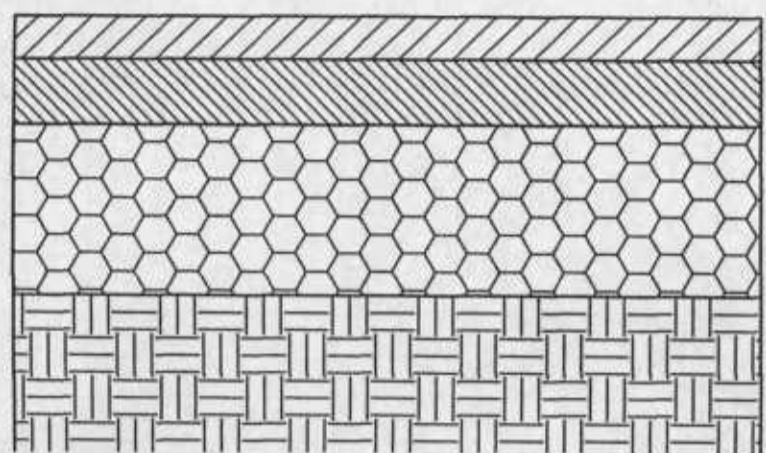
Cadd File: F:\Scene Properties North Beach Park 03-884\Drawing Files\NSP_Site07.rvt



1.5" DENSE GRADED AGGREGATE SURFACE COURSE AND
6" DENSE GRADED AGGREGATE BASE COURSE OR
APPROVED EQUAL (PLACED IN TWO COURSES) AND
COMPACTED SUBGRADE TO BE CERTIFIED BY A
SOILS ENGINEER PRIOR TO GRAVEL PLACEMENT.

COMPACT SUB-GRADE TO 98% DRY DENSITY.
IF SUB-GRADE IS SOFT USE A GEOTEXTILE OR
FABRIC BARRIER (MARAFI N-140 OR EQUAL)
BETWEEN SUB-GRADE AND NEW GRAVEL ROAD.

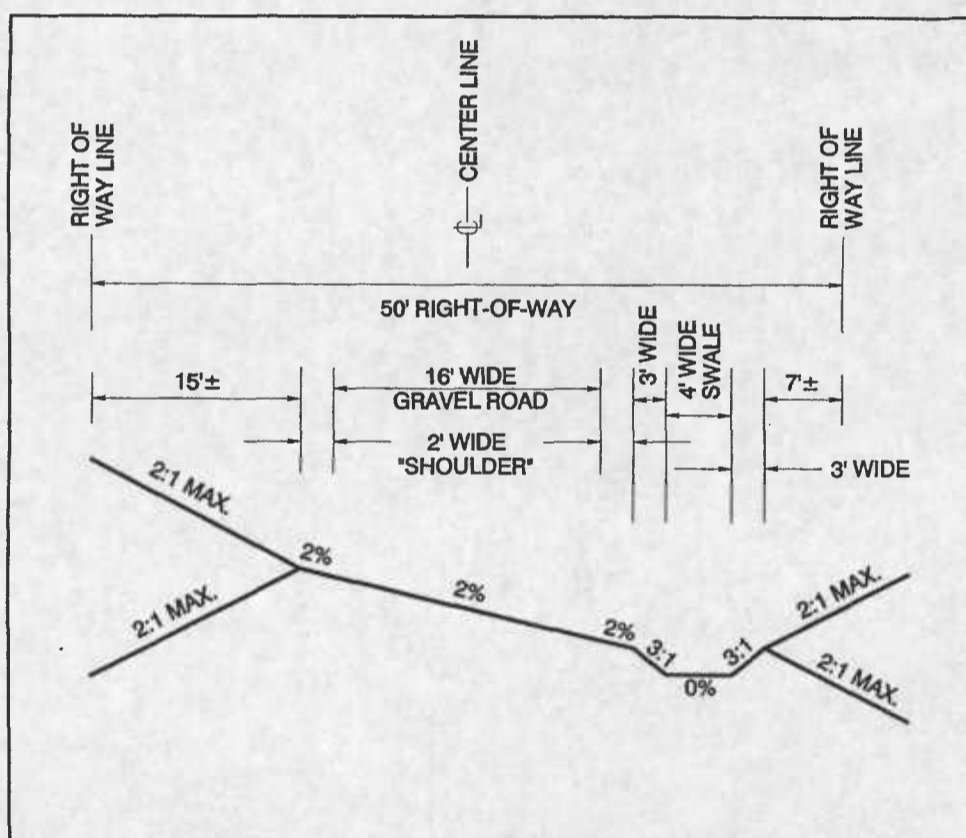
**CEDAR AVE. & TIDAL POOL LANE
(PRIVATE ROADS)
GRAVEL ROAD EXTENSION
GRAVEL CROSS SECTION**
NOT TO SCALE



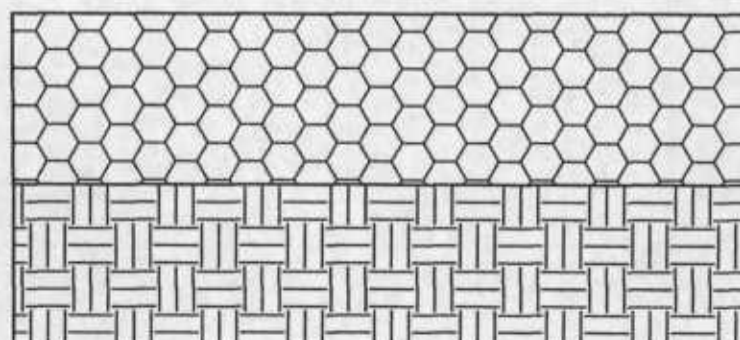
1.5" BITUMINOUS CONCRETE SURFACE COURSE (SF) AND
3" BITUMINOUS CONCRETE BASE COURSE (BF) AND
6" DENSE GRADED AGGREGATE BASE COURSE
(PLACED IN TWO COURSES) AND
COMPACTED SUBGRADE TO BE CERTIFIED BY A
SOILS ENGINEER PRIOR TO GRAVEL PLACEMENT.

COMPACT SUB-GRADE TO 98% DRY DENSITY.
IF SUB-GRADE IS SOFT USE A GEOTEXTILE OR
FABRIC BARRIER (MARAFI N-140 OR EQUAL)
BETWEEN SUB-GRADE AND NEW GRAVEL ROAD.

**CEDAR AVE. (PRIVATE ROAD)
PAVED ROAD WIDENING
PAVEMENT CROSS SECTION**
NOT TO SCALE



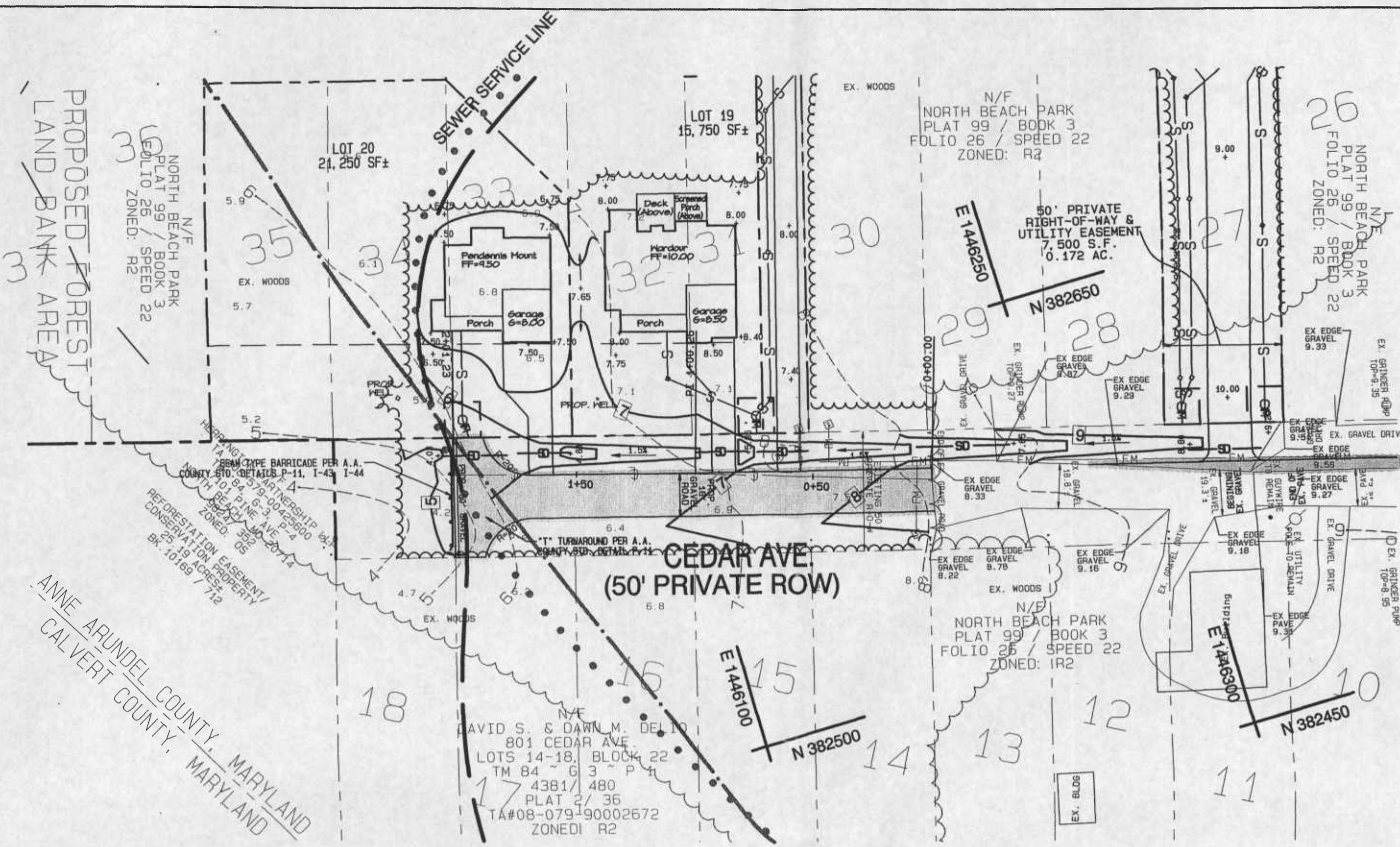
**CEDAR AVE. (PRIVATE ROAD)
ROAD EXTENSION
ROAD CROSS SECTION**
NOT TO SCALE



GRAVEL- 6" COURSE DENSE GRADED GRAVEL
OR APPROVED EQUAL
(PLACE IN TWO(2) COURSES)
COMPACTED SUBGRADE TO BE CERTIFIED BY A
SOILS ENGINEER PRIOR TO GRAVEL PLACEMENT.

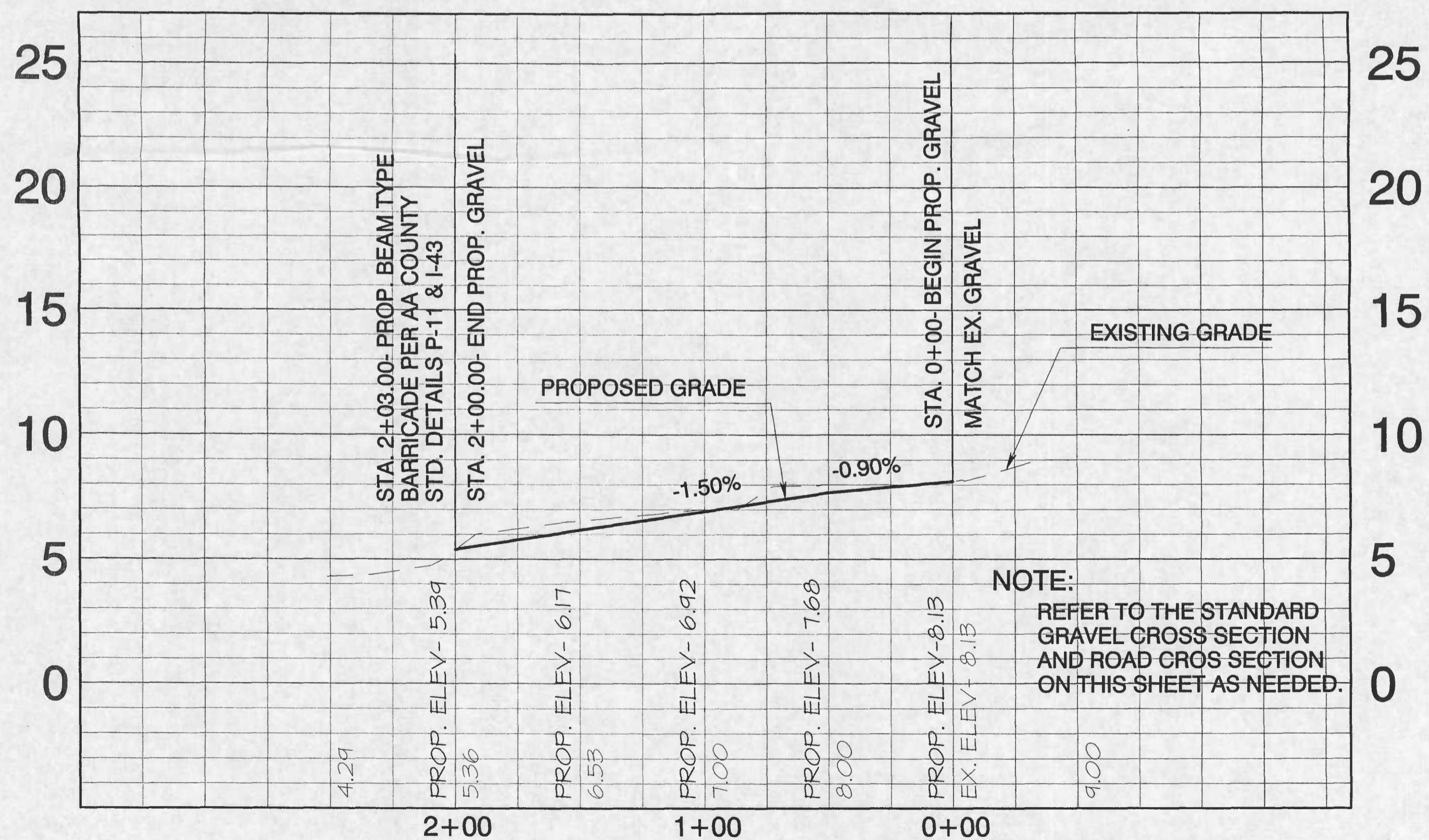
COMPACT SUB-GRADE TO 98% DRY DENSITY.
IF SUB-GRADE IS SOFT USE A GEOTEXTILE OR
FABRIC BARRIER (MARAFI N-140 OR EQUAL)
BETWEEN SUB-GRADE AND NEW GRAVEL ROAD.

**TYPICAL GRAVEL DRIVEWAY
CROSS SECTION**
NOT TO SCALE



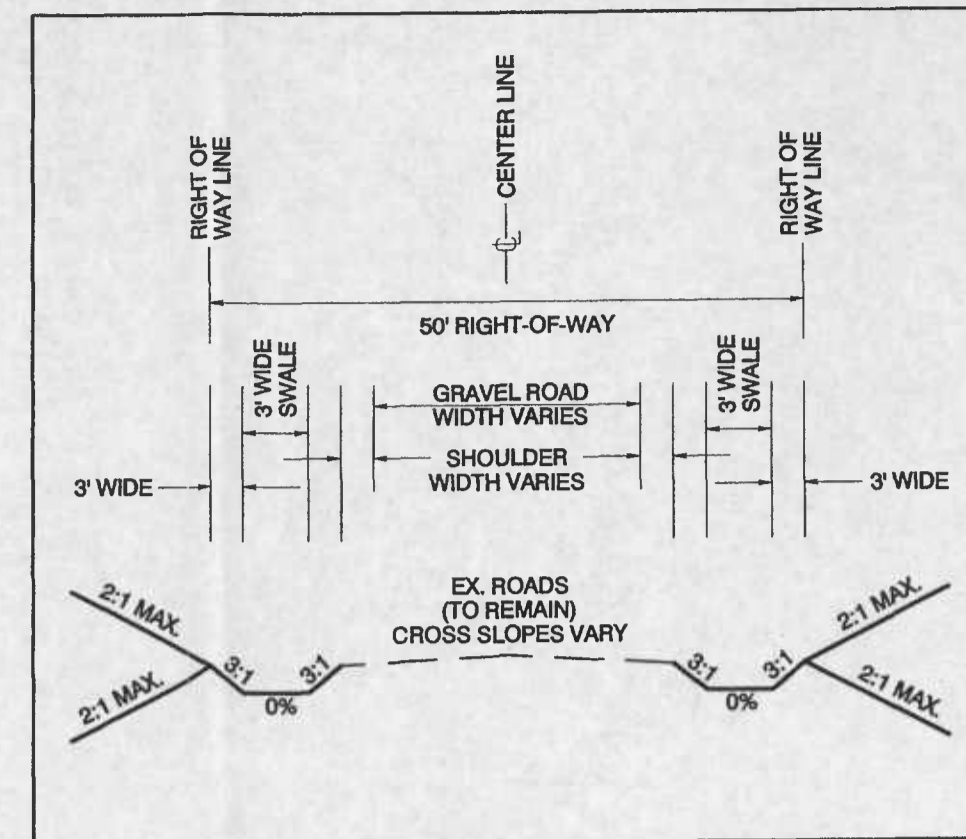
CEDAR AVE. (PRIVATE) GRAVEL ROAD EXTENSION PLAN VIEW

SCALE: 1" = 40'



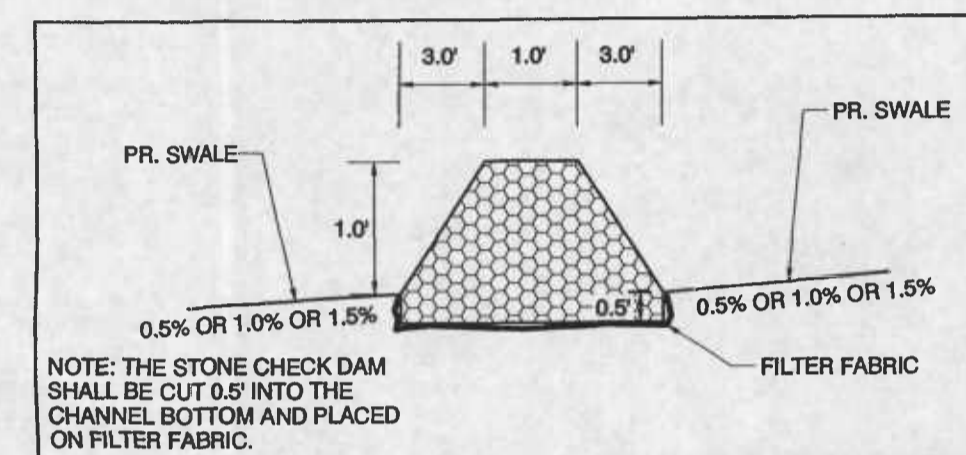
CEDAR AVE. (PRIVATE) GRAVEL ROAD EXTENSION PROFILE

SCALE: 1" = 40' HORIZ.
1" = 4' VERT.

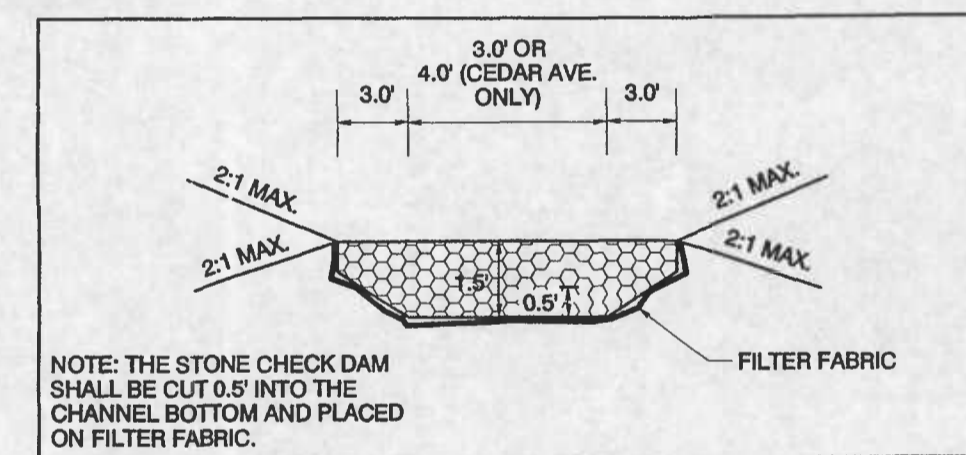


**SWM GRASS CHANNEL CREDIT
CROSS SECTIONS
ALONG WALNUT AVE.**

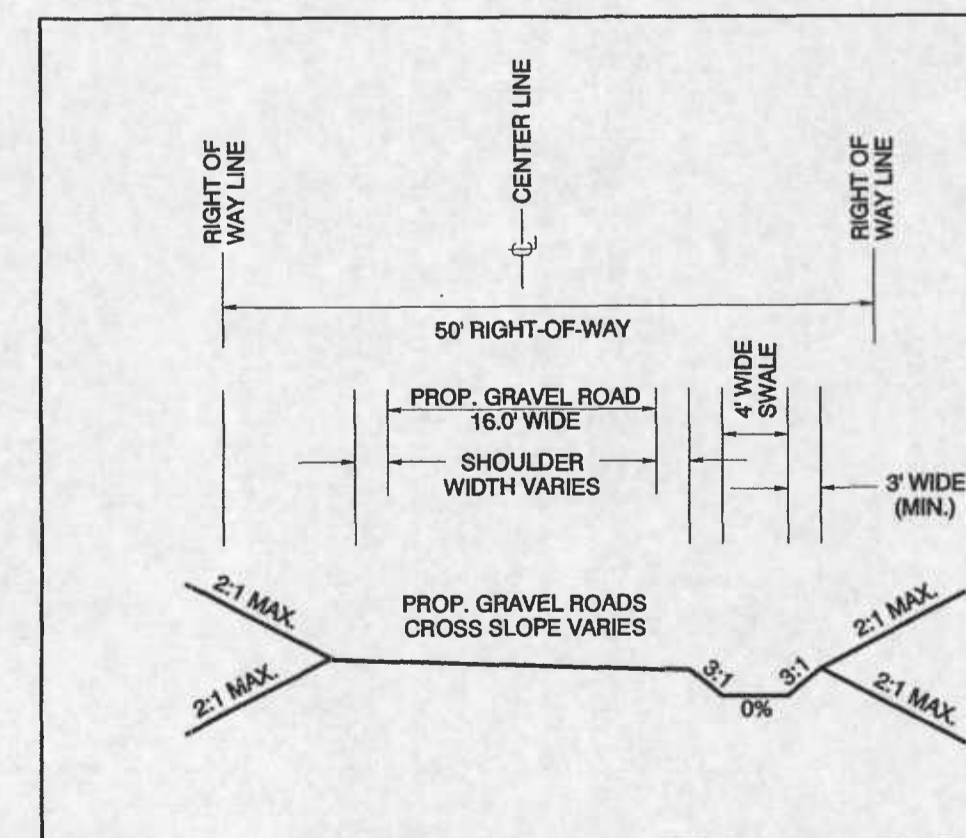
NOT TO SCALE



**ROADSIDE STONE CHECK DAMS
SIDE PROFILE VIEW
(GRASS CHANNEL CREDIT)**
NOT TO SCALE



**ROADSIDE STONE CHECK DAMS
FRONT PROFILE VIEW
(GRASS CHANNEL CREDIT)**
NOT TO SCALE

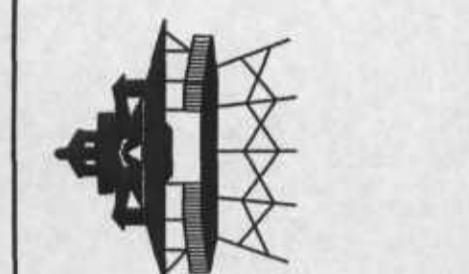


**SWM GRASS CHANNEL CREDIT
CROSS SECTIONS
ALONG CEDAR AVE.**

NOT TO SCALE

NOTE:
1) REFER TO THE LEGEND ON SHEET 1.

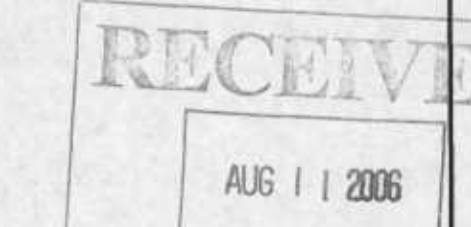
Rev. #	By	Date	Description



Bay Engineering Inc.
Engineers, Planners and Surveyors
180 Admiral Cochrane Drive, Suite 175
Annapolis, Maryland 21401
410.897.9280
410.897.9285 fax
email: info@bayengineering.com
web address: www.bayengineering.com

Date: Mon, Aug 7, 2006
Job Number: 03-884
Scale: As Shown
Drawn By: jib
Designed By: jib
Approved By: jib
Folder Reference: North Beach Park Subdivision/ Chaney/SCENO Property

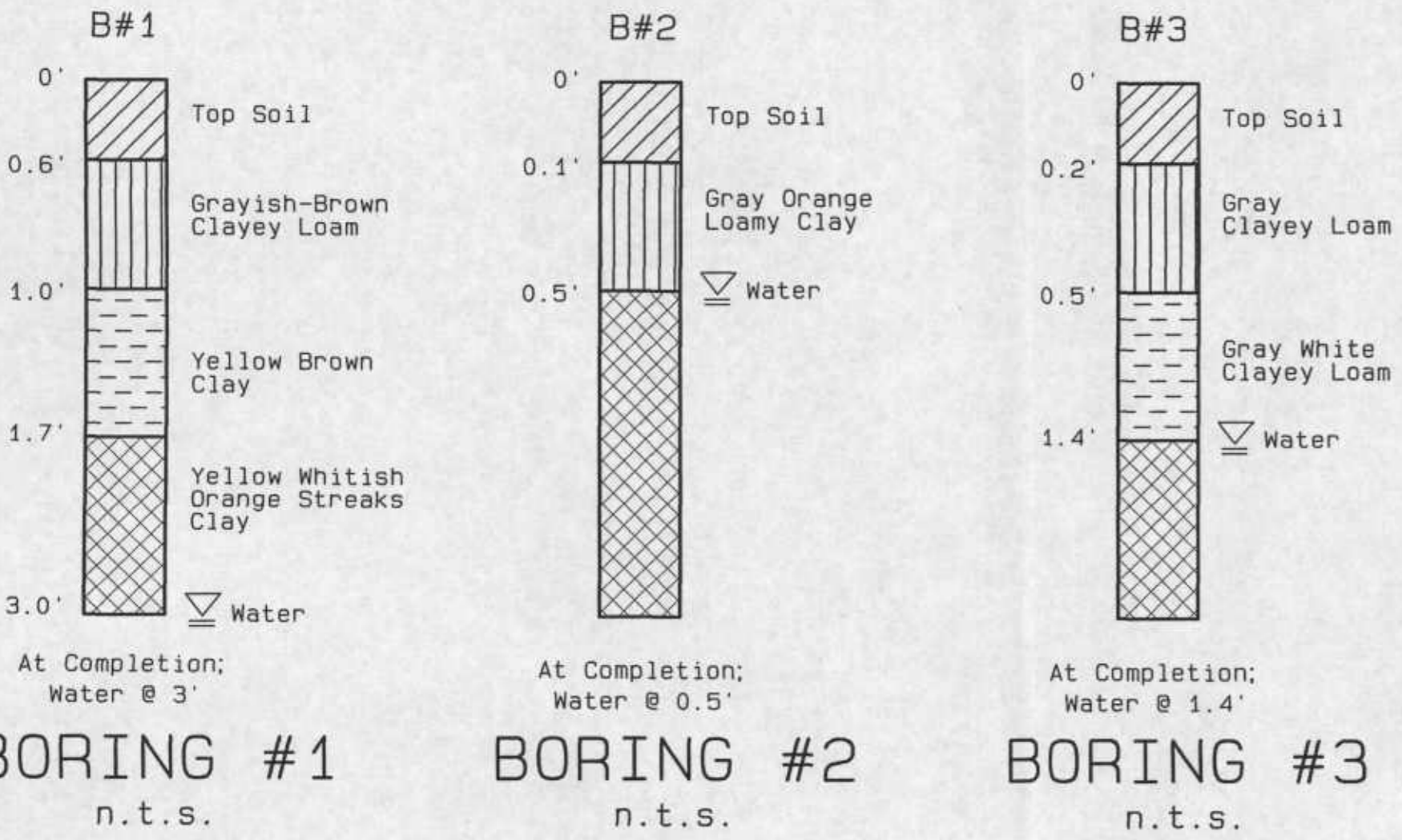
**ROAD PLAN & PROFILE
NORTH BEACH PARK RESUBDIVISION
RESUBDIVISION OF
BLOCKS 23-40, 43-68 & 70**
TAX MAP 82 ~ BLOCK 21 ~ PARCELS 8
SUBDIVISION BLOCKS 23-40, 43-68, & 70
8th District, Anne Arundel County, MD.



SUB NO. 04-068 PROJ. NO. 05-050

Cadd File: F:\Sceno Properties North Beach Park 03-884\Drawing Files\SP_51e07.dwg

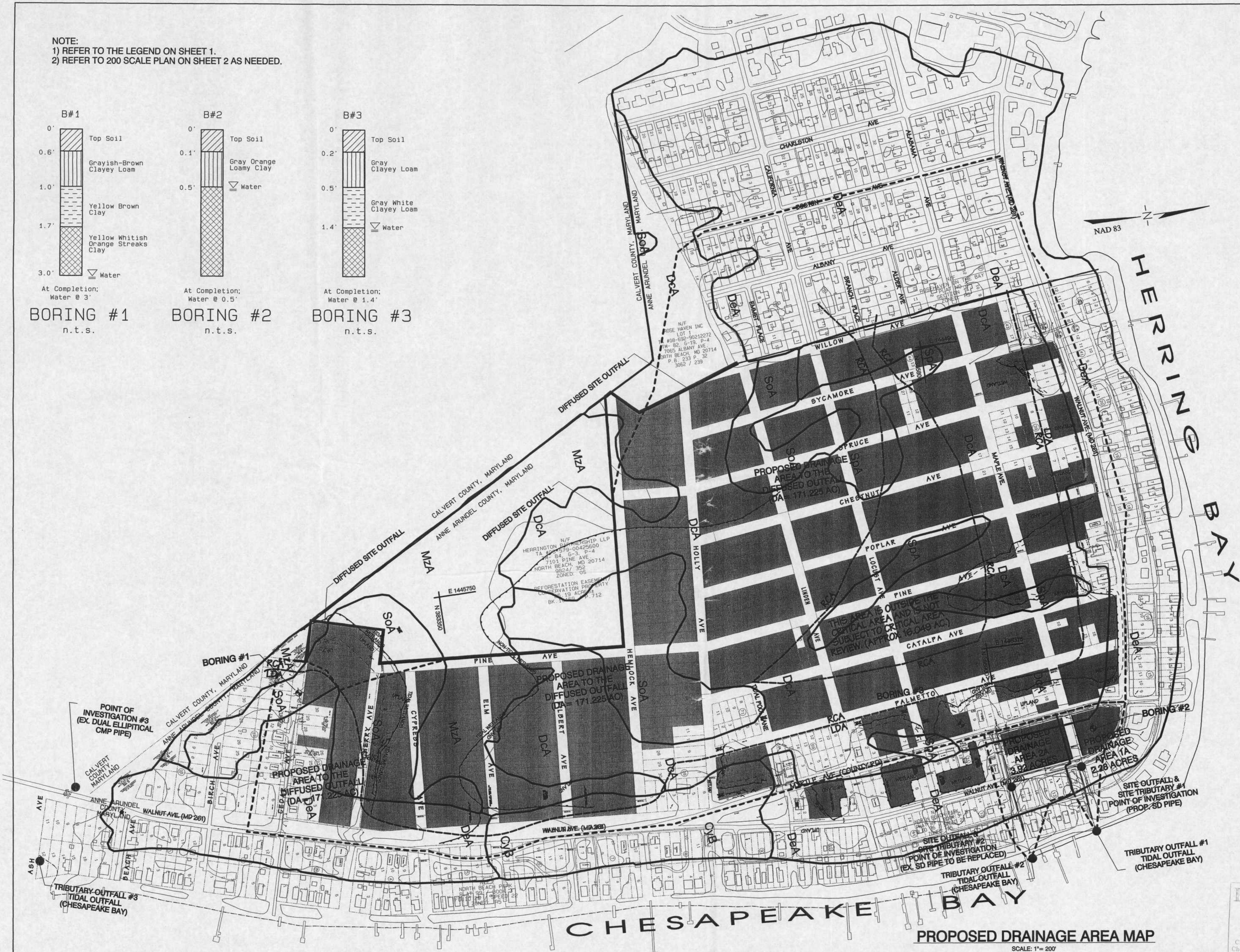
NOTE:
 1) REFER TO THE LEGEND ON SHEET 1.
 2) REFER TO 200 SCALE PLAN ON SHEET 2 AS NEEDED.



BORING #1
n.t.s.

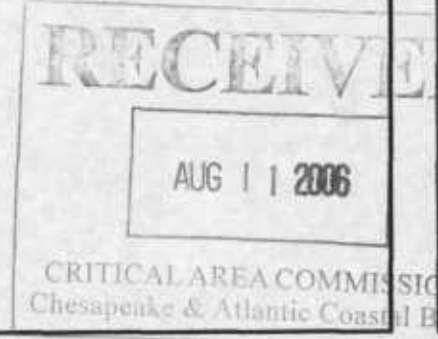
BORING #2
n.t.s.

BORING #3
n.t.s.



PROPOSED DRAINAGE AREA MAP

SCALE: 1" = 200'



SUB NO. 04-068 PROJ. NO. 05-050

PROPOSED DRAINAGE AREA MAP
NORTH BEACH PARK RESUBDIVISION
RESUBDIVISION OF
BLOCKS 23-40, 43-68 & 70
 TAX MAP 82 ~ BLOCK 21 ~ PARCELS 8
 SUBDIVISION BLOCKS 23-40, 43-68, & 70
 8th District,
 Anne Arundel County, MD.

Date: Mon, Aug 7, 2006
 Job Number: 03-884
 Scale: As Shown
 Drawn By: jlb
 Designed By: jlb
 Approved By: jlb
 Folder Reference: North Beach Park Subdivision/Chaney/SCENO Property

Bay Engineering Inc.
 Engineers, Planners and Surveyors
 190 Admiral Cochrane Drive, Suite 175
 Annapolis, Maryland 21401
 410.897.2925 fax
 email: info@bayengineering.com
 web address: www.bayengineering.com

Revisions	Description
Rev. #	Date
By	

Cadd File : F:\Sceno Properties North Beach Park 03-884\Drawing Files\SP_Site07.prc